

Prepared: May 9, 2016

* Revised:

**STUDY SESSION AGENDA
ESTES VALLEY PLANNING COMMISSION**

Tuesday, May 17, 2016

12:30 p.m.

Estes Park Town Hall, Room 202

12:30	Lunch	Chair Hull
12:40	Review of Minutes (5)	Chair Hull
12:45	Review of Ex-Parte Communications and Conflict of Interest	Attorney White
1:15	Adjourn to meeting	Chair Hull

Informal discussion among Commissioners concerning agenda items or other Town matters may occur before this meeting at approximately 12:15 p.m. The public is welcome to attend study sessions; however, public comment will not be accepted. Times are approximate.

AGENDA
ESTES VALLEY PLANNING COMMISSION
May 17, 2016
1:30 p.m. Board Room, Town Hall

1. OPEN MEETING

Planning Commissioner Introductions & Introduction of newly-appointed Town Board Liaison to the Planning Commission

2. PUBLIC COMMENT

The EVPC will accept public comments regarding items not on the agenda. Comments should not exceed three minutes.

3. CONSENT AGENDA

A. Approval of minutes of April 19, 2016

4. PORTION OF TRACT B, THE KEEP MINOR LAND DIVISION; ROBISON CABINS DEVELOPMENT PLAN 2016-03, 1120 Griffith Court

Staff requests this item be continued to the June 21, 2016 meeting.

5. SPECIAL REVIEW 2016-02, LAZY B RANCH & WRANGLERS, 1665 HIGHWAY 66, continued from April 19, 2016 meeting

Owner: Randy Jackson & Michael Andrejek

Applicant: Michelle Oliver

Request: Development of a Chuck Wagon Supper and Show venue consisting of an approximately 17,900 square foot building and a 192-space parking lot. Project to be completed in three phases.

Staff: Audem Gonzales

6. REPORTS

A. Estes Valley Board of Adjustment

1. Townsend Residence Variance, 1545 Hummingbird Drive – approved May 3, 2016

2. Black Canyon Inn Variance, 800 MacGregor Avenue – approved May 3, 2016

B. Estes Park Town Board

1. Black Canyon Inn Amended Plat & Preliminary Townhome Subdivision Plat – approved April 26, 2016.

C. Larimer County Board of County Commissioners

1. Report on applications heard May 16, 2016

D. Staff-Level Approvals

1. Amended Plat of Lots 4A & 5A, Spanier Subdivision, The Landing at Estes Park

2. Development Plan 2016-01, The Landing at Estes Park, 1774 Hwy 66

E. Flood Recovery/Mitigation

1. Silver Jackets Non-Structural Floodproofing Study, May 9-13, 2016

F. Downtown Plan Update

G. Other

7. ADJOURN

RECORD OF PROCEEDINGS

1

Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall

- Commission:** Chair Betty Hull, Commissioners Doug Klink, Nancy Hills, Steve Murphree, Sharry White, Russ Schneider, Michael Moon
- Attending:** Chair Hull, Commissioners Murphree, Moon, Klink, White, Schneider, and Hills
- Also Attending:** Interim Director Karen Cumbo, Planner Audem Gonzales, Town Attorney Greg White, Town Board Liaison John Phipps, Environmental Planner Tina Kurtz, Senior Planner Alison Chilcott, and Recording Secretary Karen Thompson
- Absent:** None

Chair Hull called the meeting to order at 1:30 p.m. There were approximately 60 people in attendance. Each Commissioner was introduced. Chair Hull explained the process for accepting public comment at today's meeting. The following minutes reflect the order of the agenda and not necessarily the chronological sequence.

1. PUBLIC COMMENT

Charley Dickey commented on today's study session. He asked the Commission to consider having the same discussion in the regular meeting. The discussion was relevant, and the public in attendance at the regular meeting today deserve to hear the same discussion. He also asked the Commission to be more involved in planning. There are items coming up in the community that could be assisted by the Commission's involvement.

2. CONSENT AGENDA

Approval of minutes, March 16, 2016 Planning Commission meeting.

It was moved and seconded (Hills/Murphree) to approve the consent agenda as presented and the motion passed unanimously.

3. REZONING & BOUNDARY LINE ADJUSTMENT AND RE-ZONING , TBD Little Prospect Road

Planner Gonzales reviewed the staff report. The applicant, Stephanie Rauk, desires to adjust the common property line between two parcels as well as rezone both properties to *E-Estate*. The owner of both parcels is the George H Voeks Trust, and Ms. Rauk is the Trustee. In 2010, a separate legal lot determination was requested of Community Development staff, and it was determined the north parcel was not considered a legal lot for the purposes of development. In August, 2015, another legal lot determination was requested, and again the lot was determined not legal for purposes of development. The applicant has since filed an appeal of the staff decision to the Larimer County Board of County Commissioners, which was initially heard at the December 21, 2015 County Commission meeting. The result of that hearing was a request by the County Commissioners to the applicant to come forward with the appropriate applications to accomplish the goal of creating two equally-sized lots. It was implied if the applicant completed these steps, then the County Commissioners would be inclined to overturn staff's decision, which would make the north parcel a legal lot and eligible for a boundary line adjustment (BLA).

RECORD OF PROCEEDINGS

1

Estes Valley Planning Commission

April 19, 2016

Board Room, Estes Park Town Hall

Commission: Chair Betty Hull, Commissioners Doug Klink, Nancy Hills, Steve Murphree, Sharry White, Russ Schneider, Michael Moon

Attending: Chair Hull, Commissioners Murphree, Moon, Klink, White, Schneider, and Hills

Also Attending: Director Allison Chilcott, Planner Phil Kleisler, Town Board Liaison John Phipps, Larimer County Liaison Michael Whitley, Environmental Planner Tina Kurtz, Town Attorney Greg White and Recording Secretary Karen Thompson

Absent: None

Chair Hull called the meeting to order at 1:30 p.m. There were approximately 60 people in attendance. Each Commissioner was introduced. Chair Hull explained the process for accepting public comment at today's meeting. The following minutes reflect the order of the agenda and not necessarily the chronological sequence.

1. PUBLIC COMMENT

Charley Dickey commented on today's study session. He asked the Commission to consider having the same discussion in the regular meeting. The discussion was relevant, and the public in attendance at the regular meeting today deserve to hear the same discussion. He also asked the Commission to be more involved in planning. There are items coming up in the community that could be assisted by the Commission's involvement.

2. CONSENT AGENDA

Approval of minutes, March 16, 2016 Planning Commission meeting.

It was moved and seconded (Hills/Murphree) to approve the consent agenda as presented and the motion passed unanimously.

3. REZONING & BOUNDARY LINE ADJUSTMENT AND RE-ZONING , TBD Little Prospect Road

Planner Gonzales reviewed the staff report. The applicant, Stephanie Rauk, desires to adjust the common property line between two parcels as well as rezone both properties to E-Estate. The owner of both parcels is the George H Voeks Trust, and Ms. Rauk is the Trustee. In 2010, a separate legal lot determination was requested of Community Development staff, and it was determined the north parcel was not considered a legal lot for the purposes of development. In August, 2015, another legal lot determination was requested, and again the lot was determined not legal for purposes of development. The applicant has since filed an appeal of the staff decision to the Larimer County Board of County Commissioners, which was initially heard at the December 21, 2015 County Commission meeting. The result of that hearing was a request by the County Commissioners to the applicant to come forward with the appropriate applications to accomplish the goal of creating two equally-sized lots. It was implied if the applicant completed these steps, then the County Commissioners would be inclined to overturn staff's decision, which

RECORD OF PROCEEDINGS

Estes Valley Planning Commission

2

April 19, 2016

Board Room, Estes Park Town Hall

would make the north parcel a legal lot and eligible for a boundary line adjustment (BLA). Therefore, the applicant has applied for a BLA and Rezoning, of which the Planning Commission is the recommending body to the County Commissioners. A hearing on the appeal, BLA, and rezoning is scheduled for May 16, 2016.

Planner Gonzales stated the proposed BLA would reconfigure the lots, although neither would be conforming to minimum lot size for the proposed rezoning to E-Estate (0.5 acre minimum). Both lots would be 0.437 acres in size. Adjusting the boundary line would result in the smaller parcel coming closer into conformance with the zone district standards. A minor modification would be required to reduce the minimum lot size to the proposed 0.437 acres. The proposal also includes granting direct access to the two new lots via Little Prospect Drive, accessed from Peak View Drive. The applicant requested a waiver from establishing limits of disturbance and vegetation protection standards, and staff approved the request. He stated the application was routed to all affected agencies and adjacent property owners. Water supply to the proposed two parcels could be by connecting to the Town system or drilling a well. New utility easements will be dedicated with the Final Plat.

Planner Gonzales stated the rezoning request is essentially a corrective rezoning. The south parcel was zoned E-1—*Estate* when the Estes Valley Development Code was adopted in 2000, and the north lot was zone E-*Estate*. The E-1 zoning is not consistent with the remainder of the subdivision. In order to avoid split zoning if the BLA is approved, staff supports the rezoning request. The site is located within the Beaver Point planning area of the Estes Valley Comprehensive Plan. Staff evaluated the proposed development for compliance with the Comprehensive Plan and found no issues or conflicts with this proposal.

Staff Findings

1. The Boundary Line Adjustment application and Rezoning request do not fall within the parameters of staff-level review, and will be reviewed by the Estes Valley Planning Commission. The Planning Commission is the Recommending Body, and the Larimer County Board of County Commissioners is the Decision-Making Body.
2. The Minor Modification request does not fall within the parameters of staff-level review, and will be reviewed by the Planning Commission. The Planning Commission is the Decision-Making Body.
3. This request has been submitted to all applicable reviewing agency staff for consideration and comment. All letters and memos submitted by reviewing staff, referred to in the staff report, are incorporated as staff findings.
4. Adjusting the boundary line and changing the configuration of the parcels would not compromise the intent of the original subdivision. It would bring the two parcels into further conformance in regards to lot area dimensions.
5. The rezoning would reflect the new lot configuration.
6. Utility easements on the newly created lots will be recorded with the final plat.
7. Existing easements will remain to be dedicated on the final plat.

**Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall**

Staff listed several motion samples for the Commissioners to consider, which can be viewed in the staff report. Each has various conditions of approval. The conditions of approval chosen by the Planning Commission are listed below.

Public comment

Joe Coop/applicant representative stated the property owners are in agreement with all staff findings and conditions of approval. When asked about the option for drilling a well on the property, Mr. Coop stated he understands lots created prior to 1972 are eligible to apply for a water well with the State of Colorado Water Division. There is documentation the lot was created before 1972.

Conditions of Approval

1. Board of County Commissioners granting the Separate Lot Determination Appeal, therefore designating the north parcel a legal lot making it eligible for a Boundary Line Adjustment.
2. Approval of the Rezoning request from E-1–*Estate* to E-*Estate*.
3. Label setbacks on Preliminary Plat.
4. Add note to plat map that owner of Lot 1 or Lot 2 shall abide by any local road association or homeowners association maintenance regulations for Little Prospect Drive.

It was moved and seconded (Schneider/Klink) to recommend approval of the application to the Larimer County Board of County Commissioners with the findings and conditions recommended by staff and the motion passed unanimously.

4. REZONING OF 475 FALL RIVER LANE FROM CO–COMMERCIAL OUTLYING TO R-2–TWO-FAMILY RESIDENTIAL

Planner McCool reviewed the staff report. The applicants, Dennis and Katie Lovell, desire to rezone the subject property in order to allow an existing two-family dwelling to be used as such. A rezoning request was submitted in 2004 by the previous property owners, but the request was withdrawn before the public hearing. The application was routed to all affected agencies and adjacent property owners, and a legal notice was published in the local newspaper. No neighbor comments were received. The Planning Commission is the recommending body for this application, with the Town Board being the decision-making body. Planner McCool reviewed the following:

Staff Findings

1. Staff found the previous rezoning request from 2004 was generated due to updates to the Estes Valley Development Code (EVDC) completed in 2000 which removed language permitting single-family and duplex uses within the "CO" zone district as uses by right. Therefore, the 2000 EVDC updates created a nonconforming use of this property. This proposed amendment is necessary to address changes in conditions in the areas affected

RECORD OF PROCEEDINGS

Estes Valley Planning Commission

4

April 19, 2016

Board Room, Estes Park Town Hall

since the quilting business previously located within the structure was relocated many years ago, hence, the long-standing uses on the parcel have been primarily residential. The Division of Building Safety reviewed a building permit to bring the property into compliance with current building codes since the conversion of the commercial space to residential use was never reviewed by the building officials at the time. A condition required by the Division of Building Safety is that a rezoning is approved prior to issuance of a Letter of Completion. Approval of the rezoning will bring the property into compliance with the existing uses on the property and improve the safety of the building through required upgrades to the structure.

2. Staff found that given the nature of the current land use and existing developed parcel, Staff has waived the requirement for a development plan, since no new development is proposed in conjunction with this rezoning request. The configuration of the existing development has been evaluated by Staff and will conform to the proposed zoning designation of R-2–*Two-Family Residential*.
3. Staff found the property is fully developed and already served by the public utilities and the fire district. The Estes Valley Fire Protection District reviewed the submitted materials and had no comments or concerns regarding those plans. The EVFPD provided their standard condition of approval that all construction and processes shall be in accordance with the provisions of the International Fire Code (2009), the International Building Code (2009) and the Town of Estes Park Codes and Standards.

Public Comment

Katie Lovell/applicant stated she and her husband were working with the Division of Building Safety to bring the structure into compliance as a residential duplex.

Public comment closed.

Staff and Commission Discussion

None.

Conditions of Approval

1. All construction and processes shall be in accordance with the provisions of the International Fire Code (2009), the International Building Code (2009), and the Town of Estes Park Codes and Standards.
2. Property owner will comply with all requirements of the Division of Building Safety to ensure the converted commercial space is safe for habitation as a second dwelling unit.

It was moved and seconded (White/Murphree) to recommend approval of the rezoning request to the Town Board of Trustees with the findings and conditions recommended by staff and the motion passed unanimously.

5. AMENDED PLAT AND REZONING REQUEST FOR LOT 5, SUNNY ACRES ADDITION

**Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall**

Planner Gonzales reviewed the staff report. He stated the applicant, Paul Pewterbaugh, was requesting to remove the common property line between two illegally subdivided lots, and rezone the proposed Lot 5A to RM–*Multi-Family Residential*. He stated a previous property owner illegally subdivided Lot 5, Sunny Acres Subdivision in the 1980s, and they were subsequently zoned R-2–*Two-Family Residential* and E-1–*Estate* with the established of the new zone districts in 2000 when the EVDC was adopted. The zoning of the two lots was determined by the uses of the properties at the time. In 2006, an Amended Plat and Rezoning applications were approved for the subject property. However, the applicant failed to record the final plat, therefore nullifying the approved Amended Plat and Rezoning. The current application is essentially a duplicate of the 2006 requests. Planner Gonzales stated the existing lots are sized 0.11 acres (zoned R-2) and 1.06 acres (zoned E-1), making the proposed Lot 5A 1.17 acres, meeting the requirements for minimum lot size in the RM–*Multi-Family Residential* zone district. The smaller parcel currently contains a duplex which does not meet setback or dimensional requirements, and the larger lot also contains a duplex that does not meet setback requirements on the west side. Planner Gonzales stated the plat was reviewed for grading and site disturbance standards. There are existing gravel drives, and these standards are not applicable at this time. The requirements for adequate public facilities were not triggered with this application. There is a proposed 10-foot utility easement along all property lines, and a new private 10-foot utility and access easement through the center of the property is proposed to be dedicated to allow for utilities and access to properties to the east.

Planner Gonzales stated this application is for a corrective rezone. This property would have remained zoned for multi-family residential development with the adoption of the EVDC if the Larimer County Tax Assessor's map had shown this property as one lot containing four units. However, the Larimer county map reflected the 1982 illegal subdivision with one duplex on each of the two parcels. Staff was not aware of the illegal subdivision at the time of the rezoning when the EVDC was adopted in 2000. Planner Gonzales stated the site is located within the Fall River planning area of the Estes Valley Comprehensive Plan, which includes a mix of single-family and multi-family development. Although the rezoning request does not align with the Comprehensive Plan, it reflects what is currently built.

Staff Findings

1. This Amended Plat application and Rezoning request do not fall within the parameters of staff-level review, and will be reviewed by the Estes Valley Planning Commission. The Planning Commission is the recommending body, with the Town Board of Trustees being the decision-making body.
2. This request has been submitted to all applicable reviewing agency staff for consideration and comment. All letters and memos submitted by reviewing staff, referred to in the staff report, are incorporated as staff findings.
3. Adjusting the common property line and creating one legal lot does not affect the original intent of the subdivision. It would bring the existing property into conformance in regards to lot area dimensions and permitted uses.

RECORD OF PROCEEDINGS

Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall

6

4. The rezoning would reflect how the subject area is developed.
5. New utility easements and private access easements on the newly created lot will be recorded with the final plat.

Staff recommended approval of the Amended Plat and Rezoning request with conditions of approval listed below.

Staff and Commission Discussion

Planner Gonzales clarified the setback on the west side of the larger lot does not currently meet all setback requirements. However, the amended plat would bring both lots into compliance with setback requirements in the *RM-Multi-Family Residential* zone district.

Public Comment

Joe Coop/applicant representative stated a proposed covered entry would extend into the current setback. However, this will be corrected with the amended plat. The applicant was in agreement with the findings and conditions reflected in the staff report.

Public comment closed.

Condition of Approval

1. Approved Amended Plat shall be submitted for recording within 60 days of Town Board approval of the application.

It was moved and seconded (Hills/Klink) to recommend approval of the Amended Plat and Rezoning to the Town Board of Trustees with the findings and conditions recommended by staff and the motion passed unanimously.

6. SPECIAL REVIEW 2016-01, LAZY B RANCH & WRANGLERS, 1665 HIGHWAY 66

Planner Gonzales reviewed the staff report. The request is to develop a 750-person capacity Chuckwagon Dinner and Live Entertainment facility on a five-acre site located at 1665 Spur 66, within the Estes Park town limits. The site is adjacent to the existing Elk Meadow RV Resort. The proposal includes a 17,910 square foot building, 192 space parking lot, widening of Mills Drive on the south of the site, and installation of a right turn lane on Spur 66. The development would occur in three phases over three years, unless funding allows the phasing to be completed sooner. The parcel is zoned *A-Accommodations*, allowing for higher intensity/higher density projects. The proposed site currently serves as a storage area for the RV Park. Surrounding the site are various land uses including Rocky Mountain National Park (RMNP) facilities and offices, single-family dwellings, a restaurant/tavern, and an RV park. Mills Drive is currently a 20-foot wide asphalt private drive.

Planner Gonzales stated the application was determined to be reviewed as an indoor Entertainment Event, Major. Major entertainment event uses are characterized by activities and

**Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall**

structures that attract people to specific (often large-scale) events or shows. Activities are generally of spectator nature. Accessory uses may include restaurants, bars, concessions, parking and maintenance facilities. A Special Review is required for this type of development in the A—*Accommodations*, CO—*Commercial Outlying*, and CD—*Commercial Downtown* zone districts, and requires the applicant to mitigate, to the maximum extent feasible, potential adverse impacts on nearby land uses, public facilities and services, and the environment. Planner Gonzales stated the Planning Commission is the recommending body for this application, with the Town Board being the decision-making body. The application was routed to all affected agencies and adjacent property owners. A legal notice was published in the local newspaper. Staff received many public comments regarding this application. These comments can be viewed at www.estes.org/currentapplications.

Planner Gonzales stated the application complies with the density standards, minimum lot size requirement, building height and setback requirements. Impervious lot coverage allowed is 50%, and this project proposes 15% coverage. The proposed plan complies with the general grading and site disturbance standards. There is currently very little landscaping on the site, and additional landscaping has been proposed to meet or exceed the requirements of the code for a development of this size. Concerning wetlands and stream corridor protection, there are no delineated rivers or streams on or near the subject area. Two potential wetland habitat areas have been identified and conservatively mapped for this application. A formal delineation study will be conducted once the site thaws. The proposal includes an encroachment by 2.6 feet into one of the potential wetland setbacks (50-foot required setback), for which a minor modification would be required, with staff having authority to grant or deny the modification (10% or less). Staff will recommend a condition of approval be the submittal of the Jurisdictional Wetland Delineation results to the Community Development Department for review. A wildlife habitat evaluation and impact analysis was provided and found no critical habitat or threatened/endangered species habitat on the site. The proposed development does not propose any obstructions to critical wildlife movement corridors. Exterior lighting as proposed will comply with the EVDC. The proposal calls for reducing exterior lighting after 10 p.m. Approval of exterior building lighting will be address during the building permit process. Planner Gonzales stated a photometric study will be required during the design of the paved parking lot. Regarding Operational Performance Standards, Planner Gonzales stated the maximum noise level shall not exceed 55 decibels during the hours of 7 a.m. to 8 p.m., with the level being reduced to 50 decibels between the hours of 8 p.m. to 7 a.m. Staff will recommend a condition of approval requiring the applicant to perform a noise level study at the property line prior to the first show in the temporary tent to ensure compliance with the noise ordinance. Off-Street parking and loading requirements were reviewed. A Traffic Impact Study was conducted, and it was determined 200 vehicles would be maximum number of passenger vehicles with an attendance of 750 guests. The applicant has requested additional parking studies during phases one and two to determine a final parking space number. In the meantime, staff reviewed the project considering the full build-out of 192 parking spaces. The proposed parking area includes handicap-accessible spaces, parking for large buses, and a bicycle rack. Planner Gonzales stated the EVDC has requirements

RECORD OF PROCEEDINGS

Estes Valley Planning Commission

8

April 19, 2016

Board Room, Estes Park Town Hall

for distances from property lines in regards to loading areas. The applicant will be applying for a variance from this requirement to allow encroachment into the setback for the street-side loading area.

Planner Gonzales stated adequate services and facilities are available to serve the proposed development, as follows:

- Connection to the existing Upper Thompson Sanitation District sewer system;
- Extension of a 12-inch water main and a 20-foot utility easement on the north side of Mills Drive;
- Existing overhead electric lines will be buried within the 20-foot utility easement;
- On-site stormwater will be handled through streets/curb and gutter, overland flow, catch basins, and in storm sewer pipes;
- Estes Valley Fire Protection District provided comments that are referred to in the conditions of approval;
- A southbound right-turn lane will be required at the intersection of Spur 66 and Mills Drive as determined by the traffic study, of which there is sufficient Larimer County right-of-way to accommodate such turn lane;
- Recommendation of a limited all-way stop sign at the intersection of Larimer County Road 69B and Spur 66 (also known as Hwy 36 and Spur 66 intersection), which would require approval from the Colorado Department of Transportation
- Requirement by Public Works for Mills Drive (private drive) be widened to meet local street standards with 45 feet of dedicated right-of-way, 24 feet of asphalt and curb and gutter on both sides up to the entrance of the proposed development. The proposal would dedicate an additional 15 feet on the north side of Mills Drive to be added to the existing 30 feet of right-of-way on the south side of Mills Drive.
- The proposal triggers construction of a sidewalk along Mills Drive. The applicant and staff do not feel construction of a sidewalk at this time is reasonable as it would only extend to the property line to the east of this proposed development. Public Works has requested a cost estimate to allow the applicant to provide cash in lieu of the sidewalk construction.
- The proposed expansion of Mills drive occurs within the property boundaries of the parcel in question.

Planner Gonzales stated the project was reviewed against the guidelines in the Estes Valley Comprehensive Plan. Prior to the establishment of the Estes Valley Development Code and valley-wide rezoning in 2000, this property was zoned for multi-family use. In 2000, the property was rezoned to A-Accommodations, which allows chuckwagon dinner use with Special Review. Staff found this proposal is in alignment with the Comprehensive Plan, as follows:

- The proposed commercial project is in an area that currently allows commercial uses;
- The proposed location of the building is setback 240 feet from the east property line along Spur 66;

Estes Valley Planning Commission

April 19, 2016

Board Room, Estes Park Town Hall

- The proposal greatly reduces the land availability for campground utilization and expansion, and the applicant is interested in possibly subdividing the parcel from the existing campground.

Planner Gonzales stated the proposal does not support the Comprehensive Plan guideline that the commercial campground should evolve into housing, as follows:

- The campground property is roughly 31 acres, and this project would use less than five acres of that total. There is adequate land to re-develop the entire site with various land uses.

Planner Gonzales stated staff found the proposed development advances several adopted Community-Wide Policies, including:

- Community Design
 - Construction plans would include light-colored roofing materials
 - Natural colors for building exteriors
 - Windows, doors, or other architectural features to provide visual relief
 - Lighting that is shielded and directed downward
- Growth Management
 - Encourages infill of older core areas to reduce infrastructure costs. The undeveloped portion of this property is considered an infill site.
- Mobility & Circulation
 - Implements access control improvements as development occurs. This proposal would widen Mills Drive and add a right-turn lane.
 - Encourages movement toward alternative modes of transportation. This proposal would utilize tour buses and the free shuttle system.
- Economics
 - Maintain a unique blend of businesses, resident and visitor, without negatively affecting the natural beauty of the Estes Valley. The proposal is a business that has history in the Estes Valley. The area would benefit by having power lines placed underground, adding additional landscaping along Mills Drive to buffer between the commercial and residential uses to the south.
 - Sustain and support the existing tourism industry and marketing programs. Staff found this project fills a niche in Estes Park for a very popular tourist attraction all across the western United States.
 - Establish the basis for a sound tourism market and sustainable economic climate.
- Intergovernmental Coordination
 - The Town and County will encourage redevelopment and infill as a primary tool to create a compact community and to prevent sprawl. The proposal is within the Town limits, and aligns with the community-wide policy.

Planner Gonzales reviewed the criteria for Special Review, stating a traffic study was provided, resulting in the determination that Mills Drive should be widened, with the entrance coming off of Mills Drive. This entrance would be required should the property be subdivided. The property owner also requested the separate entrance from the RV Park. The applicant has proposed the

RECORD OF PROCEEDINGS

Estes Valley Planning Commission

10

April 19, 2016

Board Room, Estes Park Town Hall

hiring of a traffic control officer during peak periods, and contracting with bus tour companies as an alternative mode of transportation. The Town shuttle service has a proposed stop at the site for guest and employee use. Limited employee housing may be provided on site. Environmental impacts, noise impacts, and hours of operation were discussed earlier in the meeting. Other potential impacts include light pollution from headlights, which should be mitigated by the extensive landscape buffer along Mill Drive. The view shed to the north from residents south of Mills Drive will be improved because the area will be cleaned up, power lines will be buried, and Mills Drive will have improved landscaping. Dust from the dirt parking lot will be mitigated prior to events or during high wind events. Planner Gonzales stated officials at RMNP expressed concern about potential air quality issues presented by grilling beef and chicken, and that pollutants from food preparation would enter the Park when the wind blows from east to west. This concern was routed to the Larimer County Health Department, whose opinion was there would be no negative impact requiring an air emissions permit unless the char-broiler or wood-fired cooker exceeded the threshold amount of 17 tons of wood per year.

Planner Gonzales stated the minor modification, discussed earlier in the meeting, to allow an encroachment of 2.6 feet into the 50-foot wetland and stream corridor protection buffer/setback is within the authority of staff to grant, and staff approved this minor modification. Another variance for the off-street loading requirement mentioned earlier in the meeting would be heard by the Estes Valley Board of Adjustment following the final decision by the Town Board, as required by the EVDC.

Planner Gonzales explained the phasing process. For the 2016 season, a temporary use permit has been approved by staff, allowing operation of the dinner and entertainment event in an 8700 square foot tent with 63 tables, a 200 square foot indoor stage, dirt parking lot, installed landscape buffer on Mills Drive, where the entrance would be located. This is the third temporary use permit to be issued in as many years at this location. The biggest change for this year is the entrance coming off of Mills Drive instead of using the Elk Meadow RV Park entrance on Spur 66.

Phase 1, planned for 2017 and in addition to the current facilities, would include permanent kitchen and restroom facilities, ADA compliant sidewalks, paved ADA compliant parking spaces, the water main extension and sanitary sewer service line, and a soft-surface trail from the temporary tent to the shuttle stop location on Spur 66. Phase 2, planned for 2018, would include construction of the dining/performance hall (12,200 square feet) being added to the permanent kitchen and restrooms, additional landscape buffer along Mills Drive, and installation of the right-turn lane. Phase 3, planned for 2019, would finish the development with construction of the parking lot (including curb and gutter), storm sewer installation, and parking lot landscaping. Planner Gonzales stated the Planning Commission should consider the entire development in their recommendation to the Town Board.

Planner Gonzales stated there has been an extensive amount of public interest in this project, mainly from adjacent property owners. There are concerns about how this project will affect

Estes Valley Planning Commission**April 19, 2016****Board Room, Estes Park Town Hall**

parking at the nearby Rock Inn. He stated the County Engineering Department has determined the parking area in front of the Rock Inn is actually in the County right-of-way, and has not been approved for use as a parking area. Additionally, it was determined that residents living on Mills Drive and parking across the street from their homes are actually parking on the Elk Meadow RV Park's property. Mills Drive is a private road located on the Elk Meadow RV Park property.

Staff Findings

1. If revised to comply with recommended conditions of approval, the application will comply with applicable sections of the Estes Valley Development Code, as described in the staff report.
2. The application is consistent with the policies, goals and objectives of the Comprehensive Plan.
3. Adequate services and facilities are available to serve the development.
4. The Planning Commission is the Recommending Body, and the Town Board of Trustees is the Decision-Making Body for the Special Review application.

Staff recommended approval of the Special Review application with the conditions of approval listed below.

Staff and Commission Discussion

Comments included but were not limited to:

- The new noise ordinance increases the daytime decibel level from 55 to 80, with quiet time from 10 p.m. to 7 a.m. These changes will impact this proposal.
- The water main extension was requested by a private citizen. RMNP will also have the option to tie into this extension. This proposal only requires a small segment to be connected to the Town water system.
- A limited stop sign means not permanent, and either way it would have to be approved by CDOT. It would be in effect for certain hours.
- Is there a possibility that Mills Drive could become a town street? (Public Works would need to discuss this with the property owner).
- There was brief discussion regarding a second ingress/egress to the proposed parking lot. The temporary use permit allows for the entrance to be on Mills Drive. Previous temporary use permits had the entrance from the Elk Meadow RV Park.
- There was brief discussion regarding the stormwater discharge. The applicant's representative will discuss this in more detail.
- The approved temporary use permit allows 200 people and a maximum of 60 cars in a temporary tent from May 15 through September 30, 2016.
- Lessons can be learned from temporary uses regarding traffic, dust, noise, etc.
- When the turn lane is installed, only parallel parking in front of the Rock Inn would be allowed. The Rock Inn's parking issue would need to be addressed by the owners of the Rock Inn to the County Engineers. It is not part of the application presented today.

RECORD OF PROCEEDINGS

Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall

12

Chair Hull called a five-minute recess at 2:56. The meeting reconvened at 3:01.

Public Comment

Troy Krening/attorney representing applicant addressed the concerns regarding two entrances, stating while only one was required, the applicant would be willing to look into establishing two areas for ingress and egress. The temporary use permit allows for one access point from Mills Drive. He explained there would be two separate business on the property, each having its own specific entrance, and it was never intended to use the Elk Meadow RV Park entrance for the Lazy B's entrance. The peak traffic time for the Elk Meadow RV Park is 5-7 p.m., and if the Spur 66 entrance was used for Lazy B traffic, the two would be competing, which is not considered a workable solution. At some point, the property owner intends to subdivide the Lazy B portion of the parcel (five acres) from the larger parcel. For the 2016 season, the Lazy B applicant and the property owners have signed a lease agreement to allow the use and operation of this 5-acre proposed development area. Traffic officers will be hired by the applicant, with their location to be determined by the police department. Lazy B will encumber the expense necessary to ensure safe passage to and from Spur 66. According to Mr. Krening, Mills Drive is a private road belonging to the property owners of the parcel proposed to be developed. It has been maintained by RMNP, which has had this unwritten agreement for many years. Mills Drive is vital to RMNP, as the headquarters and operational buildings are located off of Mills Drive (and can also be accessed from Hwy 36.)

There was discussion between the Commissioners and Mr. Krening regarding exterior lighting in the parking area and whether or not it would be turned off when not in use. There was discussion between the Commissioners and staff regarding hours of operation, and whether or not a condition of approval could be placed limiting the hours and extent of the operation.

Michelle Oliver/applicant stated she is a full-time resident of Estes Park, whose desire is to carry on the western heritage tradition of a chuckwagon dinner theater in the Estes Valley. The proposed development was modeled after the chuckwagon dinner theater by the same name that operated in Estes Park for more than 40 years. The operation will be a family-oriented early evening event, held seven nights a week from May through October, once the permanent building is in place. Addressing earlier comments, she stated the lights could be turned off when the building is not in use. If financing allows, she would hope to complete the phasing earlier than planned. She is seeking support from the Town of Estes Park to allow economic growth in the community. Ms. Oliver stated she held two public meetings to address concerns with those that attended. She initially offered an area for the Rock Inn customers to park, and has a few other unexplored parking ideas, but nothing has been completely resolved. Ms. Oliver stated she initially met with the met with two of the owners or managers of the Rock Inn in September, 2015, and also has a trail of several email exchanges between them. She met with Tim Roemer, one of the business partners of the Rock Inn, but has been unsuccessful in attempts to meet with Kerry Egan, the other business partner. Ms. Oliver and Mr. Roemer met with one of the land owners, Randy Jackson, to discuss parking alternatives suggested by Van Horn Engineering that

**Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall**

13

could have provided additional parking for the Rock Inn. Ms. Egan was invited to this meeting, but did not attend, so no decisions were made. Ms. Oliver stated it was made known at that meeting that Ms. Egan would not be willing to look at any of the parking proposals. Regarding the concern regarding air pollution from cooking, Ms. Oliver stated they are hoping to smoke their meat, but grilling was also an option they would consider. She will comply with whatever the health department requires.

Celine LeBeau/project leader from Van Horn Engineering explained the parking situation for the Rock Inn, stating their customers are parking on the Rock Inn property, but are backing out of the spaces into the right-of-way where the turn lane is proposed. There was brief discussion about whether or not the parked cars at the Rock Inn would extend into the turn lane, and whether the proposed situation would be any different than other nonconforming parking lots in Estes Park. Ms. LeBeau stated the proposed plan does not include curb and gutter, which would allow parallel parking in front of the Rock Inn. She stated curb and gutter is typically required. The intersection of Mills Drive and Spur 66 would be slightly altered, with the road being moved to the south to meet the grading standards. She stated an effort was made to mitigate adverse impacts for the neighbor's parking area on Mills Drive by adjusting the location of the improved drive. She reminded the Commission that Mills Drive is actually on Elk Meadow RV Park's property.

Lonnie Sheldon/Van Horn Engineering clarified drainage questions by stating the existing pond is on private property. The depth has been measured and has the capacity for water quality purposes and stormwater detention and runoff.

Matt Delich/traffic engineer was available to answer questions. He developed traffic forecasts for the area, stating the heaviest traffic would be between 5-6 p.m., due to traffic coming into town from RMNP at that time of day. He anticipated traffic delays at Highway 36 and Spur 66 coming from town heading to destinations on Spur 66. He explained the grading scale or level of service, with "A" being best and "F" being worst. Grades are determined by the amount of vehicle delay. An acceptable level of service is a "C" or better. "D" grades are tolerated in cities larger than Estes Park. Mr. Delich stated a level of service "E" would be present at that intersection from 5-6 p.m. during the high tourist season. One way to mitigate this "event condition" would be manual traffic control, or a temporary stop sign on Hwy 36. The functionality would be similar to a four way stop. Adding a temporary stop sign or using a manual traffic control system would improve the level of service to "C".

Chair Hull provided some parameters for public comment, which will be limited to three minutes. She reminded those in attendance that audience reactions are not appropriate.

Tony Goss/County resident stated the traffic at the intersection of Highway 36 and Spur 66 is bad.

RECORD OF PROCEEDINGS

Estes Valley Planning Commission

14

April 19, 2016

Board Room, Estes Park Town Hall

Ron Thomas/Town resident stated the plans posted on the Town website were not readable. He questioned the location of the property corners and the validity of the schematic maps. He disagreed with the survey completed by Van Horn, based on the legal description. He wanted to know the exact legal boundaries of the rights-of-way. He questioned whether the right-of-way was purchased by the County, and thought there should be documentation stating such. He suggested the applicant have their plans redone and resubmitted correctly.

Jay Vetter/County resident stated his front porch will be approximately 100 feet from the front of the building. He is opposed to the development. He stated the public comments were mostly opposed to the project, relating concerns about parking and noise. He was concerned that he received incorrect information from staff regarding the Spur 66 Management Plan. He did not think the proposed project complied with the Spur 66 Management Plan or the Estes Valley Comprehensive Plan. He asked the Commission to consider an alternate entrance other than Mills Drive. He questioned the validity of the temporary use permit and the Spur 66 Management Plan, and wondered if staff had reviewed everything requiring review. He thought there should be conditions of approval for exterior lighting, dust mitigation, etc. Mr. Vetter was not confident a shuttle stop at the proposed location was realistic.

Mike Egan/County resident stated he was a part-owner of the Rock Inn and an adjacent residential rental property. He was concerned about the proposed turn lane, stating it would eliminate 16 parking spaces at the Rock Inn. He felt his concerns have been ignored, as have those concerns of others. He disagreed with the classification of this project as an "accessory use" for the RV Park. He suggested the Commission evaluate the impact the project will have on adjacent properties, as required by both the EVDC and the State Highway Access Code. Mr. Egan stated if this project is approved, it would be surrounded by people that are opposed to it.

Mark Donahue/County resident stated the Town Board, as the decision-making body for this project, would be making a decision affecting adjacent property owners that live outside the Town limits. Those opposed are locals that would have to deal with this business on a daily basis. As a long-time local resident, he was opposed to additional development in Estes Park that would bring in more tourists. This proposal would not be a fair and equitable outcome for everyone. He thought the Rock Inn should be gifted some parking areas to make up for parking spaces being lost.

Tim Roemer/business partner at the Rock Inn disputed whether alternative parking solutions were suggested by Van Horn Engineering. He stated there was a brief discussion with Randy Jackson about the small area between the Rock Inn and the proposed location of the Lazy B.

Colt Weber/County resident was concerned about the risks imposed to the public with the proposed turn lane and additional traffic. He is visually impaired, and the improvements proposed on Mills Drive and Spur 66 would make it more dangerous for him to get around without assistance, as he does now. He stated that due to the removal of the parking spaces in front of

**Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall**

15

the Rock Inn, people will be parking along Mills Drive, which will make the area more dangerous for pedestrians, thereby bringing the traffic on Mills Drive to an unreasonable level.

John Vernon/County resident was on the board that created the Spur 66 Management Plan, and to his knowledge it was not obsolete. Planner Gonzales stated the plan was recognized by the Planning Commission and County Commissioners, but was not a formally adopted plan. Mr. Vernon stated there were several reasons commercial businesses were discouraged near the intersection of Highway 36 and Spur 66; the close proximity to RMNP, the congestion at Beaver Point (Moraine Avenue & Marys Lake Road), etc. This proposed development would create a bottleneck that could not be mitigated with traffic control. He was opposed to the project.

Ann Vernon/County resident stated she has worked with the YMCA of the Rockies and Federal land developers to keep open space in their area, since it is close to RMNP. She was supportive of the success of the Rock Inn and was concerned about a larger project going in nearby. She recommended the Planning Commissioners not allow the entrance on Mills Drive, but instead use the Elk Meadow RV Resort entrance. She was opposed to the project being so close to RMNP. She stated the Mills Drive entrance is the reasoning behind a lot of the anger with this project. She thought there would be too much noise for the campground, residents of the High Drive area, etc. She was opposed to the project.

Sherrie Durris/County resident commented on the wildlife study, stating Mills Drive has a lot of wildlife, including bear, deer, bobcat, weasel, and elk. She was concerned about the noise, light pollution, traffic, impact on wildlife, etc. She wondered if the Commissioners would be in favor of this if it were in their backyard.

Jill Schladweiler/County resident stated she lives on Mills Drive and is part of Estes Park's working class. She stated if Mills drive was going to be widened, a sidewalk should be required, and thinks the food at the Lazy B will attract bears. She was concerned about what would happen to the property if the business did not succeed. She is not opposed to growth and understands Estes Park is a tourist town, but she needs to believe in where she lives in order to stay. She was opposed to the project.

Jenna Melissa/County resident stated tourists that do not understand the environmental impacts to wildlife will have a negative impact on the area. She caters to visitors to Estes Park that come to enjoy the open space. She was concerned about the traffic delays at the intersection of Highway 36 and Spur 66, and how it could impact her business as a fly fishing and hiking guide. She stated the light pollution could attract bugs that would not normally be in the area, impacting the aquatic wildlife. She was concerned about whether the business would be successful, when there are several other events in Estes Park that are offered at no charge.

Deborah VanTaessel/ County resident understands the impact that tourists have on traffic in the area of the proposed project. She was concerned about the possibility of the population living on

Estes Valley Planning Commission

April 19, 2016

Board Room, Estes Park Town Hall

Spur 66 needing to be evacuated due to an emergency. She stated she did not know about the project until just a few days ago, and thought there should be more publicity about it. She was opposed to the project.

Susan Wolfe/County resident was concerned about the air pollution from tour busses, meat smokers, etc. She was concerned about attracting bears to the area. If the pond is a natural pond, she would be concerned about it being used for stormwater runoff.

Public comment closed.

Commissioner and Staff Discussion

Addressing Mr. Thomas' concern about inaccurate survey information, Commission Klink requested Lonnie Sheldon to explain. Mr. Sheldon stated the surveys meet state statutes, and the right-of-way information was found in the title search. Mr. Sheldon would like to meet with Mr. Thomas to resolve any disputes.

Regarding the temporary use permit, Planner Gonzales stated staff has the authority to approve temporary use permits, and can limit the use to what is appropriate. The temporary use permit for the Lazy B allows operation from May 15, 2016 to September 30, 2016. The temporary use is not part of Phase 1, and is not part of the application presented today.

There was discussion regarding Estes Park traffic in general, and who was accountable for making it work properly. Comments included but were not limited to: why is there not already a light at that intersection?; CDOT should not have allowed the creation of that intersection the way it is; a condition of approval could be to have the temporary stop sign at that intersection; whether or not a temporary stop sign would be required is determined by CDOT; traffic is a concern from the majority of the people that commented today; there is no easy answer.

Kevin Ash/Town engineer stated the Town recently received authorization from the Town Board to apply for a grant to make improvements around the intersection of Moraine and Marys Lake Road. He stated there are steps being put into place to be proactive with making improvements to the Moraine Avenue corridor, which would directly impact the area being discussed.

Commissioner Schneider expressed his concern about parking availability for the Rock Inn, and the desire to see more discussion between the applicant, the owners of the Rock Inn, and others heavily impacted by the proposed project to work out a solution. Commissioner Hills agreed.

Commissioner White stated the people that spoke today are the workers in Estes Park. The impact on Mills Drive will have a big impact on that neighborhood. She was not a big fan of allowing the tent on a temporary basis. She suggested trying to work with the property owners to have the entrance for Lazy B and the Elk Meadow RV Resort use the same entrance.

Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall

17

Commissioner Hull agreed. Planner Gonzales stated whether or not a tent is considered an indoor or outdoor activity was a determination made by staff.

Commissioner Klink was concerned about the proposed project being expanded to include additional performances, and the impact it would have on traffic.

Commissioner Murphree stated he did not think the Lazy B would add daytime shows, as people that visit the area are typically outside during the day, and past history with the Former Lazy B and the Barleen's evening shows are preferred. He stated the traffic to the area would be from people that are already in town, not additional visitors. He was concerned about bears getting into the tents. He stated this recommendation to the Town Board would be a very difficult one.

Commissioner Moon stated he was disturbed by the lack of willingness between the parties involved to communicate on the issues. There needs to be some consensus on the parking and access issues. The owner and the lessee need to work together to arrive at a solution. The risk to pedestrians as it relates to the increase in traffic and parking is another issue that needs to be worked out. It seems like there is a lot of opportunity for compromise that has been squelched due to the emotions of those involved.

Commission Murphree added he thought the parking issue was very fixable, if the parties would communicate and be willing to compromise. He would like to see the application continued to allow additional communication between the parties involved.

Town Attorney White stated the applicant has submitted a plan for review, and has a right for the Planning Commission to recommend approval or denial of that plan. It is not in the Commission's purview to recommend ideas that would improve the plan. Placing a condition of approval on the project regarding communication with other parties is not appropriate, as the applicant has no control over a third party. Attorney White stated continuing the meeting is an option, to allow the applicant time to address the concerns presented today.

Conditions of Approval

1. Compliance with affected agency emails and memos:
 - a. Upper Thompson Sanitation District memo dated January 25, 2016
 - b. Estes Valley Fire Protection District memo dated January 27, 2016
 - c. Town of Estes Park Utilities Department memo dated February 1, 2016
 - d. Town of Este Park Public Works Department memo dated February 19, 2016
 - e. Larimer County Engineering emails dated March 2, 2016 & April 6, 2016
2. The applicant shall submit an amended road design plan set addressing the comments from Larimer County Engineering in regards to the right turn lane being extended.
3. The applicant shall amended the development plan set as follows:
 - a. Change 125PPL/Bus to 50PPL/Bus
 - b. Remove installation of right turn from Phase 1 and include in Phase 2 plan

RECORD OF PROCEEDINGS

**Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall**

18

- c. Under required parking, change 3.5 people/vehicle to 3.75 people/vehicle, per traffic study analysis
- d. Change required 215 spaced to 200 spaces, per traffic study analysis
- e. Change water main extension distance from building from 525 feet to 250 feet.
4. Variance approval by the Board of Adjustment is required for off-street loading area location.
5. A noise reading shall be performed prior to the first show in the temporary tent to ensure compliance with the noise ordinance. Noise study results shall be submitted to staff for review and approval.
6. Dust mitigation efforts shall be performed by the applicant as proposed in the Statement of Intent for the Phase 1 and Phase 2 dirt parking lot prior to every phone and during high wind storm events.
7. A JWD (Jurisdictional Wetland Delineation) shall be conducted on the site to formally delineate the potential wetland areas. Results shall be submitted to staff prior to the Board of Trustee meeting.
8. Plans for the food service operations shall be approved by the Larimer County Department of Health and Environment prior to issuance of a building permit.
9. A photometric study shall be submitted to staff before construction of the final parking lot design.
10. A 15-foot utility easement shall be recorded separately from the development plan.
11. Construction plans shall be reviewed and approved prior to issuance of any building or grading permit.

It was moved and seconded (Moon/Hills) to continue the review of the Special Review application to the next meeting, and requesting staff to initiate a discussion with CDOT regarding the signalization at the intersection of Highway 36 and Spur 66, and the motion passed unanimously.

REPORTS

1. Interim Director Cumbo reported the first meeting of the County's Vacation Home Task Force for vacation rentals with occupancies of nine and over will be meeting April 27th from 1-5 p.m. During the joint meeting between the County Commissioners and the Town Trustees, they agreed on most of the regulations except the cap, and because of that no amendments to the current regulations have been finalized. We are currently functioning under the current regulations that have been in effect, and will have additional discussions/study sessions with the new Trustees.
2. Interim Director Cumbo reported the amendments to the EVDC regarding density calculations and employee housing were approved by the Town Board and the County Commission.
3. Interim Director Cumbo reported two candidates for the Community Development Director were interviewed. One was offered the position but declined the offer. The search continues.

RECORD OF PROCEEDINGS

Estes Valley Planning Commission
April 19, 2016
Board Room, Estes Park Town Hall

19

4. Interim Director Cumbo reported the vacant Planner position has been posted.
5. Environmental Planner Tina Kurtz reported a public meeting on the technical aspects of how the hydrology study was being conducted was held this morning. The results will be available in June, and another public meeting will be held to announce and discuss the results.
6. Environmental Planner Tina Kurtz reported the US Army Corps of Engineers will be in town the week of May 9th to gather data for a non-structural floodproofing study of the downtown area. There will be a public meeting on May 9th to discuss the process.

There being no further business, Chair Hull adjourned the meeting at 5:32 p.m.

Betty Hull, Chair

Karen Thompson, Recording Secretary



TOWN OF ESTES PARK
COMMUNITY DEVELOPMENT

Memo

To: Betty Hull, Planning Commission Chair
Estes Valley Planning Commission

From: Audem Gonzales, Planner I

Date: May 17, 2016

RE: Special Review Development Plan: Lazy B Ranch and Wranglers

Continued Discussion: At the April 19th Planning Commission hearing the Commission asked for additional information pertaining to the Special Review Development Plan for the chuckwagon dinner and performance facility. The Commission requested information on the temporary tent classification, CDOT input on the Spur 66 and HWY 36 intersection, and wished to give the applicant more time to address the parking concern with the Rock Inn Mountain Tavern. This item was continued to the May 17th PC date.

Temporary Tent: The application proposal falls under the use classification *Indoor Entertainment Event, Major*. The Planning Commission questioned whether or not the use of a temporary tent for Phase I would fall under the parameters of being "indoor". The Estes Valley Fire Protection District as well as the Town of Estes Park Building Division classify this tent as a structure. The Building Division would also require building permits for use of a tent over 180 days. With this designation, staff has determined the use would take place within a structure, making it an indoor use.

HWY 36/Spur 66 Intersection: After recent discussions with CDOT, they felt the development proposal does not pose a major effect on the overall traffic situation at this location. They did comment that they are opposed to a 4 lane stop at this intersection at this time. They stated future traffic conditions may warrant re-considering their position.

Rock Inn Parking Concerns: The Commission continued this item to the next PC hearing to give the applicant additional time to meet with the Rock Inn and discuss the parking issue. This conversation is between the two parties and does not involve Planning Staff coordination.

Temporary Use Permit:

Several concerns came up at the April 19th Planning Commission hearing about the Temporary Use Permit approved for the summer of 2016. Temporary Use Permits are approved by Staff and do not go before the Planning Commission or Town Board. The TUP was approved for May 15th-September 30th for a timeframe of 5:30PM-8:00PM daily. The approved use allows up to 250 people in the existing lodge building on the Elk Meadow RV Resort property. Parking for this event will take place in the overflow area of the RV Resort just south of the existing pond. Any questions or concerns about this Temporary Use Permit should be directed to Audem Gonzales, Planner I at (970) 577-3729 or agonzales@estes.org.



United States Department of the Interior

NATIONAL PARK SERVICE
Rocky Mountain National Park
Estes Park, Colorado 80517

IN REPLY REFER TO:
A3815 (ROMO)



MAY 12 2016

Estes Valley Planning Commission
P.O. Box 1200
Estes Park, CO 80517

Dear Commissioners:

This is a follow-up to our letter to you dated February 26, 2016 regarding the Lazy B Wranglers Special Review. Perhaps due to the concerns that were raised in our initial letter, some have concluded that Rocky Mountain National Park (RMNP) is opposed to the Lazy B Wranglers proposal. This, in fact, is not the case. RMNP is neither supportive of nor opposed to the proposal. Our interests in this matter are related to specific aspects of the proposal to ensure that existing rights held by RMNP in public trust are honored and park resources are not adversely impacted.

We do appreciate the time that the planning staff devoted to addressing our air quality concerns, and we recognize that an air emissions permit is not required for this operation due to its size. In the past few weeks we have become aware of some additional matters that we believe warrant your consideration.

Traffic Control

The traffic study prepared by Delich Associates states: "With the existing stop sign control at the US36/Spur Highway 66 intersection, the westbound left-turn movement will experience significant delays during the start peak hour. This can be mitigated with all-way stop sign control at this intersection on a permanent or time limited basis."

The start peak hour would be 5:00 – 6:00 p.m. every night of the week from May through October. These are the busiest months of the year for RMNP, and the traffic study acknowledges this by stating, "In the 5-6 pm hour, there are significant exits from RMNP."

Westbound and eastbound Highway 36 north of Spur Highway 66 is owned and maintained by the United States of America as a federal highway. Placing a stop sign on a busy major U.S. highway, even on a limited basis, is not a viable option. We recognize that traffic will likely be a significant issue and encourage a coordinated viable solution be identified, before implementation.

Mills Drive

RMNP was granted a right-of-way where Mills Drive is located in 1924. While the right-of-way crosses land owned by Elk Meadow RV Essential Group LLC, RMNP relies on Mills Drive for ingress and egress to park facilities, residences, and the fire station jointly operated by RMNP and the Estes Valley Fire Protection District. As stated in our February 26, 2016 letter to the Planning Commission, we would prefer to see the main entrance to the Lazy B Wranglers on Spur Highway 66, not on Mills Drive.

Temporary Tent

In our February 26, 2016 letter we stated that we are not in favor of using a temporary tent because of potential noise impacts to park employees and their families who live in nearby park housing. We are also concerned that bears will be attracted to the area because of lingering food odors in the tent from the nightly chuck wagon supper, and food scraps on the ground. The tent would be placed over the natural ground surface, making cleanup of food scraps very difficult. RMNP participates in the community led Bear Education Task Force, and we have worked responsibly to protect the bear population both inside and outside the national park. If bears are attracted to the tent and become a nuisance, it would be a significant setback.

We appreciate the opportunity we have been given to review the development proposal. If you have any questions about the comments we have provided, please contact Larry Gamble. He can be reached at (970) 586-1320 or larry_gamble@nps.gov.

Sincerely,



Ben Bobowski
Acting Superintendent

cc: Michelle Oliver
Van Horn Engineering – Celine LeBeau



Lazy B Ranch and Wranglers Special Review Development Plan

Estes Park Community Development Department, Planning Division
Room 230, Town Hall, 170 MacGregor Avenue
PO Box 1200, Estes Park, CO 80517
Phone: 970-577-3721 Fax: 970-586-0249 www.estes.org

ESTES VALLEY PLANNING COMMISSION

MEETING DATE & LOCATION: April 19th, 2016, 1:30 PM; Board Room, Town Hall, 170 MacGregor Avenue.

APPLICANT REQUEST:

Special Review Development Plan

STAFF OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC) and Estes Valley Comprehensive Plan; and
2. Provide a recommendation to the Planning Commission.

PLANNING COMMISSION OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC) and Estes Valley Comprehensive Plan;
2. Conduct a public hearing to consider applicant's testimony, public comment, and Town staff's findings and analysis; and
3. Provide a recommendation to the Estes Park Town Board of Trustees of approval or denial of the Special Review Development Plan application.

LOCATION: 1665 HWY 66, within the Town of Estes Park

OWNER/APPLICANT:

Randy Jackson and Michael Andrejek / Michelle Oliver

CONSULTANT/ENGINEER:

Engineer: Celine LeBeau, VanHorn Engineering & Surveying

Architect: Basis Architecture

STAFF CONTACT: Audem Gonzales, Planner I

REPORT SUMMARY AND PROJECT BACKGROUND:

This report describes a request for approval of a Special Review Development Plan to develop a 750 person capacity Chuckwagon Dinner and Live Entertainment facility on a 5-acre site located at 1665 HWY 66, within the Town of Estes Park. The property is zoned A-Accommodations. The development site is a small portion of the much larger 30.75-acre site that currently accommodates the Elk Meadow RV Resort. The proposal includes a 17,910 sq. ft. building, 192 space parking lot, widening of Mills Drive, installation of a right turn lane on Spur 66, and landscaping. The Development Plan is phased out into three phases over the course of 3 years.

Staff has reviewed this application for compliance with the Estes Valley Development Code and finds that if revised to comply with conditions of approval, the application will comply with applicable regulations. Therefore, staff recommends

approval of the Special Review Development Plan application, subject to conditions described in the staff report.

CONTENTS

SITE DATA MAPS3

SITE DATA TABLE5

REVIEW PROCESS6

REVIEWING AGENCY COMMENTS6

PUBLIC COMMENTS7

STAFF REVIEW7

STAFF FINDINGS15

STAFF RECOMMENDATION15

SAMPLE MOTIONS16



SITE DATA MAPS AND TABLE:

The 5-acre development site includes frontage on Mills Drive. The land uses surrounding the site vary, with uses to the west being offices, facilities, and emergency response for Rocky Mountain National Park, uses to the south being single-family residential, a restaurant/tavern use to the east, and a RV park/campground to the north. Figure 1 (below) shows the overall vicinity of the project from an aerial view. Figure 2 shows the zoning districts in the vicinity of the development. Figure 3 shows Mills Drive, a 20-foot asphalt private drive, looking northwest.



Figure 1: Aerial Vicinity Map of Development Site

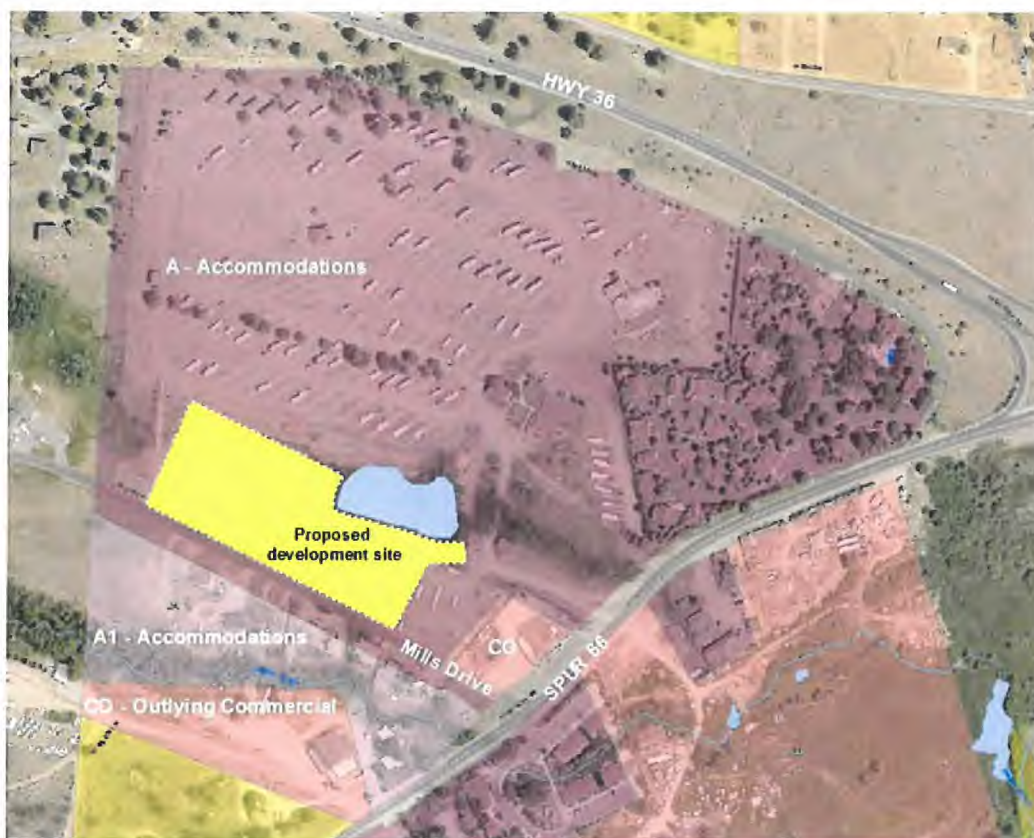


Figure 2: Zoning Map



Figure 3: Mills Drive looking northwest

Site Data Table

Parcel Number: 3534100001	Project Area: ~5-acres of the 30.75-acre parcel
Existing Land Use: The project area is currently used as RV overflow and storage	Proposed Land Uses: Entertainment Event, Major: (Chuckwagon Dinner and Live Entertainment Facility)
Services:	
Water: Town of Estes Park	Sewer: Upper Thompson Sanitation District
Open Space: Required: N/A	
Lot Coverage: Maximum allowed: 50%	Proposed: 22.3%
Building Uses:	
Phase 1: kitchen, bathrooms, mechanical room, employee bathroom, office, and employee lounge	4,560 sq. ft.
Phase 2: dining/performance hall	12,200 sq. ft.
Total Built Square Footage	17,910 sq. ft.
Hazards/Physical Features:	Mapped in the project vicinity?
Wildfire Hazard	No
Geologic Hazard	No
Wetlands	Yes
Streams/Rivers	No
Ridgeline Protection	No
Sensitive Wildlife Habitat	No



REVIEW PROCESS:

This application package includes:

Special Review of Development Plan Review (§3.5): A Special Review is required for this development plan. The proposed construction of an *Indoor Entertainment Event, Major* in the A-Accommodation zone district prompted the Special Review requirement.

Development Plans shall comply with all applicable standards set forth in the EVDC and demonstrate consistency with the policies, goals and objectives of the Comprehensive Plan. Special Review requires applications mitigate, to the maximum extent feasible, potential adverse impacts on nearby land uses, public facilities and services, and the environment.

Recommending Body: Estes Valley Planning Commission

Decision-Making Body: Estes Park Board of Trustees, tentatively scheduled for May 24, 2016.

Variances (§3.6): The BOA shall hear requests for variances where it is alleged that the provisions of this Code inflict unnecessary hardship and practical difficulties upon the Applicant.

Decision-Making Body: Estes Valley Board of Adjustment

Minor Modifications (§3.7): A minor modification is required for the 2.6' encroachment into a designated wetland setback.

Decision-Making Body: Staff level approval

REVIEWING AGENCY COMMENTS:

This request has been submitted to reviewing agency staff for consideration and comment. Received emails and memos are included as part of this staff report.

- **Town of Estes Park Shuttle Coordinator** memo dated January 21, 2016
- **Upper Thompson Sanitation District** memo dated January 25, 2016
- **Estes Valley Fire Protection District** memo dated January 27, 2016
- **Town of Estes Park Code Compliance Division** email dated January 28, 2016
- **Town of Estes Park Utilities Department** memo dated February 1, 2016
- **Town of Estes Park Public Works Department** memo dated February 19, 2016
- **Rocky Mountain National Park** memo received February 26, 2016
- **Larimer County Engineering** emails March 2, 2016 and April 6, 2016
- **Larimer County Department of Health and Environment** email dated March 4, 2016

PUBLIC COMMENTS:

In accordance with the notice requirements in the Estes Valley Development Code, legal notices were published in the Estes Park Trail-Gazette. Typical mailings include a 500-foot radius.

As of April 7, 2016, several written comments have been received for this application package. Written comments will be posted to www.estes.org/currentapplications if received after April 7, 2016.

The public comments received thus far have been mostly in opposition to the proposal. The majority of the written comments are from adjacent property owners. The most prevalent concerns they bring up are; traffic along Mills Drive, noise from the events held at the facility, and the parking situation for the Rock Inn. There have been a couple written public comments in support of this project which mention; continuing the cowboy/western tradition of Estes Park, diversifying entertainment businesses in Estes Park and building on previous Lazy B memories.

The applicant held a public meeting at the Estes Valley Library in the Hondius Room on February 17th, 2016 from 6-7PM. Area residents were encouraged to attend and listen to a presentation and ask questions. A second public meeting at the Estes Valley Library was held on March 28th, 2016 from 7-9PM.

STAFF REVIEW:**Estes Valley Development Code**

The following is a summary of the proposed development's compliance with applicable sections of the EVDC.

Use, Density and Dimensional Standards**Use (EVDC §4.4)**

The proposed chuckwagon dinner and live entertainment facility is classified as an Entertainment Event, Major (indoor facility) use. General definition: Major entertainment event uses are characterized by activities and structures that attract people to specific (often large-scale) events or shows. Activities are generally of spectator nature. Accessory uses may include restaurants, bars, concessions, parking and maintenance facilities.

Entertainment Event, Major uses are permitted by Special Review in the A-Accommodations zone district.

Density and Dimensional Standards (EVDC §4.4; Table 4-5)

The following table demonstrates the application's compliance with the EVDC Density and Dimensional Standards.

	Required	Proposed
Minimum Lot Size	40,000 sq. ft.	~217,800 sq. ft.
Maximum Building Height	30-feet (32-feet allowed with slope adjustment)	26.25-feet
Maximum Floor Area Ratio	N/A	0.08%
Front Setback	15'	15'



Side Setback	15'	15'
Rear Setback	10'	10'

Lot Coverage (EVDC §4.3)

Lot coverage represents those parts of the site that are covered by development that prevents or impedes the passage or absorption of stormwater (e.g. buildings, parking, sidewalks). The development proposes a lot coverage percentage of 15%. The maximum allowed in the A-Accommodation zone district is 50%.

Grading and Site Disturbance Standards (EVDC §7.2)

The plan demonstrates compliance with general grading and site disturbance standards, including limits on raising or lowering natural grade and design of stormwater basins.

Tree and Vegetation Protection (EVDC §7.3)

The subject site has very little vegetation currently. There are a few trees located where the proposed parking lot is located. These trees will be replaced in the proposed landscaping plan for the site.

Landscaping and Buffers (EVDC §7.5)

The landscaping requirements for this development proposal include; street buffer landscaping, parking lot perimeter and interior landscaping, and interior site landscaping. The applicant has proposed a Three Phase landscaping plan that meets the requirements of Code. Phase 1 includes street buffer landscaping with 19 proposed trees and numerous shrubs and other plantings. Phase 2 includes 38 trees in and around the parking lot. This phase also includes numerous shrubs and other plantings. Phase 3 includes interior lot landscaping around the building. This phase proposes 7 trees and numerous shrubs and other plantings.

The overall landscaping plan calls for an extensive landscaped site with a variety of species. The street landscaping plan provided exceeds the street landscaping requirements of Code. All trees along Mills Drive will be planted 5 feet away from water and sewer mains to ensure there is no conflict with these lines. All landscaping will be irrigated with an automated underground irrigation system.

Wetlands and Stream Corridor Protection (EVDC §7.6)

This Section sets forth buffer and setback requirements intended to protect wetlands, rivers and streams from hazards associated with development. There are no delineated river or streams on or near the subject area. Two potential wetland habitat areas have been identified and conservatively mapped for this submittal. A formal JWD (Jurisdictional Wetland Delineation) shall be conducted once soils are thawed. The first potential wetland area is located west of the pond located on the site. A very small portion of the main building decking (2.6') is located within the 50-foot wetland setback. This encroachment will require a staff level Minor Modification. The second potential wetland area is located on the extreme west end of the site. The wetland area drains into an existing 15" culvert then into an existing swale that empties into the existing pond. The parking lot is located outside of the 50-foot wetland setback on the west end of the site. Staff will place a condition on this development plan that a formal JWD study be performed with results submitted to Community Development Staff for review.

Wildlife Habitat Protection (EVDC §7.8)

A wildlife habitat evaluation and impact analysis was provided and found no critical habitat or threatened/endangered species habitat on the site. No local wildlife species will be adversely affected by the proposed project. The Lazy B development does not propose any obstructions to critical wildlife movement corridors.

Exterior Lighting (EVDC §7.9)

Exterior lighting will be located at the required entry points of the new building, attached to the building and will be shielded and deflected downward. The proposal calls for reducing exterior lighting after 10 PM. Approval of exterior building lighting shall be addressed during the building permitting process.

The applicant has not provided a photometric study for the parking lot with this proposal. The parking lot phasing plan calls for construction to take place in Phase Three of the development. If the parking area is determined to be too large, the configuration of the lot may change, requiring an Amended Development Plan which will require a photometric study for the proposed light poles. Currently, three light poles are proposed. For parking lots containing more than 100 spaces, the maximum height for exterior luminaries is 25-feet. Staff shall place a condition of approval that a photometric study be performed during any final parking lot construction.

Operational Performance Standards (EVDC §7.10)

All land uses and new development within town limits shall comply with the Town of Estes Park noise ordinance set forth in Section 8.06.030. Sound levels for the A-Accommodations zone district shall not exceed 55 decibels during the hours of 7AM-8PM and 50 decibels between the hours of 8PM and 7AM. Staff shall require the applicant to perform a noise level study at the property line prior to the first show in the temporary tent to ensure compliance with the noise ordinance.

Off Street Parking and Loading (EVDC §7.11)

This Section sets forth a requirement for a Parking Study projecting parking demand and recommendations for Major Indoor Entertainment Event facilities. The Traffic Impact study prepared by Delrich Associates anticipates a full parking lot of around 200 vehicles. This number was derived from assuming a family event will have a car load of 3-4 passengers. A 750 max attendance with a 3.75 carload equals 200 cars. The applicant has provided a parking lot of 192 spaces, 6 handicap accessible spaces, 1 loading space, 5 charter bus spaces and a 10 bike capacity bike rack.

The applicant has provided 5 parking spaces for tour buses in the parking lot. The business plan includes contracting with bus tour companies bringing an average of 50 people per bus which would vastly reduce the parking space requirement. The project proposal also intends to utilize the free shuttle that currently stops at the entrance of the Elk Meadows RV Resort. This project provides a soft surface trail from the shuttle stop to the event facility.

The plan proposes a 3-Phase build out with the parking lot being built in the third phase. The reason for this is because the actual facility will not be built until Phase 2. During Phase 2, the full 750 capacity may be reached. With tour buses, free shuttle, and anticipated family car loads, the applicant wishes to re-explore actual traffic counts during the first two phases. The parking lot may be re-designed to account for a lower amount of cars on-site. Staff finds this request to be reasonable.

Any parking lot reconfiguration in the near future will require an amendment to any approved plan.

Code requires street side loading areas to be setback at least 110-feet from the street center line. The proposal calls for a 61.6' street center line setback. The applicant has submitted a Variance application for this request.

Adequate Public Facilities (EVDC §7.12)

Adequate services and facilities are available to serve the development proposal.

Sewer.

The plan proposes to connect into existing Upper Thompson Sanitation District sewer system via a new 6" service line approximately 525-feet in length.

Water and electric service.

The plan proposes to extend a 12" water main on the north side of Mills Drive for approximately 250-feet. This project requires the water main extension and a 20' utility easement along the north side of Mills Drive. The remainder of the water main extension passed this point would be the sole responsibility of an adjacent property or development proposal. There is also potential for a future 12" waterline to continue along Mills Drive that would access Rocky Mountain National Park.

The existing overhead electric lines will be buried during the installation of the water main. They will be buried in the same trench as the water main and be included in the same 20' utility easement.

Drainage.

Current drainage is conveyed as sheet flow across the property until it reaches the pond or area below the pond. From there, it follows the off-site drainage path to the Big Thompson River. The on-site pond is utilized for pass through and drainage from the developed area. The post development on-site storm flow will be handled through a number of conveyance methods ranging from flow in streets/curb and gutter, overland flow, and flow through catch basins and in storm sewer pipes.

Fire Protection.

The Estes Valley Fire Protection District has included Conditions of Approval for the proposed development included in the enclosed memo dated January 27, 2016.

Transportation.

All developments shall be required to demonstrate that there will be no significant adverse impact on existing transportation level of service, access and vehicular movement on any Arterial or Collector Street or intersection within on-quarter mile of the site or that any such adverse impact has been mitigated to the maximum extent feasible.

The traffic study performed by Delrich Associates concludes that a southbound right turn lane is required at the intersection of Spur 66 and Mills Drive. The southbound right-turning traffic at the start peak hour meets the threshold requiring a right turn lane at this intersection. Given the other land uses that are served by Mills Drive, it is not likely that the right turn lane is or will be required during any other hour of the day. There is sufficient County ROW to accommodate a right turn lane at this



intersection, approximately 70-feet. Larimer County Engineering staff and Town of Estes Park Engineering staff have both agreed with the right turn lane requirement.

The traffic study also recommends a limited time all-way- stop sign control condition at the intersection of LCR69B/US HWY 66. This would require CDOT approval.

Currently, Mills Drive is approximately 20-feet wide with asphalt and no curb and gutter. Public Works is requiring the private drive to meet local street standards with 45-feet of dedicated ROW, 24-feet of asphalt and curb and gutter on both sides up to the entrance of the Lazy B development. Currently, the ROW width for the private drive is 30-feet. This proposal is dedicating an additional 15-feet on the north of Mills Drive. The existing 30-feet of ROW extends south of Mills Drive to the south end of the Elk Meadow property line. All road widening and curb and gutter will take place in the existing ROW for Mills Drive.

Street Design and Construction Standards (EVDC Appendix D)

This development triggers a sidewalk to be built along Mills Drive. The applicant and staff do not feel constructing the sidewalk at this time is reasonable as it would only extend to the property line to the east of this development. Public Works has requested that the design of the walk and a cost estimate be provided in order to allow cash-in-lieu for the sidewalk.

Other applicable standards found in Appendix D, such as street construction and design standards, driveway access, erosion control and tree and vegetation protection during construction and grading activities, shall be addressed with construction plans.

Estes Valley Comprehensive Plan

The proposed project is located within the Spur 66 Planning Sub-Area of The Estes Valley Comprehensive Plan. The property is designated as Multi-Family Residential which is not aligned with the current zoning, A-Accommodations. The sub-area plan has several listed guidelines that are unique to Spur 66 and either support or do not support the proposed project;

Guidelines that support project

- Commercial uses should not be extended along the Spur. They should be contained within their existing locations. *(Staff comment: The proposed commercial use is a permitted commercial use at this location by Special Review. The applicant is proposing a commercial project in an area that currently allows commercial uses.)*
- Maintain the character of the Spur by setting buildings well back from the roadway. *(Staff comment: The plan proposes to set the building back further from Mills Drive than the 15-foot setback requires. Also, this proposal places the facility approximately 240 feet from the east property line. The east property line is the closest boundary to Spur 66.)*
- The campground at the portal should not be expanded. Campgrounds should be limited to the existing number. *(Staff comment: This proposal greatly reduces the land availability for campground utilization and expansion. The applicant has stated they are interested in subdividing*



the parcel to have their use contained on a separate lot from the campground.)

Guidelines that do not support project

- The commercial campground at the Spur 66 Park entrance intersection should evolve into housing. *(Staff comment: The campground property is roughly 30.75-acres with this proposal using ~5-acres. There is adequate land to re-develop this entire site with various land uses.)*

In addition, Staff finds the proposed development advances several adopted Community-Wide Policies, including:

Community Design:

- Avoid the use of roofing materials which are light colored or reflect light.
- The natural colors of wood and stone are most desirable for building exteriors.
- Facades should be broken up with windows, doors or other architectural features to provide visual relief.
- Lighting should be shielded and directed downward, so that the light source is not visible from beyond the property line, and does not illuminate surrounding properties or the sky.

Growth Management:

- Encourage infill of older core areas in order to reduce infrastructure costs.

Mobility and Circulation:

- Implement access control improvements as development occurs.
- Encourage movement toward alternative modes of transportation.

Economics:

- Maintain a unique blend of businesses, resident and visitors, without negatively affecting the natural beauty of the Estes Valley.
- Sustain and support the existing tourism industry and marketing programs.
- Establish the basis for a sound tourism market and sustainable economic climate.

Intergovernmental Coordination:

- The Town and the County will encourage redevelopment and infill as a primary tool to create a compact community and to prevent sprawl.

Special Review Criteria

Special Reviews are development plans that include uses that by their nature have potential impact on surrounding properties. Specifically, these reviews require applications to mitigate, to the maximum extent feasible, potential adverse impacts on nearby land uses, public facilities and services, and the environment.

The applicant has identified several potential impacts on nearby land uses, public facilities and services, and the environment. Below is a summary of how the applicant has proposed to mitigate these potential impacts;

1. Traffic and parking considerations



- a. A traffic study was provided with this application and that study determined that at turn lane from Spur 66 onto Mills Drive will be required.
- b. Mills Drive is proposed to be widened to 24' with curb and gutter from the entrance onto Mills Drive from Spur 66 to the entrance of the Lazy B Ranch and Wranglers site.
- c. The entrance to the event facility is proposed to come off of Mills Drive to reduce the potential for backing up along Spur 66. Also, having the entrance off of Mills Drive is what would be required if this development area were to subdivide from the larger 30.75-acre parcel.
- d. The applicant has proposed hiring an off-duty traffic control officer during peak traffic periods each evening during the summer season.
- e. The applicant has proposed utilizing the free Estes Park shuttle service to offer an alternative mode of transportation to the event facility.
- f. The applicant has proposed contracting with bus tour companies to offer an alternative mode of transportation to the event facility. The proposed parking lot provides five parking spaces for tour buses.
- g. A shuttle service is proposed to be provided for Lazy B employee transportation to and from their homes.
- h. Limited employee housing may be provided on-site

2. Environmental Impacts

- a. The development area has one designated wetland area. The preliminary wetland screening has found a potential second wetland area on the far west side of the site. A formal Jurisdictional Wetland Delineation will be conducted once soils are thawed.
- b. No critical habitat or threatened/endangered species habitat were found on the site.

3. Noise impact and hours of operation

- a. The proposed hours of operation are 7 nights a week from 5-8PM.
- b. Music performances are proposed to occur only from 7-8PM.

4. Other potential impacts

- a. Light from headlights of cars as they exit should only occur for a short time period after 8PM. The extensive landscape buffer along Mills Drive offers a filter from light and noise.
- b. The viewshed to the north from residents south of Mills Drive will be improved by this development proposal. Currently, the view consists of broken down wire fence, high wires, piles of debris and dirt, and a lot full of RV's. This proposal calls for a tree lined Mills Drive with overhead power lines to be buried underground in the same trench that is excavated for the new water main. The proposed building will block the view of the RV lot and improve the overall appearance of the property.
- c. Dust from the dirt parking lot (first two project Phases) will be mitigated by surface spraying (water or soil tackifier) prior to events or during high wind storms.

Air Quality impacts

Rocky Mountain National Park has expressed concern about potential air quality issues this proposal may present by grilling large quantities of beef and chicken. Specifically, the release of particulate matter (PM) and volatile organic compounds (VOCs) into the air. The national park has evaluated weather data over the past ten years and determined from May through October (the proposed Lazy B operating season) the wind blows from the east 21% of the time. They have expressed concern that pollutants from food preparation will enter the park.

This concern was routed to the Larimer County Department of Health and Environment. They consulted with the Colorado Department of Public Health and Environment on the air quality regulations. It is opinion of the LCDHE that the Lazy B source by itself does not rise to the level of needing an air emissions permit unless a charcoal or wood-fired cooker will be used and exceed the threshold amount of 17 tons of wood/year

Variances and Minor Modification requests

The applicant for the Lazy B Ranch is requesting one Variance and one Minor Modification from the Estes Valley Development Code.

1. Variance to 7.11.N.2.b. Off-Street Loading Requirements; location
Street side loading docks shall be set back at least seventy (70) feet from the street property line or one hundred ten (110) feet from the street center line, whichever is greater.

This proposal places the loading space 61.6' from the proposed Mills Drive center line. This distance does not comply with Code requirements, therefore a Variance has been applied for by the applicant.

2. Minor Modification to 7.6.E.2.b Wetland and Stream Corridor Protection Buffer/Setback
The proposed plan shows the covered deck of the main facility building encroaching into a 50-foot wetland setback by 2.6'. All buildings, accessory structures and parking lots shall be set back at least fifty (50) feet horizontally from the delineated edge of a wetland.

Per Code requirements for Minor Modifications, up to a 10% deviation from general development standards may be granted at a Staff Level if the modification advances the goals of the Comprehensive Plan and relieves a practical difficulty in developing the site.

Community Wide Policy in the Comprehensive Plan

- 2.2 Locate and design buildings to fit the land. Avoid excessive cuts and fills by stepping buildings down sloping sites.

Staff comment: The 15-foot front setback on this site greatly inhibits the buildable area of the site. Coupled with landscaping buffer widths and a second wetland setback area, the applicant has proposed a building that fits the needs of their use that is mostly contained outside of any setback. A 2.6'



encroachment into a wetland setback is very minimal. Staff finds that the building is designed to fit the land and natural barriers that are on-site.

Development Phasing Plan

Phase 1 (2017): Permanent kitchen and bathroom facilities (4,560 SF), ADA compliant concrete sidewalks, paved ADA compliant parking spaces, temporary dining tent (8,712 SF total, 63 tables and 200 SF indoor stage), dirt parking lot, landscape buffer along Mills Drive, Mills Drive road improvements, new site entrance off Mills Drive, water main extension, sanitary sewer service line, and soft surface trail from tent site to free shuttle stop on Spur 66.

Phase 2 (2018): Construction of final dining/performance hall (12,200 SF), when added to the previous 4,560 SF will total 17,910 SF), internal lot landscaping, and installation of right-turn lane at the intersection of Spur 66 and Mills Drive.

Phase 3 (2019): Construction of parking lot, parking lot curb and gutter, storm sewer installation, parking lot landscaping.

STAFF FINDINGS:

Based on the foregoing, staff finds:

1. If revised to comply with recommended conditions of approval, the application will comply with applicable sections of the Estes Valley Development Code, as described in the staff report.
2. The application is consistent with the policies, goals and objectives of the Comprehensive Plan.
3. Adequate services and facilities are available to serve the development.
4. The Planning Commission is the Recommending Body, and the Town Board of Trustees is the Decision-Making Body for the Special Review application.

STAFF RECOMMENDATION:

Staff recommends **APPROVAL** of the Special Review application subject to the following **CONDITIONS**:

1. Compliance with affected agency emails and memos:
 - a. **Upper Thompson Sanitation District** memo dated January 25, 2016
 - b. **Estes Valley Fire Protection District** memo dated January 27, 2016
 - c. **Town of Estes Park Utilities Department** memo dated February 1, 2016
 - d. **Town of Estes Park Public Works Department** memo dated February 19, 2016
 - e. **Larimer County Engineering** emails March 2, 2016 and April 6, 2016
2. The applicant shall submit an amended road design plan set addressing the comments from Larimer County Engineering in regards to the right turn lane being extended.
3. The applicant shall amend the development plan set as follows:

- a. Change 125PPL/Bus to 50PPL/Bus
 - b. Remove installation of right turn from Phase 1 and include in Phase 2 plan
 - c. Under required parking, change 3.5 people/vehicle to 3.75 people/vehicle, per traffic study analysis.
 - d. Change required 215 spaces to 200 spaces, per traffic study analysis
 - e. Change water main extension distance to building from 525' to 250'
4. Variance approval by the Board of Adjustment is required for off-street loading area location.
 5. A noise reading shall be performed prior to the first show in the temporary tent to ensure compliance with the noise ordinance. Noise study results shall be submitted to staff for review and approval.
 6. Dust mitigation efforts shall be performed by the applicant as proposed in the Statement of Intent for the Phase 1 and Phase 2 dirt parking lot prior to every show and during high wind storm events.
 7. A JWD (Jurisdictional Wetland Delineation) shall be conducted on the site to formally delineate the potential wetland areas. Results shall be submitted to staff prior to the Board of Trustee meeting.
 8. Plans for the food service operations shall be approved by the Larimer County Department of Health and Environment prior to issuance of a building permit.
 9. A photometric study shall be submitted to staff before construction of the final parking lot design.
 10. 20' Utility easement shall be recorded separately from development plan
 11. Construction plans shall be reviewed and approved prior to issuance of any building or grading permit.

SAMPLE MOTIONS

1. I find that the application substantially meets the criteria above, and move to recommend **APPROVAL** of the Special Review application with the conditions recommended by Staff.
2. I find that the application does not substantially meet the criteria above, and move to recommend **DENIAL** of the Special Review application.
3. I find that the applicant has not provided sufficient information to review the application and move to **CONTINUE THE HEARING** to provide adequate time to review additional materials.

Attachments:

1. Statement of Intent
2. Application
3. Public meeting #1 minutes
4. Development Plan Set
5. Traffic Study Memo
6. Reviewing Agency Comments





Development Review Comments

January 21, 2016

To:

Audem Gonzales

Re:

Lazy B Ranch & Wranglers
Two Metes & Bounds parcels
1665 Hwy 66

Audem,

There are no comments from the Transportation Department (Town shuttles) regarding the proposal.

Respectfully submitted,

Brian Wells

Shuttle Coordinator
Visitor Services
Community Services Department
Town of Estes Park

Office: 970-577-3963
Email: bwells@estes.org
Web: www.estes.org/shuttles



P.O. Box 568 • Estes Park, CO 80517
Ph: 970-586-4544 • Fax: 970-586-1049
www.utsd.org

January 25, 2016

Audem Gonzales Planner I
Town of Estes Park
P.O. Box 1200
Estes Park, CO 80517

Re: Lazy B Ranch & Wranglers
Two Metes & Bounds parcels
1665 Hwy 66

Dear Audem:

The Upper Thompson Sanitation District submits the following comments for the above referenced property:

1. Per Van Horn Engineering flow calculations a 6 inch sanitary sewer will be adequate to service the proposed facility.
2. The District will require the proposed sanitary sewer to be installed per District Rules and Regulations. Metal slip top boxes will be required over 4 inch cleanouts in the roadway to protect the cleanouts.
3. An external grease interceptor for proposed building shall be sized and installed according to District Rules and Regulations.

If you have any questions or need further assistance, please do not hesitate to contact me.

Respectfully,

Todd Krula
Lines Superintendent

PLAN REVIEW COMMENTS

Date: January 27, 2016

Project Identification: Lazy B Ranch Chukwagon and Theater

Location: 1665 HWY 66

Referral: Completeness Review for "Lazy B Ranch Chukwagon and Theater"

The Estes Valley Fire Protection District has reviewed the submitted material describing the proposed project referenced above, and has the following comments (conditions of approval):

Phase one Temporary Dining Tent. (Conditions of approval):

1. Please see Tent & Canopy Checklist for permitting (plan submittal requirements) and Tent & Canopy General Requirements sheet attached. Tents or membrane structures shall not be located within 20 feet of lot lines, buildings, other tents or membrane structures, parked vehicles or internal combustion engines. For the purpose of determining required distances, support ropes and guy wires shall be considered as part of the temporary membrane structure or tent.
2. A tent permit applications, plans and fee schedule shall be submitted to the Estes Valley Fire Protection District.

Phase one kitchen / Bathrooms and new Dining Building (Conditions of approval):

1. The proposed (extinction) water line and fire hydrant shall be in phase one.
2. Per Fire Code Section 503.2.3 fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities. Field inspection required.
3. Fire apparatus access roads shall be permanently signed and / or marked "NO PARKING FIRE LANE" in accordance with municipal sign/traffic standards.
 - A. Access roads less than 26 feet wide shall be marked as fire lanes on both sides of the road.
 - B. Access roads at least 26 feet wide but less than 32 feet wide shall have at least one side of the road marked as a fire lane.
 - C. Access roads at least 32 feet wide need not have fire lane markings.

Prior to the issuance of a building permit the following requirements shall be met:

1. Construction plans (access / roads, water line system design) shall be reviewed and must meet approval of the Fire District.
2. The new required fire hydrant shall be installed. The hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the fire District. The Town of Estes Park must approve the installation and oversee the testing of water mains and hydrants.



ESTES VALLEY FIRE PROTECTION DISTRICT

Serving the Residents and Visitors of the Estes Valley with Superior Fire and Safety Services

3. Estes Valley Fire Protection District understands that this building will be protected by an automatic sprinkler system and fire alarm system based on occupancy (chapter 9). The following requirements shall apply:
 - A. An on-site hydrant flow test shall be conducted by the Water Division / Fire District. The responsible party shall contact the Fire District office at 970-577-3689 to arrange for the flow test.
 - B. All underground mains and lead-in connections to sprinkler system risers shall be completely flushed before connection is made to the sprinkler piping. A completed "Contractor's Material and Test Certificate for Underground Fire Line Piping" is required to be forwarded to the Fire District prior to rough-in sprinkler inspections. Private contractor installing underground fire line piping between a public water main and a sprinkler system shall provide the Fire District with evidence that they are currently registered with the Colorado Division of Fire Safety as a Fire Suppression System Contractor- Underground. The fire service main shall be hydrostatically tested at not less than 200 psi for two hours and flushed at a minimum flow rate as determined by the pipe size for a sufficient time to ensure thorough cleaning. The Fire District has not reviewed the fire alarm plans for code compliance. See Fire Permits below.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition) and the International Building Code (2009 Edition).

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Estes Valley Fire Protection District. If you have any questions please feel free to contact me.

Sincerely,

Marc W. Robinson
Fire Marshal
970-577-3689
mrobinson@estesvalleyfire.org

Audem Gonzales <agonzales@estes.org>

**Fwd: REFERRAL FOR COMMENT: COMPLETENESS REVIEW -
Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special
Review 2016-01**

1 message

Linda Hardin <lhardin@estes.org>
To: Audem Gonzales <agonzales@estes.org>

Thu, Jan 28, 2016 at 4:26 PM

Hey Audem,

The Elk Meadow RV Park has an outstanding code compliance issue that should be resolved before they open in May. Until that case is closed, no permits should be allowed.

Thanks,
Linda

----- Forwarded message -----

From: **Karen Thompson** <kthompson@estes.org>
Date: Wed, Jan 20, 2016 at 4:31 PM
Subject: REFERRAL FOR COMMENT: COMPLETENESS REVIEW - Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special Review 2016-01
To: Frank Lancaster <flancaster@estes.org>, Alison Chilcott <achilcott@estes.org>, 05 Kevin Ash <kash@estes.org>, publicworks <publicworks@estes.org>, 07 Susie Parker <sparker@estes.org>, 08 Jeff Boles <jboles@estes.org>, Cliff Tedder <ctedder@estes.org>, Steven Rusch <srusch@estes.org>, 09 Reuben Bergsten <rbergsten@estes.org>, Joe Lockhart <jlockhart@estes.org>, Will Birchfield <wbirchfield@estes.org>, 12 Marc Robinson <mrobinson@estesvalleyfire.org>, Linda Hardin <lhardin@estes.org>, Kate Rusch <krusch@estes.org>, 22 Traci Shambo <tshambo@larimer.org>, cjones@larimer.org, 32 Rick Spowart <rick.spowart@state.co.us>, Chris Bieker <chris@utsd.org>, 43 Todd Krula <todd@utsd.org>, Matt Allen <matt@utsd.org>, 44 Melissa Mason <Melissa@utsd.org>, Larry Gamble <larry_gamble@nps.gov>, Brian Wells <bwells@estes.org>
Cc: Audem Gonzales <agonzales@estes.org>, virtualsupport.oliver@gmail.com, Celine LeBeau <celinevhe@airbits.com>

Good Afternoon -

Attached please find the guidelines for commenting on COMPLETENESS for the project listed above. All review documents can be found at www.estes.org/currentapplications. Scroll to Highway 66 - 1665.

Completeness comments are due on or before **Monday, February 1, 2016**. Please copy the applicant (virtualsupport.oliver@gmail.com) and the consultant (celinevhe@airbits.com) on your comments. Thank you.

I will be out of the office beginning January 21, 2016, returning February 1, 2016. **Please send all comments directly to Audem Gonzales at agonzales@estes.org.** Thank you.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org



Inter-Office Memorandum

To: Community Development

From: Steve Rusch

Date: 2/1/2016

Re: REFERRAL FOR COMMENT: COMPLETENESS REVIEW -
Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special
Review 2016-01

The Utilities Department has the following Completeness Review comments for the above application:

Water Division:

The above application is complete for Water Division review but **not approved** as waterline construction drawings for the water line installation or issuance of any building permits.

For verification, this property must show proof of inclusion in the Northern Colorado Water Conservancy District and the Municipal Subdistrict.

A Water Main Extension will be required for service, including Fire Protection. This infrastructure must be installed; testing performed/passed and accepted by the Division prior to issuance of any building permits. Any project phasing of the infrastructure must be submitted with the construction drawings for approval prior to construction. Phased infrastructure must be completed and accepted prior to issuance of any building permits within the phase.

Construction Drawings are required and must be submitted for review, approval and signatures by the Utilities Director or his designated representative. No installation of any project infrastructure is allowed until the Construction Drawings have been signed. All water main lines and easements must be deeded to the Town of Estes Park. Along with the submission of the construction drawings provide the contact information of the firm or person acting as Utility Construction Manager for the project.



Inter-Office Memorandum

Construction drawings must include:

- Plan and profile to show potential conflicts between water and other utilities including culverts, show Utility Easement locations when utility is not in Road Right of Way.
- Metering/Tap location plan (drawing) indicating tap locations and sizes, water meter locations and sizes, and buildings served by each.

All water line design and construction shall be done according to the Water Utility Policies and Standards. All water main lines and easements must be deeded to the Town of Estes Park.

All domestic water service lines are required to have a pressure reducing valve installed at the point of entry to the building. Applicant must contact the Water Division (970)577-3625 to discuss additional plumbing requirements.

All water lines are required to have a minimum of 10 ft. horizontal separation from both sanitary sewer and storm sewer. Additionally, water lines are required to have a minimum 4 ft. horizontal separation from all other utilities.

All commercial properties, fire suppression lines, multi-family dwellings and irrigation are required to have backflow prevention devices installed on the water service lines, contact Steve Rusch at 577-3625 or srusch@estes.org with any questions regarding the backflow devices or requirements.

A Metering/Tap location plan (drawing) including meter sizing, meter locations, tap locations and addresses served by each must be submitted to the Water Division prior to issuance of any building permits.

Engineering must contact the Water Division at 577-3625 for details regarding final tap and service line sizing prior to any construction.

If any structure is required to have a Fire Suppression System, a detailed drawing must be turned in to the Water Division noting:

- Location, sizing and type of backflow prevention device(s)
- Engineered flow requirements for the fire sprinkler system, pipe size based on NFPA Table 10.10.2.1.3, Fire flow produced at a maximum velocity of **10ft/sec**.

Pipe Size	Flow Rate
2"	100 gpm
4"	390 gpm



Inter-Office Memorandum

6"	880 gpm
8"	1560 gpm
10"	2440 gpm
12"	3520 gpm

Spill control method must be shown for proper disposal of discharge from the relief valve, indicating location and sizing of drainage capable of accommodating the discharge that could occur.

Fire suppression lines require both a chlorination and pressure test, conducted by a representative of the Water Division prior to acceptance. Any Fire suppression line servicing a building from the water main is a private service line and must be noted as such on the Development Plan and the Subdivision Plat. Future repair or maintenance required on this service is the sole responsibility of the property owner. Fire suppression lines require a state certified fire line installer and must have the appropriate forms completed and submitted to the Estes Valley Fire Marshall.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009 Edition) and Town of Estes Park Codes and Standards.

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Town of Estes Park Water Division.

Light and Power:

- Please schedule a required meet at site with Joe Lockhart, Line Superintendent at (970)577-3613.
- All trenching and conduit will be performed and installed by the Town of Estes Park Light and Power Division. This will be invoiced to the developer.
- Light and Power requires one 1½" orange PVC spare conduit from the junction box/transformer into the building at Light and Power's expense.
- Utility pedestals must be spaced at a minimum of one foot apart.



Inter-Office Memorandum

- Transformers cannot be placed more than 250 feet from the building being serviced.
- All new meter cans must have a bypass
- All infrastructures must be paid in advance to the Town of Estes Park. No Building permits will be approved by Light & Power until such time.
- All new construction must be underground.
- Service line trenching & conduit (between the meter and the building) to be provided and installed by developer to Town specifications.
- All other material will be purchased from & installed by the Town of Estes Park.
- All Town of Estes Park Light and Power lines, (Primary/Secondary) must have a 20 ft. utility easement. This easement can be shared by water, phone and cable.
- Water must be at least 4ft from electric.
- All services must be on the owner's property or be within a designated easement.
- The size of the service must be shown on the electrical drawings.
- All existing lines must be shown on the electrical drawings.
- Transformers/junction boxes must be in an easement, or if possible on the property line.
- All primary lines must be 4ft deep with red warning tape at 2ft.
- All subdivision must be designed by an electrical engineer.
- All pipes must be schedule 40 gray PVC pipe, if there are more than 4 pipes in a trench then all conduit must be put into a pipe rack. There must be 2-2inch and 2-4inch conduits in a primary trench.
- Town must have ownership of all road crossings.
- On underground electric services, it will be the electrician's responsibility to dig them into the transformers or pedestals.
- The electrician will need to schedule with L&P to unlock and open transformers or pedestals.
- All temporary and permanent electric services will be connected by Light & Power within 5 business days after the state electrical inspection & fees are paid.
- Permanent meter sockets must be permanently marked with address or unit number.



TOWN OF ESTES PARK

Inter-Office Memorandum

- All spare conduits will be provided by Light and Power and to be installed by the developer at their cost. **Light and Power will not reimburse contractor or developer for conduit obtained elsewhere.**

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Town of Estes Park Light and Power Division.



Memo

To: Community Development

From: Kevin Ash, PE, Public Works Engineering Manager
Greg Muhonen, PE, Director of Public Works

Date: February 19, 2016

RE: Lazy B Chuckwagon Development Plan

Public Works offers the following comments and conditions on the Lazy B Chuckwagon Development Plan application as submitted. Comments and Conditions are applicable for plans received on February 5th, 2016.

Transportation:

Lazy B Chuckwagon Traffic Impact Study (Delich Associates, 12-14-2015)

1. Condition: A southbound right turn lane on Spur 66 is recommended by the traffic study. The recommendation from the traffic engineer is that this turn lane not be installed in the first year of operation – but should be installed with the second year and phase 2 construction. Public Works agrees with this recommendation.
2. Condition: The traffic study recommends a limited time all-way stop sign control condition at LCR69B/Mills Drive. This would require CDOT approval. The viability of this mitigation measure should be explored further by the applicant.
3. Condition: Parking stops orientation for the Old Rock Inn indicate that guests at the establishment back into LCR69B to leave. This condition should not exist and the installation of a dedicated turn lane will only increase the conflicts with this situation. Further mitigation of this conflict should be explored and resolved.
4. Condition: Requested Waiver from Ordinance 8-05#, EVDC Appendix-D, Street Design and Construction Standards. Public Works does not have enough detail to support the applicant's request to not meet the maximum allowable road grades. There needs to be more information provided as to what the existing condition is (grades) and what the proposed is. What code requirement or standard specifically is not being met?
5. Condition: Requested Waiver from Section 7.11.O.2, EVDC Parking and Loading Area Design Standards. Public Works does support the applicant's request to not install parking lot paving and curb until Phase 3.

6. Condition: Requested Waiver from Section 10.5.D.2, EVDC Sidewalks, Pedestrian Connections and Trails. Public Works does not support the requested waiver as written. Design of the walk should be included in the plans. The design should show that a walk can be installed without impact to utilities, landscaping, roadway, adequate row, etc. The design should be in place to support the cost estimate. An agreement for construction of the walk funding (cash-in-lieu) could be supported.
7. Condition: Requested Waiver from EVDC 7.11D, Minimum Off-Street Parking Requirements. Public Works supports the applicant's request to defer the traffic study required parking spaces for the first 2 phases of construction. Total parking spaces will be required by Phase 3.

Drainage & Grading:

DRAINAGE REPORT (Van Horn Engineering & Surveying, January 20, 2016).

1. Condition: A developed drainage plan should be provided in the drainage report and include basins, contours, curb and gutter, slopes, inlets, swales, ponds and any drainage related structure.
2. Condition: Infrastructure calculations should clearly reference a specific item and location. Specifically – an inlet calculation worksheet for Parking Lot Area 1 is provided. However, there is not an adequate reference location map in the report to confirm that this is evaluated adequately.
3. Condition: The drainage report needs to detail the drainage impact at the Mills Drive/LCR69B intersection. Runoff from Mills Drive is being placed in curb and gutter and the outfall design and easement negotiation will need to be complete.

Miscellaneous:

PHASING PLANS

1. Condition: Phasing plans are confusing. Phase 1 plans should screen back proposed improvements that phases 2 and 3 will install. Parking Lot appears to be a fully installed improvement with Phase 1.



United States Department of the Interior

NATIONAL PARK SERVICE
Rocky Mountain National Park
Estes Park, Colorado 80517

IN REPLY REFER TO:
A3815 (ROMO)

FEB 26 2016



Estes Valley Planning Commission
P.O. Box 1200
Estes Park, CO 80517

Dear Commissioners:

We have reviewed the Lazy B Ranch & Wranglers development proposal. The subject property is contiguous with the east boundary of Rocky Mountain National Park, and Mills Drive serves as a primary means of ingress and egress for park offices, facilities, emergency response, and housing units for permanent and seasonal employees. There are several residential units occupied year-round by park employees that are located within 800 feet of the property, and we have office space and a fire station within 300 feet of the property. Because this project has the potential to impact park employees, service providers, and residents, we offer the following comments for your consideration:

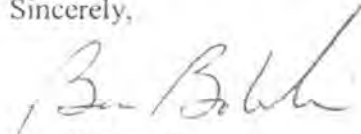
1. We are not in favor of using Mills Drive as the primary access to the property due to traffic conflicts and current parking issues along the road. Rocky Mountain National Park and the Estes Valley Fire Protection District jointly operate a fire station located immediately west of the subject property. This fire station currently serves the west end of the Estes Valley, including the YMCA of the Rockies, and as our station for wildland fire response. We are concerned about egress for emergency vehicles on Mills drive at the conclusion of the nightly show. We would prefer to see the main entrance remain on Highway 66 where it is currently located.
2. We are not in favor of using a tent because of potential noise impacts. The stage show will use amplified sound for up to 180 days per year lasting one hour every evening. We believe the proposed activities belong within a building where amplified sound and crowd noise can best be mitigated.
3. To protect the night sky, we favor exterior lighting that uses sharp cutoff fixtures that are turned off each night following the conclusion of the show.
4. We would prefer to have an absolute date identified for paving the parking lot. While the parking lot remains unpaved, dust control will be important and should be diligently monitored and enforced.

5. For the chuck wagon supper, the Lazy B is planning to prepare up to 750 meals each night, which includes grilling beef and chicken. This has implications for air quality, including the release of particulate matter (PM) and volatile organic compounds (VOCs). VOCs contribute to the formation of ozone. The kitchen operation should comply with federal, state, and local air quality standards.

Rocky Mountain National Park is a Class 1 Airshed, which warrants special protection under the Clean Air Act. After evaluating weather data for the past ten years, we have determined that from May through October (the proposed Lazy B operating season) the wind blows from the east (anything on the compass rose from NNE to SSE) twenty-one percent (21%) of the time. During those times, and when the Lazy B is preparing food, the pollutants from the kitchen will be moving into the park.

We appreciate the opportunity to review the development proposal. If you have any questions or concerns about the comments we have provided, please contact Larry Gamble. He can be reached at (970) 586-1320 or larry_gamble@nps.gov.

Sincerely,



Ben Bobowski
Acting Superintendent

cc: Michelle Oliver
Randy Jackson
Van Horn Engineering - Celine LeBeau



Audem Gonzales <agonzales@estes.org>

Re: REFERRAL FOR COMMENT: COMPLETENESS REVIEW - Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special Review 2016-01

1 message

Traci Shambo <shambotl@co.larimer.co.us>

Wed, Mar 2, 2016 at 4:53 PM

To: Karen Thompson <kthompson@estes.org>

Cc: Audem Gonzales <agonzales@estes.org>, "celinevhe@airbits.com" <celinevhe@airbits.com>, Brian Fraaken <bfraaken@larimer.org>

Karen (cc - Audem & Celine) -

I know this is only a completeness review at this time but I wanted to share a few comments we will want addressed at the preliminary stage.

- I discussed the sketch/preliminary turn lane concepts with our transportation folks. Our position is that the right turn lane needs to be constructed with this use. And we would like to see turn lane designed such that it is extended to include the adjacent driveway and then start the shortened taper. This would keep the driveway out of the taper.
- Access, circulation, and parking at the Rock Inn will be modified as a result of this plan. We would like assurances that the parking lot and access points will adequately function with the proposed design. We would also like information on whether there has been discussions with the owners of the Inn on these changes and what their position is regarding these changes.
- The plan discusses a curb and gutter section along Spur 66. We will want to see detailed elevations to verify that the drainage off of the Old Rock Inn parking area will still be conveyed downstream.
- More detailed construction and striping plans for the work in the ROW will be required with the preliminary and final reviews.
- County ROW work permits will be required for the work on Spur 66.
- The downstream path of flow, on the south side of Spur 66, between the two properties, should be confirmed to be adequate for any proposed changes in drainage patterns.

Perhaps a meeting at the site will be beneficial as part of the preliminary review process where more detailed information is submitted.

Thank you.

On Wed, Jan 20, 2016 at 4:31 PM, Karen Thompson <kthompson@estes.org> wrote:

Good Afternoon -

Attached please find the guidelines for commenting on COMPLETENESS for the project listed above. All review documents can be found at www.estes.org/currentapplications. Scroll to Highway 66 - 1665.

Completeness comments are due on or before **Monday, February 1, 2016**. Please copy the applicant (virtualsupport.oliver@gmail.com) and the consultant (celinevhe@airbits.com) on your comments. Thank you.

I will be out of the office beginning January 21, 2016, returning February 1, 2016. **Please send all comments directly to Audem Gonzales at agonzales@estes.org.** Thank you.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org



Audem Gonzales <agonzales@estes.org>

Spur 66 ROW adjacent to Rock Inn

1 message

Traci Shambo <shambo@co.larimer.co.us>

Wed, Apr 6, 2016 at 2:33 PM

To: Audem Gonzales <agonzales@estes.org>

Audem -

I wanted to clarify that the primary function of County Public Right-of-way is for public infrastructure such as additional, lanes, widened shoulders, bike lanes, sidewalks, etc. Needed improvements to the County road system to improve the operation and safety of the road would take precedence over a historic use of the right-of-way by a private landowner. An historic use of public ROW does not necessarily equal a legal right for that use.

-

Traci Shambo, P.E.

Larimer County Engineering Department
200 West Oak St, Suite 3000
P.O. Box 1190
Fort Collins, CO 80522
Phone: (970) 498-5701
tshambo@larimer.org



Audem Gonzales <agonzales@estes.org>

Fwd: Lazy B Wranglers Application

1 message

Doug Ryan <ryandl@co.larimer.co.us>
To: Audem Gonzales <agonzales@estes.org>
Cc: larry_gamble@nps.gov

Fri, Mar 4, 2016 at 2:53 PM

Hi Audem,

Following your email message from February 17, I consulted with the Colorado Department of Public Health and Environment on the air quality regulations for the potential air emissions at the Lazy B Wranglers due to the proposed chuckwagon dinner and theater with its associated cooking. Staff in the Air Pollution Control Air Division at CDPHE provided two messages (below), one for the stationary source emission control standards that apply statewide, and a separate message about standards in the Class 1 airshed that impacts the National Park.

The information from Paul Carr relates to the emission standards and need for an air emissions permit that pertain to the cooking operation regardless of location. He indicated most food cooking sources are exempt from the need to obtain an air emissions regulation. The exceptions are charboilers and wood fired equipment which do need permits if their emissions exceed defined thresholds. Mr. Carr said he doubts they would exceed those thresholds, and cited the Burger King example and noted that their charcoal busy operations typically fall below the thresholds. The need to file an Air Pollution Emissions Notice and potentially obtain an emissions permit would be 17 tons of wood/year.

Lisa Devore, in her message from March 2, provided additional information pertaining to the emission standards that apply specifically to Class 1 airsheds - including Rocky Mountain National Park. She indicated that emission standards in these case apply through standards administered at the state and federal level for the New Source Reduction (NSR) and Prevention of Significant Deterioration (PSD) requirements. Lisa Devore indicates that those standards apply to sources that generate at least 100 tons of emissions per year. Those large operations are considered "major sources" and would be much larger than what a restaurant cooker would produce.

Larry Gamble is raising important concerns about the importance of protecting air quality in the Park. My conclusion from the Air Pollution Control Division is that this source by itself does not rise to the level of needing a air emissions permit unless a charcoal or wood-fired cooker will be used and exceed threshold amounts.

In order to assure compliance with air emission standards, the Town Board could consider a condition that requires the applicant to submit an Air Pollution Emissions Notice (APEN) to the Colorado Department of Public Health and Environment if they intend to use either a charcoal or wood fired cooking equipment. The state evaluates submitted APENs and makes a written determination if an emissions permit is needed or not.

On another topic related to this application, if this application is approved, the applicant would need to have plans for the food service operations approved by our Department prior to issuance of building permits.

Thanks for contacting us with this information. I will also copy my message to Larry Gamble so that we all have the same information.

Doug Ryan
Larimer County Department of Health and Environment
1525 Blue Spruce Drive
Fort Collins CO 80524

(970) 498-6777
ryandl@co.larimer.co.us

Statement of Intent

For the Lazy B Ranch and Wranglers Development Plan and Special Review

January 20, 2016

Revised February 4, 2016

Introduction

The Lazy B is an effort to re-establish a powerful landmark business model that offers a Chuck Wagon Supper and Show within the Western History theme of a cowboy's way of life and his music. Reflecting all the great qualities of the original Lazy B, the new business will offer quality food and entertainment at an even higher standard. Historically, part of many tourists' vacations in Estes included a visit to the Lazy B, which was known for their Chuckwagon Supper and Show. The Lazy B opened in the early 1960s, attracted between 750- 1200 guests each night during the summer season and operated successfully for 45 years. Since the doors closed in 2005, countless visitors, as well as locals, have been disappointed upon discovering that their favorite Estes event no longer exists.

Operation

The Lazy B development project is presented in Three Phases, with Phase One as a seasonal venue and Phase Two beginning as a year-round venue. Phase One will operate from 5:00-8:00 seven nights a week from mid-June through mid-October, with fewer performance days during the two weeks prior and after those dates.

Phase Two permits expanded hours, due to the completion of the entire building, which will be determined by each specific event. Year round operation supports the following objectives: (1) to drive consistent tax dollars to the Town of Estes, (2) to attract a younger demographic from the Front Range to the Estes Valley by offering diverse and high quality live musical performances, festivals, contests and events that expand the commonly held image of Estes Park, (3) to offer special holiday events including Chuck Wagon Suppers and Shows that continue to draw tourists and residents from along the entire Front Range, (4) to offer corporate events and wedding receptions, (5) to work closely with other local businesses and hotels to create desirable "getaway" packages, (6) to provide educational, creative events and opportunities for youth that carry on the legacy of Western Heritage in a variety of forms, including Western Music, Western Art, Cowboy Poetry, Western Craft, etc. and that support

intergenerational interaction and (7) to employ a core staff year round as well as drive revenue to local craftsman, vendors and businesses.

Economic Development and Market Research

As business owners we seek, not only to create and maintain an extremely profitable and successful business, but to support the Town of Estes Park in ways that contribute to the goals for economic growth and sustainability that have been set by the town. Our business goals are aligned with the same priorities that have been presented by Avalanche Consulting, who was hired to assist with economic development in the Estes Valley. Our market research and strategy are available upon request.

Property

Located at 1665 HWY 66, the Elk Meadow RV Resort property is the ideal location for the Lazy B. The property is in a low-density location, is adjacent to an establishment which is already serving food and providing entertainment and is on the free Estes Park shuttle system route. The area directly to the South of our property across Mills Drive is zoned A-Accommodations and Commercial zoning currently exists along the Hwy 66 corridor.

Our plan includes transforming five of the 30.75 acres of the RV park, currently used as RV overflow and storage, into a revenue-producing venue that directly supports the town. The zoning is generally intended to accommodate high-intensity resort and hotel uses and incidental commercial uses (such as hotel dining hall or bars). Our proposed use would fall under the category of Major Event Indoor Facility and would operate much as a dinner theater. We are proposing a Three Phase Development Plan with the option of completing the full building and parking lot sooner if we are able.

A 20' utility easement will be dedicated to the Town of Estes Park by a separate document along the south property line for the proposed water main and buried electric line. Additionally, 15' of R-O-W shall be dedicated along the south property line together with the current 30' dedicated R-O-W dedicated by a document in Book 506 at Page 71.

Three Phase Development Proposal and Site Requirements

Phase One (2017)

Phase One will consist of a permanent kitchen, bathroom facilities, ADA compliant concrete sidewalks, paved ADA compliant parking spaces, temporary dining tent, dirt parking lot, landscape buffer along Mills Drive, Mills Drive road improvements, new site entrance off Mills Drive, a water main extension, sanitary sewer service line and a right-hand turn lane constructed on HWY 66.

Phase One Construction includes a two-story 4,560 square foot building 26' 3" high, which will house a kitchen, bathrooms, mechanical room, employee bathroom on the first floor and an office and employee lounge, bathroom and shower on the second floor. This building will eventually be joined to the final structure, which will be built as part of Phase Two. An ADA compliant concrete walkway will be constructed from the ADA parking spaces to the tent, bathrooms, food service area and around the southern portion of the building.

A temporary tent will be erected to serve as the dining and entertainment facility for Phase One, which will require a permit and will be permitted for 180 maximum consecutive days. The tent will be erected on the dirt, next to the kitchen building. 63 picnic tables will be arranged within the confines of the tent, each able to seat 12 people and allowing for handicapped seating wherever necessary. A portable stage will be built on the north side of the tent, will measure 10x20 and will serve as the location for the Western Show. A sound and light system will also be installed within the tent, as well as portable heaters as needed. Seating will be provided for up to a maximum of 750 people, where individuals will eat and watch the show.

No cooking will be performed inside the tent, no open flame and all additional fire requirements shall be met. Food will be served from a line within the kitchen building and patrons will re-enter the seating area to eat and watch the show.

A soft-surface trail will be constructed from the dining tent site to the Elk Meadow RV gravel driveway to access the free Estes Park shuttle.

Phase Two (2018)

Phase Two will consist of landscaping the internal lot area (building screening), construction of the final dining/performance hall (12,200 SF), which will replace the temporary dining tent and will be a total of 17,910 square feet including kitchen and bathrooms (built in Phase One). The dining hall will house the dining tables, benches and stage.

Phase Three (2019)

Phase Three includes the addition of a permanent asphalt parking lot, parking lot curb and gutter, storm sewer installation, and parking lot landscaping.

Traffic and Parking Considerations

A traffic study was conducted by Matt Delich, of Delich Associates. The study and associated memo are included with this submittal.

The traffic study determined that a turn lane from HWY 66 onto Mills Drive will be required in both directions.

Mills Drive will be widened from Hwy 66 to Main Entrance to 24' with curb and gutter from HWY 66 to the entrance of our site.

A New Entrance will be constructed on the property so that the Main Entrance to the event will be from Mills Drive, not from HWY 66.

Additional traffic solutions are:

- Hiring an off-duty police officer for traffic control during peak traffic periods (before and after the events) each evening during summer season.
- Using the existing free Estes Park shuttle service.
- Because the event will attract primarily families and groups, we anticipate each car will contain 3-4 passengers, which minimizes the number of cars.
- A temporary parking lot will be constructed to the specifications set forth by Van Horn Engineering and shall be a dirt parking lot during the first two project Phases, providing

192 parking spaces the first year, with a re-evaluation of parking needs for the second year.

- Contracting with bus tour companies brings an average of 50 people per bus and vastly reduces parking and traffic impact and will be a significant part of our business.
- A shuttle service will be provided by Lazy B for employee transportation to and from home.
- Limited employee housing may be provided on site.

Landscaping

- The Landscaping Plan for development area will be 1 tree /3 shrubs for every 1,000 sq. ft. of impervious surface, excluding parking lots, but including sidewalks, drives and other hard surfaces.
- Landscape Street Frontage Buffering- Section 7.5 of the Estes Valley Development Code (EVDC) requires one tree for every 40 feet be planted and 1 shrub for each 15 feet of street frontage to buffer developed frontage as viewed from adjacent street. This requirement will be exceeded and will be planted upon undulating topography, with trees planted 5 feet away from water and sewer mains.
- Landscape Parking Lot Buffering- Parking lot landscaping will comply with requirements set forth in EVDC Section 7.5

Environmental Impacts

A Preliminary Wetland Screening and Wildlife Mitigation Plan are being submitted for this project. The Preliminary Wetland Screening will be followed by a more thorough Wetland Delineation due to the presence of frozen ground during the time of the field investigation. The wetland habitat has been mapped conservatively. The Jurisdictional Wetland Delineation will be conducted once soils are thawed and will provide a more accurate wetland boundary, no larger than the areas shown on the development plan. The development is proposed outside the 50' wetland habitat buffer (as prescribed by the EVDC) around the conservative wetland habitat boundary.

No critical habitat or threatened/endangered species habitat was found on the site. Potential impacts to wildlife and their habitats are listed within the Wildlife Mitigation Report.

Public Meeting

A public meeting will be held to announce our intention open the Lazy B on February 17, 2016 at the Estes Park library and the minutes of this meeting shall be submitted to the Town of Estes Park prior to the Planning Commission Meeting.

We believe the response will be overwhelming positive. We have already met with hotels, local businesses, several residents and passing tourists and our idea has been met with enthusiasm and support. The public will be invited through advertisement in the local paper and word of mouth. We will provide a power point presentation with a Q&A session. At least one of the owners will be present, along with some of our staff and supporters of the project to describe the project and provide answers to any questions or concerns our neighbors may have.

Noise Impact and Hours of Operation

Our hours of operation will be 7 nights a week from 5:00-8:00 p.m. The music performance will last only one hour; from 7:00-8:00. The impact of our show, from the perspective of noise, is very limited and lasts only one hour per day. Live musical performance is not something new in this neighborhood. The Rock Inn, which is adjacent to our property, hosts bluegrass, rock and roll, open mic nights, etc. and the performances go on for several hours. Elk Meadow also supplies live entertainment throughout the summer within the snack and bar area on site. The buildings owned by the National Park, adjacent to our property from the west, also have a history of hosting jam sessions.

Miscellaneous Potential Project Impacts

Additional potential impacts of this project include:

- Light from the headlights of cars as they exit just after 8:00 p.m. The parking lot, as described in the parking section of this document describes the landscaping that will filter light and noise.
- The view to the north may be obstructed from residences on Mills Drive. The landscaping and overall site improvements we are proposing provide a vast improvement for neighbors in all directions and only enhance their existing view, which currently consists of a broken down wire fence, high wires, piles of debris and dirt, and a lot full of RVs. The overhead lines that run along Mills Drive will be buried in the same trench that is excavated for the new water main. The proposed landscaping will replace

the dilapidated fence and provide screening from the existing RVs that fill the park. The proposed building will also block the view of the RV lot and improve the overall appearance of the property.

- Dust from the dirt parking lot (first two project Phases only) will be mitigated by surface spraying (water or soil tackifier) prior to events or during high wind storms.

Requested Waivers

Multiple waivers are being requested for this project engineering and feasibility hardships.

Waiver from Ordinance 8-05 #, Appendix D. Street Design and Construction Standards.

Mills Drive improvements combined with the construction of a new right-hand turn lane off HWY 66 will not meet EVDC engineering requirements without significant impact to adjacent properties (four feet of cut along both sides of Mills Drive would be required). Due to limited R-O-W availability and trying to match existing cross-slope grades at the intersection of HWY 66 and Mills Drive while maintaining positive drainage and transition from a super-elevated road to a crowned road, grades must exceed the maximum values. The proposed design attempts to meet the required grades as closely as possible.

Waiver from Section 7.11.O.2. Ordinance 8-05 #, Parking and Loading Area Design

Standards. A waiver for parking lot paving a curb and gutter is requested for the first two project Phases and shall be completed in the final project Phase 3. A waiver for the loading space location (the back of the building is along the street frontage) is requested with the understanding that additional screening is provided.

Waiver from Section 10.5.D.2. Sidewalks, Pedestrian Connections and Trails. A sidewalk is normally required along Mills Drive to provide connectivity. A waiver to designing and constructing the sidewalk with this project is requested. Future sidewalk design and construction may be ensured by providing cash in lieu.

Waiver from Section 7.11.D. Minimum Off-Street Parking Requirements. A waiver to the required number of parking spaces for the first two Phases is being requested due to limiting environmental impact on Site (i.e., wetland habitat and associated buffers). The total number of parking spaces required for the maximum capacity of the event center is calculated to be between 188 and 214 (3.5 to 4 ppl/vehicle according to the Traffic Study). Four buses are projected to regularly transport people to the events and should minimize the number of vehicles parking on site. Additionally, an employee shuttle shall be available for commuting and the Estes Park free shuttle picks up along HWY 66 at an alternate site entrance (a soft surface trail to this shuttle stop is proposed with this project).

Waiver from Section 7.6.E. Wetland and Stream Corridor Protection Buffer/Setback

Areas. The deck of the proposed building encroaches into the wetland buffer (Wetland B) 2.6'. The deck is cantilevered over the buffer, therefore no structural components are in the buffer.

Waiver from Section 7.6.D.3 Wetland and Stream Corridor Protection. Boundary

Delineation. Due to frozen soils and ice swells, soil pits could not be dug to characterize soils for a Jurisdictional Wetland Delineation (JWD). A preliminary wetland screening was conducted to obtain the most conservative wetland boundary line until soils thaw to conduct a JWD.



ESTES VALLEY DEVELOPMENT REVIEW APPLICATION

Submittal Date:

Type of Application

<input checked="" type="checkbox"/> Development Plan	<input type="checkbox"/> Boundary Line Adjustment	<input type="checkbox"/> Condominium Map
<input checked="" type="checkbox"/> Special Review	<input type="checkbox"/> ROW or Easement Vacation	<input type="checkbox"/> Preliminary Map
<input type="checkbox"/> Rezoning Petition	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> Final Map
<input type="checkbox"/> Preliminary Subdivision Plat	<input type="checkbox"/> Time Extension	<input type="checkbox"/> Supplemental Map
<input type="checkbox"/> Final Subdivision Plat	<input type="checkbox"/> Other: Please specify	
<input type="checkbox"/> Minor Subdivision Plat		
<input type="checkbox"/> Amended Plat		

General Information

Project Name	Lazy B Ranch and Wranglers
Project Description	Chuckwagon dinner and live entertainment establishment
Project Address	1665 HWY 66, Estes Park, CO 80517
Legal Description	Two parcels located in the NE 1/4 of Section 34, Township 5 North, Range 73 West of the 6th P.M.
Parcel ID #	35341-00-001

Site Information

Lot Size	30.75 acres	Area of Disturbance in Acres	
Existing Land Use	RV Park, camping and St		
Proposed Land Use	RV Park, camping, storage and chuckwagon dinner/entertainment		
Existing Water Service	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Well	<input type="checkbox"/> None <input type="checkbox"/> Other (specify)
Proposed Water Service	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Well	<input type="checkbox"/> None <input type="checkbox"/> Other (specify)
Existing Sanitary Sewer Service		<input type="checkbox"/> EPSD <input checked="" type="checkbox"/> UTSD	<input type="checkbox"/> Septic <input type="checkbox"/> None
Proposed Sanitary Sewer Service		<input type="checkbox"/> EPSD <input checked="" type="checkbox"/> UTSD	<input type="checkbox"/> Septic
Is a sewer lift station required?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Existing Gas Service	<input type="checkbox"/> Xcel	<input checked="" type="checkbox"/> Other	<input type="checkbox"/> None
Existing Zoning	Accommodations (A)	Proposed Zoning	Accommodations (A)
Site Access (if not on public street)	Mills Drive		
Are there wetlands on the site?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Site staking must be completed at the time application is submitted. Complete?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Primary Contact Information

Name of Primary Contact Person	Randy Jackson/ Michelle Oliver
Complete Mailing Address	2105 East 11th Street Suite 180 Loveland, CO 80537
Primary Contact Person is	<input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input type="checkbox"/> Consultant/Engineer

Attachments

<input checked="" type="checkbox"/> Application fee	
<input checked="" type="checkbox"/> Statement of intent	
<input checked="" type="checkbox"/> 3 copies (folded) of plat or plan	
<input checked="" type="checkbox"/> 11" X 17" reduced copy of plat or plan	

Please review the Estes Valley Development Code Appendix B for additional submittal requirements, which may include ISO calculations, drainage report, traffic impact analysis, geologic hazard mitigation report, wildfire hazard mitigation report, wetlands report, and/or other additional information.

Contact Information**Record Owner(s)**

Randy Jackson and Michael Andrejek

Mailing Address 2105 East 11th Street Suite 180 Loveland, CO 80537

Phone 970-214-1348

Cell Phone 970-214-1348

Fax

Email rjack@me.com

Applicant

Michelle Oliver

Mailing Address 2810 Dunraven Lane Estes Park CO 80517

Phone 970-507-0317

Cell Phone 970-507-0317

Fax

Email virtualsupport.oliver@gmail.com

Consultant/Engineer

Van Horn Engineering and Surveying, Inc., Celine LeBeau

Mailing Address 1043 Fish Creek Road, Estes Park, CO 80517

Phone 970-586-9388

Cell Phone

Fax

Email celinevhe@airbits.com

APPLICATION FEES**For development within the Estes Valley Planning Area, both inside and outside Town limits**

See the fee schedule included in your application packet or view the fee schedule online at:

www.estes.org/ComDev/Schedules&Fees/PlanningApplicationFeeSchedule.pdfAll requests for refunds must be made in writing. **All fees are due at the time of submittal.****MINERAL RIGHT CERTIFICATION**

Article 65.5 of Title 24 of the Colorado Revised Statutes requires applicants for Development Plans, Special Reviews, Rezoning, Preliminary and Final Subdivision Plats, Minor Subdivision Plats if creating a new lot, and Preliminary and Final Condominium Maps to provide notice of the application and initial public hearing to all mineral estate owners where the surface estate and the mineral estate have been severed. This notice must be given 30 days prior to the first hearing on an application for development and meet the statutory requirements.

I hereby certify that the provisions of Section 24-65.5-103 CRS have been met.

Names:

Record Owner PLEASE PRINT: Randy Jackson Michael Andrzejek

Applicant PLEASE PRINT: Michelle Oliver

Signatures:

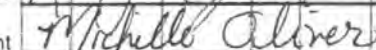
Record Owner



Date

1/18/16

Applicant



Date

1/28/2016

APPLICANT CERTIFICATION

Contact InformationRecord Owner(s) Randy Jackson and Michael AndrejekMailing Address 2105 East 11th Street Suite 180 Loveland, CO 80537Phone 970-214-1348Cell Phone 970-214-1348

Fax _____

Email rjack@me.comApplicant Michelle OliverMailing Address 2810 Dunraven Lane Estes Park CO 80517Phone 970-507-0317Cell Phone 970-507-0317

Fax _____

Email virtualsupport.oliver@gmail.comConsultant/Engineer Van Horn Engineering and Surveying, Inc. Celine LeBeauMailing Address 1043 Fish Creek Road, Estes Park, CO 80517Phone 970-586-9388

Cell Phone _____

Fax _____

Email celinevhe@airbits.com**APPLICATION FEES****For development within the Estes Valley Planning Area, both inside and outside Town limits**

See the fee schedule included in your application packet or view the fee schedule online at:

www.estes.org/ComDev/Schedules&Fees/PlanningApplicationFeeSchedule.pdfAll requests for refunds must be made in writing. **All fees are due at the time of submittal.****MINERAL RIGHT CERTIFICATION**

Article 65.5 of Title 24 of the Colorado Revised Statutes requires applicants for Development Plans, Special Reviews, Rezoning, Preliminary and Final Subdivision Plats, Minor Subdivision Plats if creating a new lot, and Preliminary and Final Condominium Maps to provide notice of the application and initial public hearing to all mineral estate owners where the surface estate and the mineral estate have been severed. This notice must be given 30 days prior to the first hearing on an application for development and meet the statutory requirements.

I hereby certify that the provisions of Section 24-65.5-103 CRS have been met

Names:Record Owner PLEASE PRINT: Randy Jackson Michael AndrzejekApplicant PLEASE PRINT: Michelle Oliver**Signatures:**Record Owner Date 1-19-10Applicant 

Date _____

APPLICANT CERTIFICATION

- ▶ I hereby certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that in filing the application I am acting with the knowledge and consent of the owners of the property
- ▶ In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Estes Valley Development Code (EVDC).
- ▶ I acknowledge that I have obtained or have access to the EVDC, and that, prior to filing this application, I have had the opportunity to consult the relevant provisions governing the processing of and decision on the application. The Estes Valley Development Code is available online at <http://www.estes.org/ComDev/DevCode>
- ▶ I understand that acceptance of this application by the Town of Estes Park for filing and receipt of the application fee by the Town does not necessarily mean that the application is complete under the applicable requirements of the EVDC.
- ▶ I understand that this proposal may be delayed in processing by a month or more if the information provided is incomplete, inaccurate, or submitted after the deadline date
- ▶ I understand that a resubmittal fee will be charged if my application is incomplete
- ▶ The Community Development Department will notify the applicant in writing of the date on which the application is determined to be complete.
- ▶ I grant permission for Town of Estes Park Employees and Planning Commissioners with proper identification access to my property during the review of this application
- ▶ I acknowledge that I have received the Estes Valley Development Review Application Schedule and that failure to meet the deadlines shown on said schedule may result in my application or the approval of my application becoming null and void. I understand that full fees will be charged for the resubmittal of an application that has become null and void.

Names:

Record Owner PLEASE PRINT Randy Jackson Michael Andrejek
 Applicant PLEASE PRINT Michelle Oliver

Signatures:

Record Owner  Date 1-19-16
 Applicant _____ Date _____

Public Meeting for Lazy B Ranch and Wranglers was held in the Hondius Room at the Estes Park Library February 17th, 2016 from 6:00-7:00 p.m

There were 14 people in attendance, names are registered on the sign-in sheet.

Michelle Oliver presented a powerpoint that described the overall project, including the mission, the phasing project, the site, the timeline, menu, western show, etc. A copy of the site plan was shared with attendees. Questions were then encouraged.

The first topic of concern was parking. Michelle explained that Lazy B would be bringing guests in on tour busses. Celine mentioned that we would also have access to the shuttle. It was argued that the shuttle doesn't hold many people. Michelle mentioned that the shuttle was helpful, but that Lazy B would be managing parking by pre-selling to tour busses and balancing that with local sales.

Questions about tour busses:

1. Where do they park? A: It was explained that we have special bus parking area.
2. Do they turn off the busses during the show? A: Yes.
3. If tour busses are a main means of bringing guests, how does this help resorts and hotels and the community? A: All about controlling the numbers, Pre-sales to tour busses balanced with available tickets here.

The main entrance on Mills was addressed. Temporary permit was addressed and temporary venue was described-balancing numbers of pre-sales to busses with cars.

Question:

1. Why did you not choose the main entrance to the RV Park for entrance to Lazy B?
A: We cannot interfere with current operations at RV park. Cannot use one entrance for two venues.
2. What about our vacation rental? We have people who might come in at 4:00 or 5:00.
They will be in a traffic jam?

A: Traffic control with officers and turn lane was discussed.

Mr. Gonzales was mentioned in relation to the discussion of the new entrance and the widening of Mills Drive. Mr. Nuyes, a property owner off Mills drive said he had met with Mr. Gonzales twice regarding his concerns about his property and found him to be personable, respectful, and knowledgeable about the project and expressed a genuine interest in the residents understanding of what was planned. He said that Mr. Gonzales had explained the details regarding his property and he planned to visit with him again. At the end of the meeting he said that he fully supported the project as long as it did not interfere with his property line or ability to park on his property.

Comment: Western Music is dying. Do you really think you are going to get people interested in this? Answer: The average chuckwagon is serving 950 per night. Estes Park tourists want the historical cowboy event. This event belongs here. We need more family entertainment. The show was described in detail.

Comment: On the town website I saw that you want to encourage youth and diversity and I saw the menu, which does not breed diversity. Dietary restrictions are real. For me, country music belongs in Nashville. A chuckwagon is not diverse. Where is the inclusion to make Estes more diverse?

Reply:

Chuckwagon is a niche, but fits into the Western Heritage that Estes is. We are going to have a vegetarian option. Gluten free may be considered in the future. Not first year or two.

Chuckwagon is primarily a tourist destination. We meet the need of residents because as residents, we become a bed and breakfast for friends and family and want entertainment to offer. As a year round venue we will be exploring additional ways that supply divers entertainment, but still reflect the basic values of Estes Park.

Question:

You are going to be serving alcohol. Are people going to be allowed to wander off your premises with alcohol? No.

Who is going to stop them? They will not be allowed to leave with alcohol.

Comment: We live right across from the entrance.

Comment: Well, there is a bar right there-The Rock Inn

Yes but you are bussing people in and they will get drunk. Answer: This is a family event.

But you are taking our parking away! According to Mr. Gonzales, they will not encroach on our property.

Celine explained the boundaries and invited everyone to come see the larger plan at the office. She said Elk Meadow owns the property across Mills and concerns continued to be voiced about the widening of Mills and how it would negatively impact property.

Chuck mentioned that the road improvements were beneficial for property owners.

Meryl voiced additional fears that her front yard parking would be taken away.

Michelle mentioned to Kerry, that once everything was in place, The Rock Inn could potentially lease Lazy B's parking lot. She said emphatically, that this project was absolutely not going to happen and she would make sure.

Jill, a neighbor voiced concerns about taking away the grass the elk feed on and concerns that children would leave trash in the tent that would attract bears.

The majority would like to see an entrance other than on Mills Drive. Mr. Nys said he agreed with and supported the project as long as his front yard was left intact.

Meeting adjourned.

Michelle Oliver
Lazy B Ranch and Wranglers
lazybranchandwranglers.com
970-507-0317

Lazy B Ranch&Wranglers SR 2016-01.xls

Owner	Owner II	Address	City	ST	Zip
1700 HWY 66 LLC - NEW SPALL LLC	LITTLE CURRENT CONSULTING LLC	PO BOX 1379	LONGMONT	CO	80502
BOOTH THOMAS	MIKOLITCH JANET	1681 HIGH DR	ESTES PARK	CO	80517
BOWEN LAWRENCE O/KAREN S		2211 REED RD	SPARTA	MO	65753
BURROUGHS ANTHONY S/VIOLA MANZANARES		39701 W COUNTY ROAD 47	AULT	CO	80610
CAMPBELL RICHARD M	CAROLYN W	1440 LITTLE RAVEN ST NO 307	DENVER	CO	80202
CRAIN JESSIE M TRUST (1/2)	STEWART MICHAEL D (1/2)	122 S2ND AVE	GREELEY	CO	80634
ELK MEADOW RV ESSENTIAL GROUP LLC		17800 W COLFAX AVE	GOLDEN	CO	80401
FENTON MARY ESTHER	GRIFFITH CHARLES LESLIE/DM/JT	ADDRESS UNKNOWN			
FERRELLGAS INC		ONE LIBERTY PLAZA	LIBERTY	MO	64068
FRANKLIN LAURIE B	TRUST	5345 MISSION WOODS RD	MISSION WOODS	KS	66205
GRIFFITH HARVEY E/DALE E		1187 GRIFFITH CT	ESTES PARK	CO	80517
GRIFFITH MIKE		1670 HIGHWAY 66	ESTES PARK	CO	80517
HARVEY DALE L		1641 HIGH DR	ESTES PARK	CO	80517
HENNINGER FAMILY TRUST		4965 ELDRIDGE ST	GOLDEN	CO	80403
HOLMAN ROBERT G	REBECCA B	310 JASMINE ST	DENVER	CO	80220
JOSEPH ANN L		5362 MAGGIE LN	EVERGREEN	CO	80439
LAMB CAROLYN SUE		1920 E MARYLAND AVE UNIT 23	PHOENIX	AZ	85016
LANDING LLC		1774 HIGHWAY 66	ESTES PARK	CO	80517
MCDUGALL JOHN L	DEBORAH C	1861 HIGH DR	ESTES PARK	CO	80517
NOYES KRISTI		1707 MILLS DR	ESTES PARK	CO	80517
ONORATO JAMES W		2840 W 21ST ST 29	GREELEY	CO	80634
PAIGE VIRGINIA HOWARD SHULER		1411 WHEELER DR	MANSFIELD	TX	76063
PARKVIEW ENTERPRISES LLC		1675 HIGHWAY 66	ESTES PARK	CO	80517
R A O PLAZA CORP		1565 HIGHWAY 66	ESTES PARK	CO	80517
REETZ HOSTELRY LLC		1852 HIGHWAY 66	ESTES PARK	CO	80517
ROCKY MOUNTAIN LAWN CARE	AND LANDSCAPING	PO BOX 3558	ESTES PARK	CO	80517
RUMLEY HELEN L	FERRIS SHARON K	PO BOX 791	ESTES PARK	CO	80517
SANTAGATI CHARLES S/CHRISTINA E		544 COLUMBINE AVE	ESTES PARK	CO	80517
SCHWARTZ ALICE D		1631 HIGH DR	ESTES PARK	CO	80517
SEMEYN DOUGLAS P		PO BOX 20538	ESTES PARK	CO	80517
SIGLER MONICA		PO BOX 2116	ESTES PARK	CO	80517
SMITH ROBERT M TRUST		445 D VALLEY RD	ESTES PARK	CO	80517
SMITH RONALD J	SHERBENOU DONNA D	8993 E 24TH PL NO 106	DENVER	CO	80238
SPICKNALL LOLA MAE		175 W 6TH ST	AKRON	CO	80720
TERRY LONNIE/JULIE ANNE TERRY		524 WYOMING CIR	GOLDEN	CO	80403
UNITED STATES OF AMERICA	ROCKY MOUNTAIN NATIONAL PARK	1311 S COLLEGE AVE	FORT COLLINS	CO	80524
VETTER JAY A/MAUREEN H		1711 MILLS DR UNIT A	ESTES PARK	CO	80517
WAAS BARBARA L/PETER V	BRUNER SAMUEL K/MARILYN S	6901 W 69TH ST	OVERLAND PARK	KS	66204
WALLACE PAMELA M/TIMOTHY P		595 OURAY DR	ESTES PARK	CO	80517
WHITE DANIEL M/ANN MARIE	WHITE WILLIS H/MAURIA K	PO BOX 84815	FAIRBANKS	AK	99708
WILLIAMS DANIEL E/MARY M		PO BOX 1591	ESTES PARK	CO	80517
WILSON RICHARD ROBB/MARY FRANCES		4481 RIBBON CT	LOVELAND	CO	80537
WOOD MELISSA W/WALLACE R		1007 URBANCREST DR	CINCINNATI	OH	45226
YANEKIAN JULIANA H		11801 W GREEN SPRING DR	LEESBURG	VA	20176

DELICH ASSOCIATES Traffic & Transportation Engineering
2272 Glen Haven Drive Loveland, Colorado 80538
Phone: (970) 669-2061 Fax: (970) 669-5034



MEMORANDUM

TO: Celine Lebeau, Van Horn Engineering
Michelle Oliver, Lazy B Ranch and Wranglers
Randy Jackson

FROM: Matt Delich

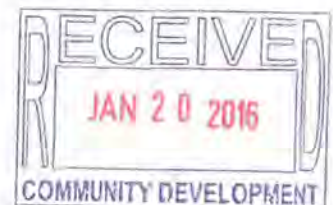
DATE: January 13, 2016

SUBJECT: Lazy B Chuckwagon – Auxiliary Lane Analysis
(File: 1585ME02)

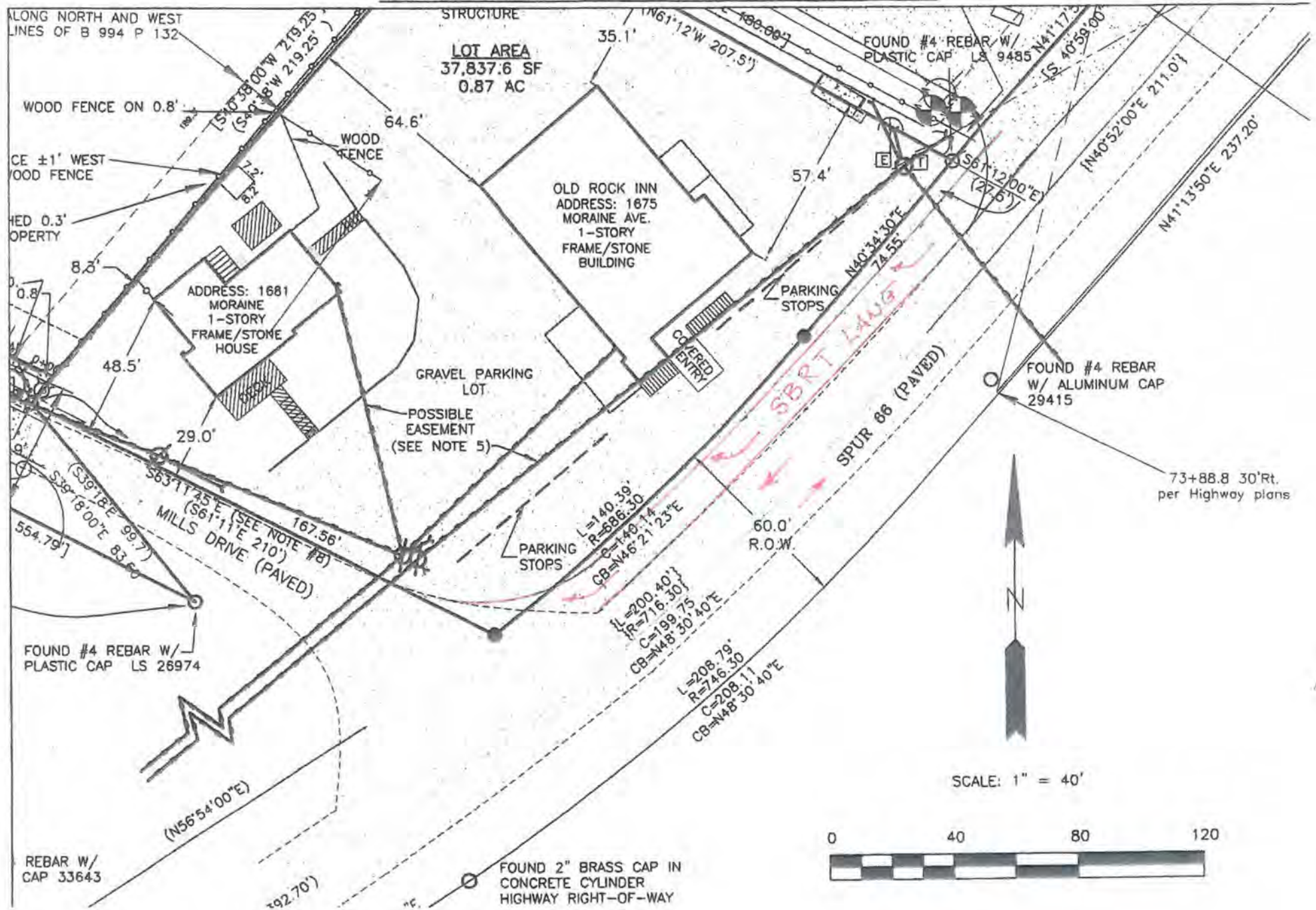
This memorandum documents my recommendation with regard to the southbound right-turn (SBRT) lane on LCR69B approaching Mills Drive. I had some phone conversations and email exchanges with Van Horn Engineering staff. I related my recommendation verbally.

The 'Lazy B Chuckwagon Traffic Impact Study' dated December 14, 2015, indicated that a SBRT lane is required based upon the entering traffic volume prior to an event/show at the site. At the posted speed of 40 mph and category NR-B highway, this SBRT lane should provide storage and bay taper. The storage component is 200 feet and the bay taper ratio in 12:1 (144 feet for a 12 foot lane). The SBRT lane of 200 feet will extend from the return at Mills Drive to the tree line between the Old Rock Inn and the driveway to the RV Park. It is at the end of the full lane width area that the bay taper begins. It is not good practice to have a driveway in the bay taper of an auxiliary lane. It is recommended that the bay taper not be included in the design, since it would cross the existing driveway to the RV Park. Attached are hand sketches of the SBRT lane.

The drawing, provided by Van Horn Engineering, shows parking stops just north of Mills Drive within the property of the Old Rock Inn. These parking stops indicated 90 degree parking. A vehicle backing out one of these spaces will impact the SBRT lane. Therefore it is my recommendation that only parallel parking be allowed in front of the Old Rock Inn.



EXISTING CONDITIONS AT MILLS DRIVE AND HWY 66 INTERSECTION





Google earth

feet
meters



1" = 60'



DELICH ASSOCIATES Traffic & Transportation Engineering
2272 Glen Haven Drive Loveland, Colorado 80538
Phone: (970) 669-2061 Fax: (970) 669-5034



MEMORANDUM

TO: Michelle Oliver, Lazy B Ranch and Wranglers
Town of Estes Park

FROM: Matt Delich

DATE: December 14, 2015

SUBJECT: Lazy B Chuckwagon Traffic Impact Study
(File: 1585ME01)



This memorandum addresses the transportation impacts of the proposed Lazy B Chuckwagon event venue in Estes Park, Colorado. The site location is shown in Figure 1. It is on the north side of Mills Drive, west of Larimer County Road 69B (LCR69B). The site is currently vacant. The scope of this traffic impact study (TIS) was discussed with Kevin Ash, Estes Park Public Works Engineering Manager. A memorandum TIS was requested.

Figure 2 shows the current geometry and control at the key intersections. The US36/LCR69B intersection is essentially an interchange with yield control at most junctures. There is stop sign control for westbound to southbound traffic on US36 entering LCR69B. There is stop sign control on Mills Drive at the LCR69B/Mills intersection. The posted speed on US36 is 35 mph east and west of LCR69B. The posted speed on LCR69B is 40 mph. Mills Drive is approximately 20 feet wide. There are no sidewalks or bike lanes along either road in the area. In the 'high season,' the Estes Park Free Shuttle (Brown Route) operates on LCR69B.

Traffic studies require peak hour turning movement counts at the key intersections. Contact with regard to the preparation of this TIS was made in October 2015. This is after the 'high season' in Estes Park. Therefore, it was agreed that available 'high season' traffic data (CDOT and Larimer County) would be used to develop/synthesize the base data at the key intersections in the area. Some of the available traffic counts are a number of years old. Annual traffic data from the CDOT continuous count location on US34 was used to adjust the available traffic data on US36 and on LCR69B. For the Lazy B Chuckwagon event venue, the peak analysis hours are the hour before the start of a show (5-6 pm) and the hour after the end of a show (8-9 pm). US36 is one of two access roads on the east side of Rocky Mountain National Park (RMNP). In the 5-6 pm hour, there are typically significant exits from RMNP. This volume steadily decreases into the evening. In the 5-6 pm hour, entrances to RMNP are less than 150 vehicles and tend to decrease into the evening. Figure 3 shows 2015 synthesized peak hour traffic at the key intersections.

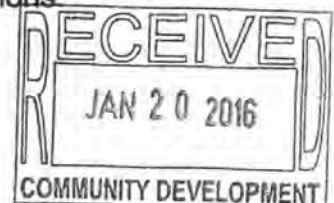


Table 1 shows the synthesized 2015 start and end peak hour operation at the key intersections. Calculation forms are provided in Appendix A. A description of level of service for unsignalized intersections from the 2010 Highway Capacity Manual is provided in Appendix A. During the analyzed peak hours, the calculated delay for the controlled movements (stopped legs) is commensurate with level of service C or better (delay ≤ 25 seconds/vehicle). Acceptable operation at unsignalized intersections during the peak hours is defined as level of service C or better on any approach leg.

Figure 4 shows the site plan of the Lazy B Chuckwagon event venue. The Lazy B Chuckwagon will be developed in various phases. It will begin as a tent structure and unpaved parking lot (~200 parking spaces). This TIS reflects a fully occupied parking lot, which is an event attendance of 750 people at a vehicle occupancy of 3.75. For analysis purposes, there will be 200 inbound vehicles during the start peak hour and 200 outbound vehicles during the end peak hour.

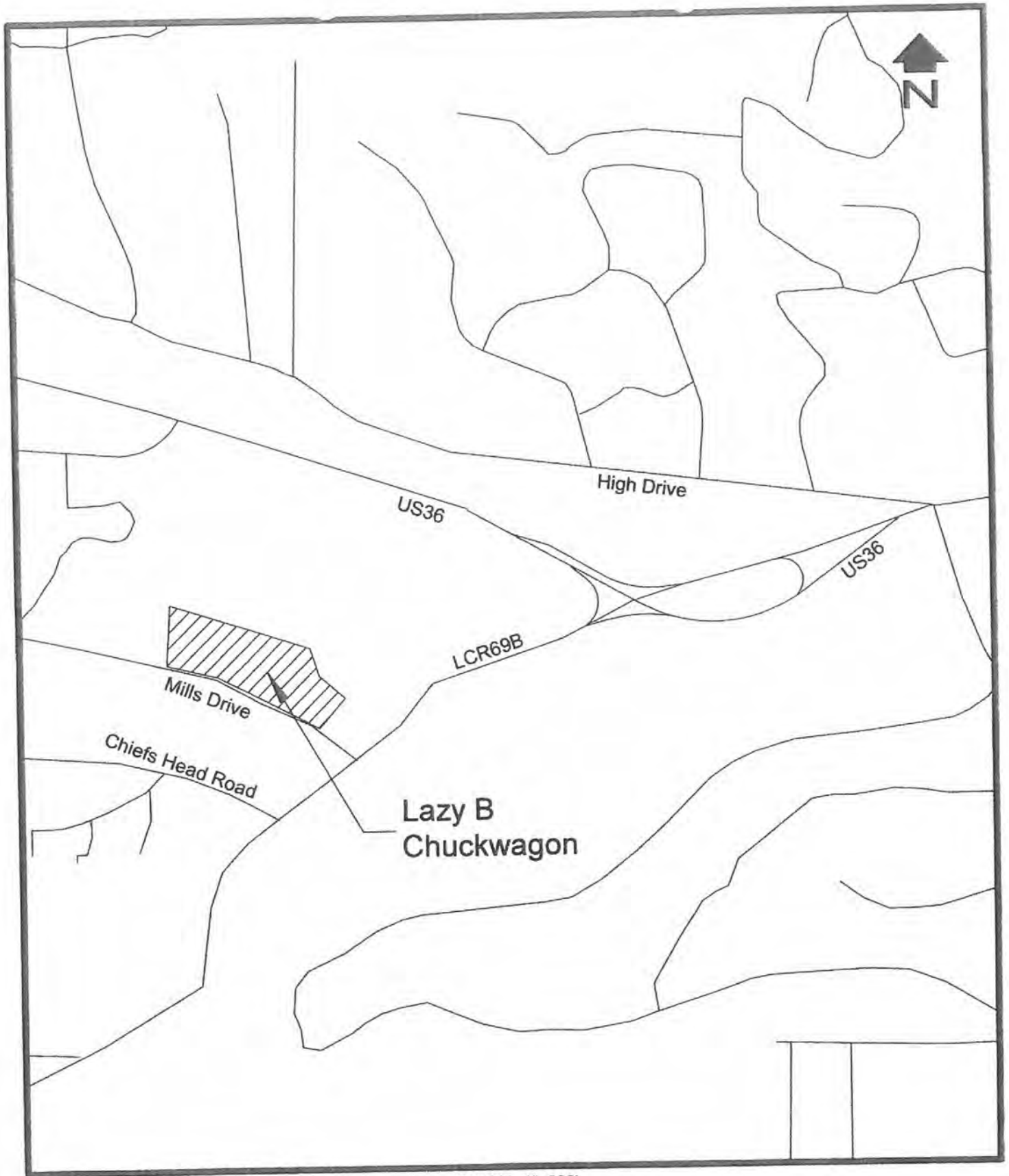
The trip distribution for this site is shown in Figure 5. The trip distribution was determined using the existing traffic counts, the location of accommodation facilities (hotels, motels, etc.), and engineering judgment. Figure 6 shows the site generated peak hour traffic assignment.

Figure 7 shows the short range (2018) background start and end peak hour traffic at the key intersections. Background traffic volume forecasts for the short range (2018) future were obtained by factoring the through traffic on US36 and LCR69B by 1.5 percent per year. This reflects the CDOT 20-year growth factor of 1.3 on US36. Table 2 shows the short range (2018) background start and end peak hour operation at the key intersections. Calculation forms are provided in Appendix B. The key intersections will operate acceptably during the start and end peak hours with the existing geometry in the short range (2018) background future.

Figure 8 shows the short range (2018) total start and end peak hour traffic at the key intersections. The intersection geometry was evaluated using the **State Highway Access Code (SHAC)**. For evaluation purposes, US36 is categorized as an RB highway and LCR69B is categorized as an NR-B highway. No geometric changes are necessary at the US36/LCR69B intersection. The southbound right-turning traffic at the start peak hour meets the threshold requiring a right-turn lane at the LCR69B/Mills intersection. Given the other land uses that are served by Mills Drive, it is not likely that the right-turn lane is or will be required during any other hour of the day. It is suggested that the Town of Estes Park consider not implementing this right-turn lane with the initial phase of the Lazy B Chuckwagon event venue or in the first year of operation. According to the SHAC, a northbound left-turn lane is not required at the LCR69B/Mills intersection. Table 3 shows the short range (2018) total start and end peak hour operation at the key intersections. Calculation forms are provided in Appendix C. The LCR69B/Mills intersection will operate acceptably during the start and end peak hours with the required geometry in the short range (2018) total future. During the start peak hour, the calculated delay to the westbound left-turning vehicles from US36 to LCR69B will be 47.0 seconds. This is commensurate with level of service E. As a mitigation measure,

all-way stop sign control was analyzed at this intersection. With all-way stop sign control, the delay for both stopped movements will be less than that with the existing control. Permanent all-way stop sign control at this intersection will require approval from CDOT. Since the delay issue with the existing control only occurs during the start peak hour, having time-limited all-way stop sign control at this intersection may be an option.

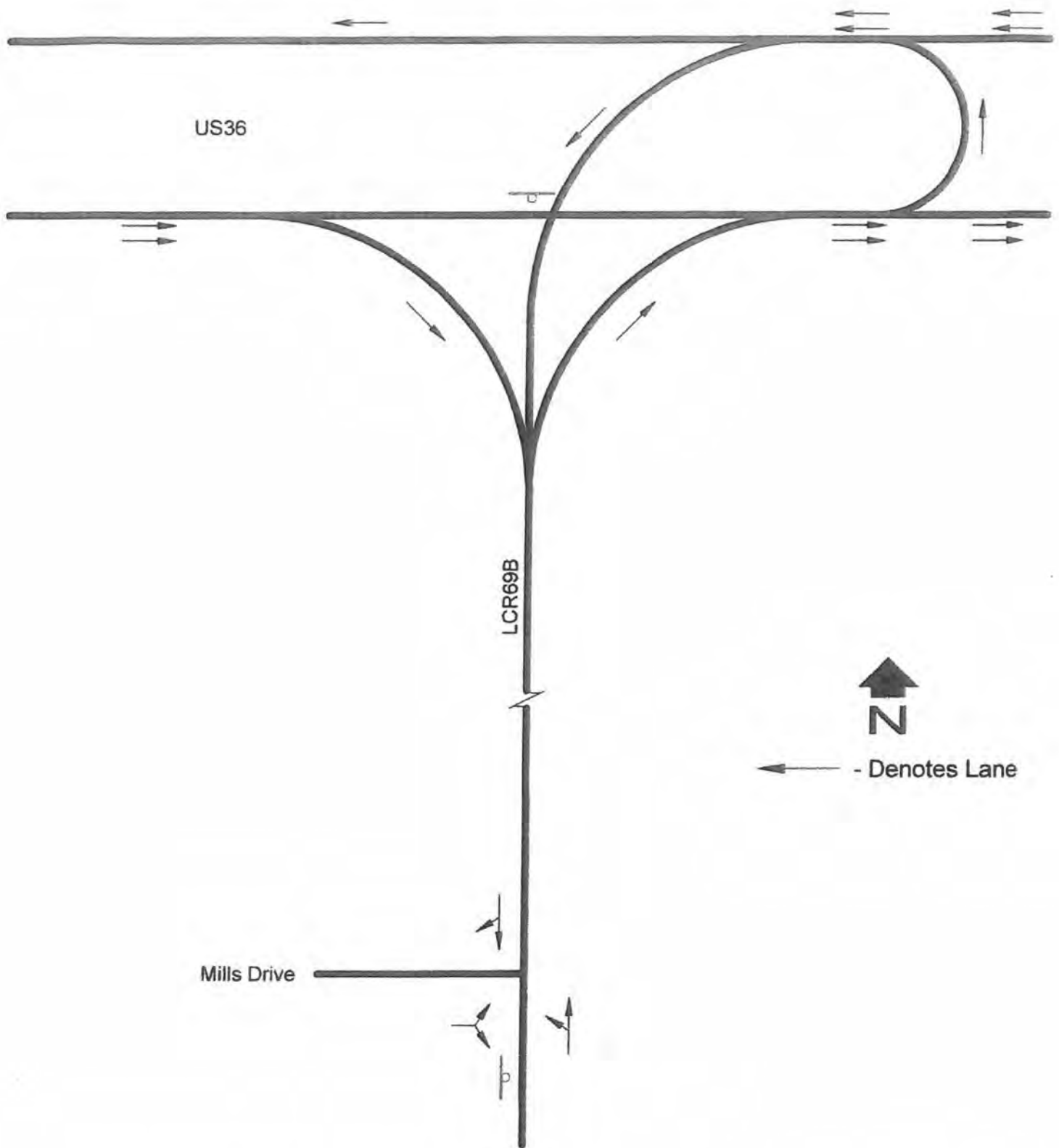
It is concluded that a southbound right-turn lane is required at the LCR69B/Mills intersection based upon the right-turning volume in a one hour period. It is suggested that consideration be given to delaying implementation of this right-turn lane. With the existing stop sign control at the US36/LCR69B intersection, the westbound left-turn movement will experience significant delays during the start peak hour. This can be mitigated with all-way stop sign control at this intersection on a permanent or time-limited basis.



SCALE: 1"=600'

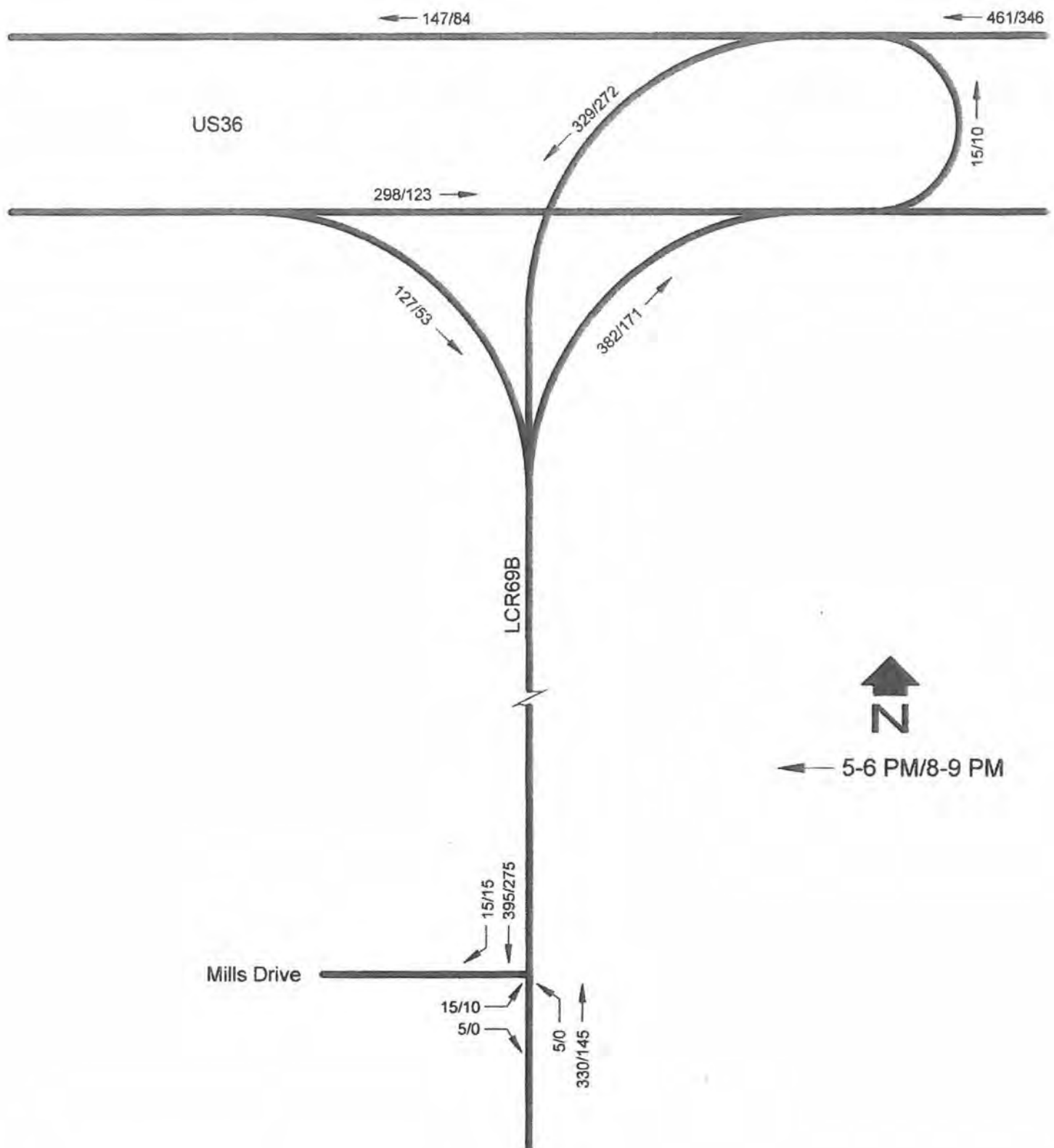
SITE LOCATION

Figure 1



INTERSECTION GEOMETRY AND CONTROL

Figure 2



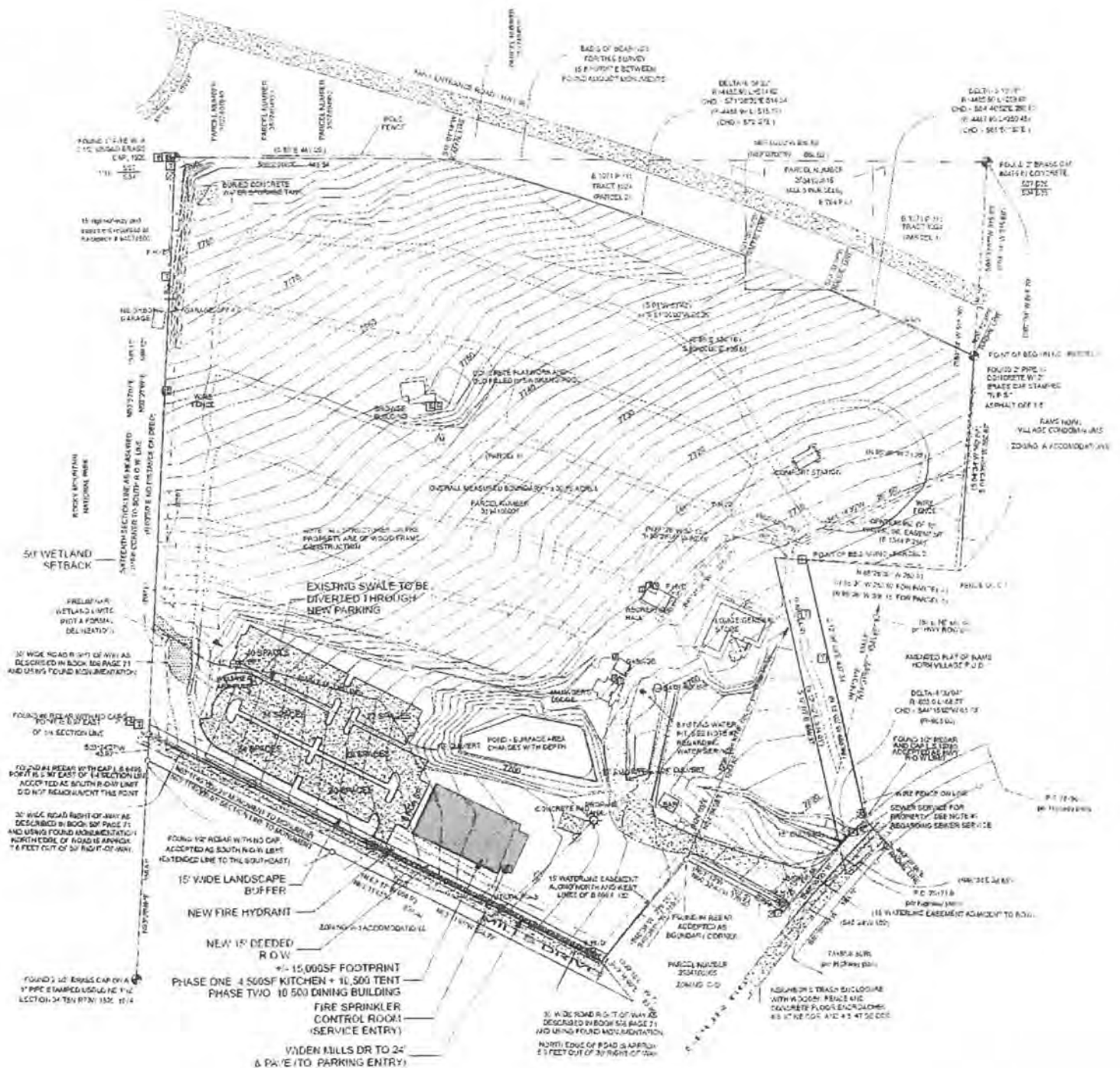
SYNTHESIZED 2015
PEAK HOUR TRAFFIC

Figure 3

TABLE 1 2015 Peak Hour Operation			
Intersection	Movement	Level of Service (Delay-sec/veh)	
		5-6 PM	8-9 PM
US36/LCR69B (stop sign)	WB LT	C (19.8)	B (12.8)
	EB T	A (0)	A (0)
LCR69B/Mills (stop sign)	EB LT/RT	B 14.7)	B 11.6)
	NB LT	A (8.2)	A (0)

TABLE 2 2018 Background Peak Hour Operation			
Intersection	Movement	Level of Service (Delay-sec/veh)	
		5-6 PM	8-9 PM
US36/LCR69B (stop sign)	WB LT	C (21.6)	B (13.1)
	EB T	A (0)	A (0)
LCR69B/Mills (stop sign)	EB LT/RT	C (15.2)	B (11.8)
	NB LT	A (8.3)	A (0)

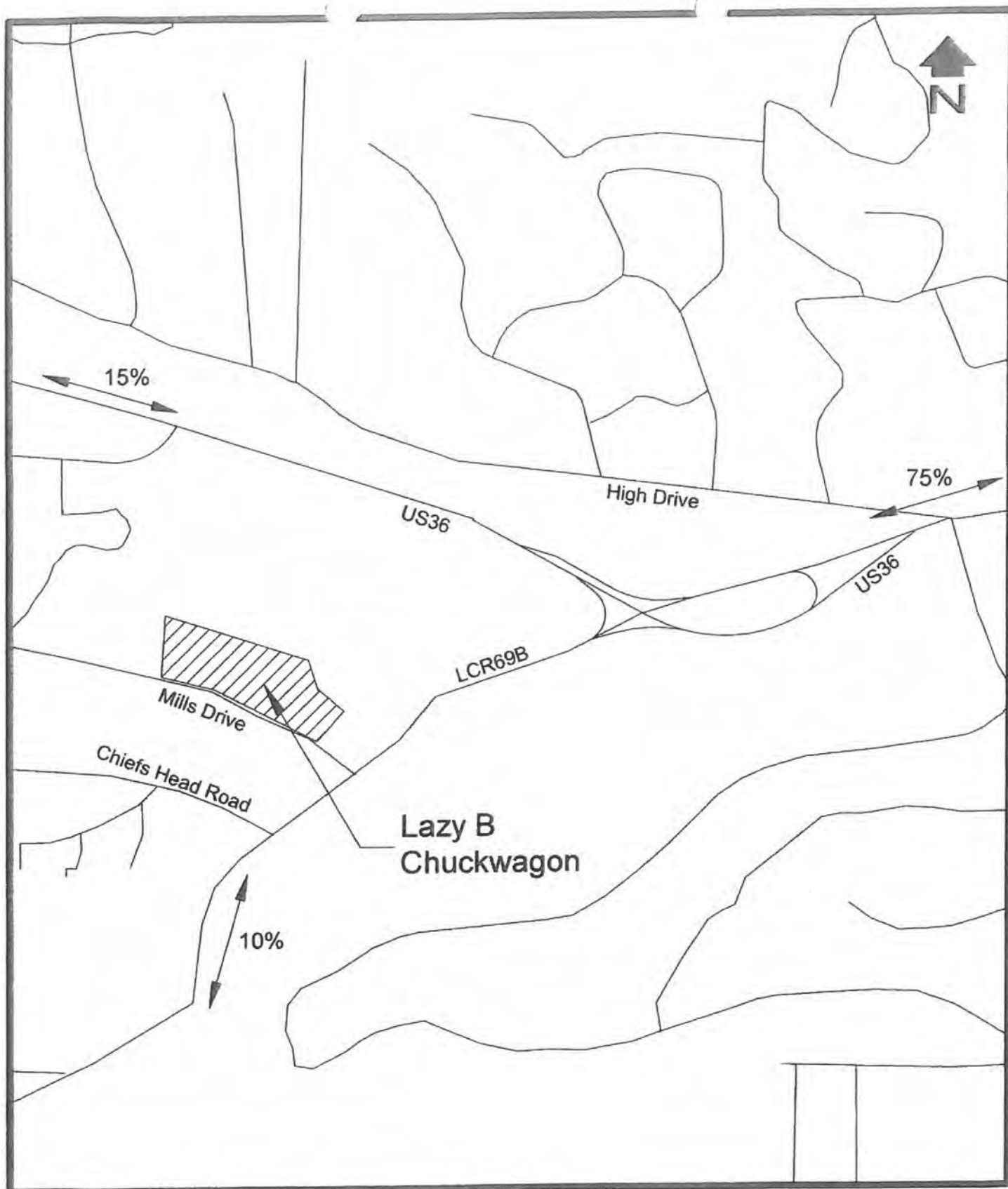
TABLE 3 2018 Total Peak Hour Operation			
Intersection	Movement	Level of Service (Delay-sec/veh)	
		5-6 PM	8-9 PM
US36/LCR69B (stop sign)	WB LT	E (47.0)	B (13.1)
	EB T	A (0)	A (0)
US36/LCR69B (all-way stop sign)	WB LT	C (20.0)	B (9.8)
	EB T	B (13.6)	A (8.7)
LCR69B/Mills (stop sign)	EB LT/RT	C (15.9)	C (16.2)
	NB LT	A (8.3)	A (0)



SITE PLAN

Figure 4

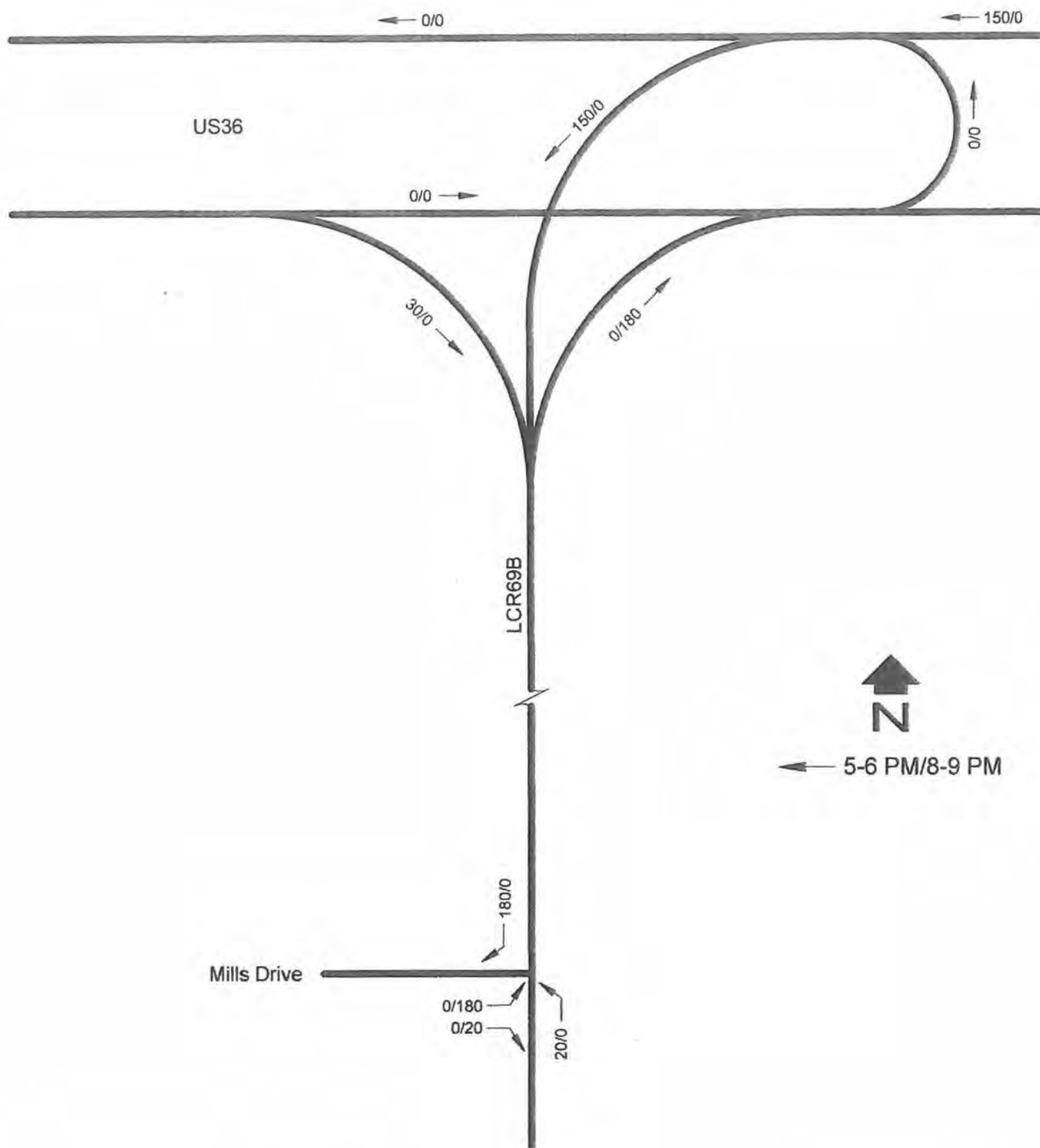




SCALE: 1"=600'

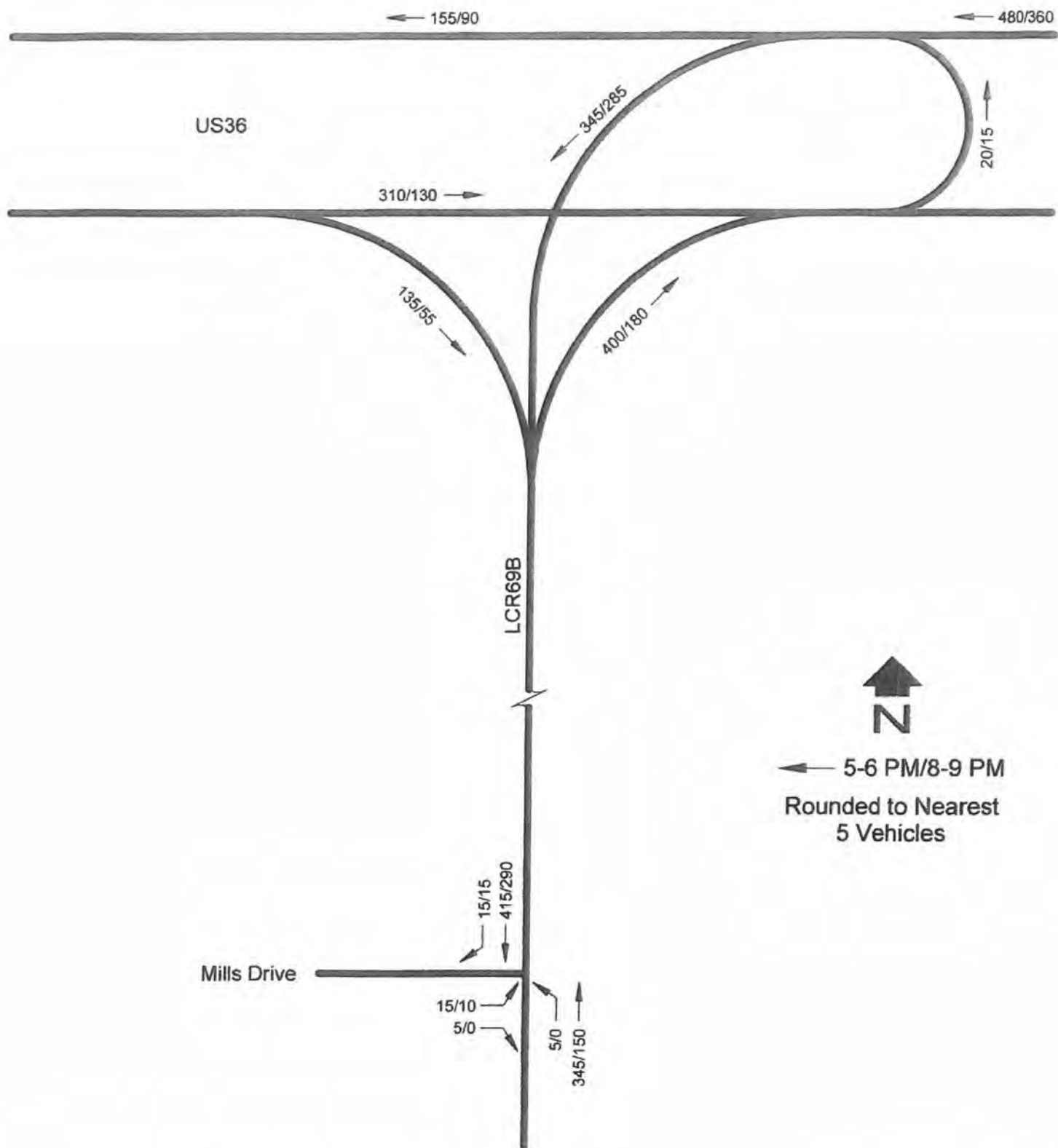
TRIP DISTRIBUTION

Figure 5



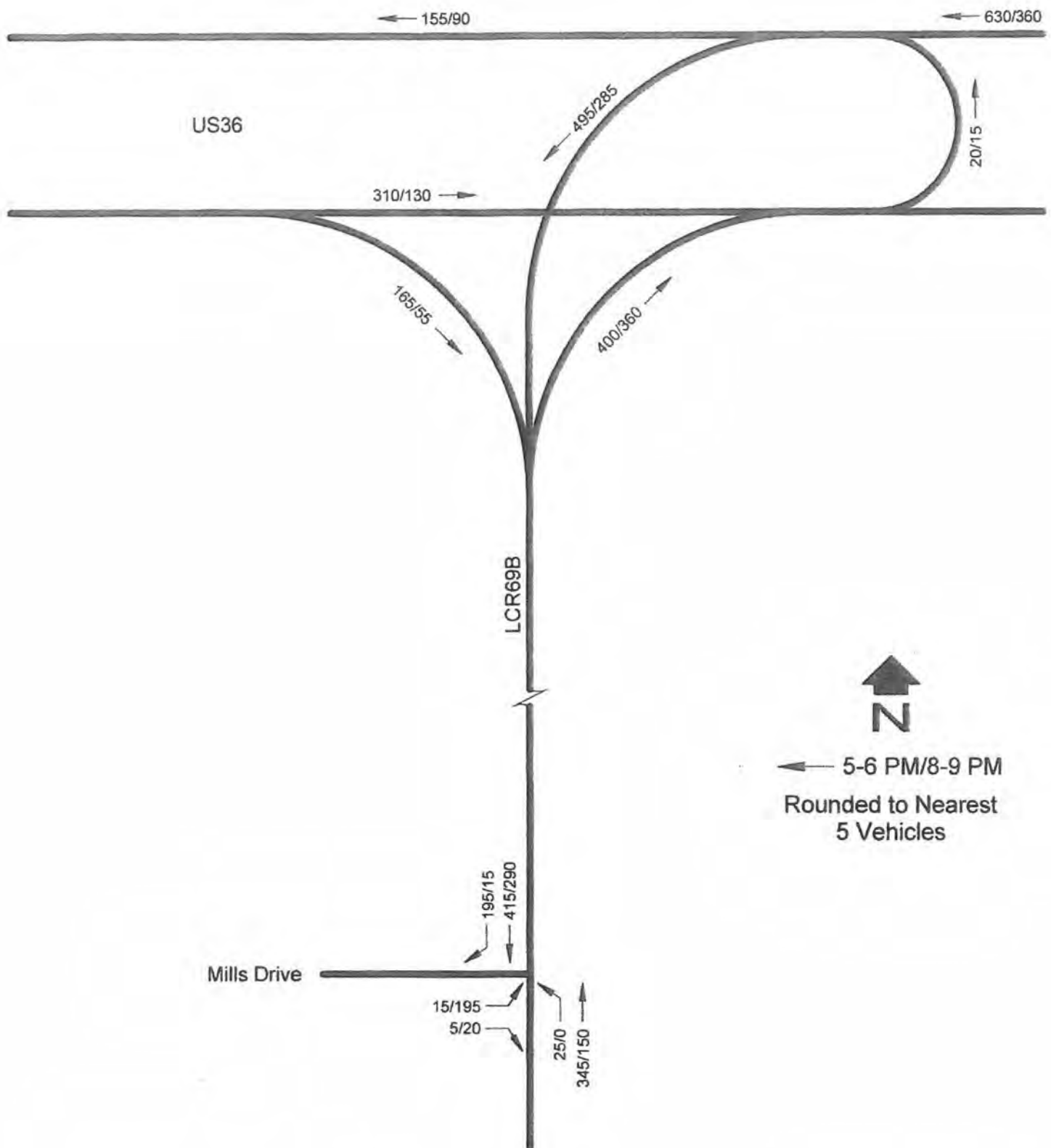
SITE GENERATED
PEAK HOUR TRAFFIC

Figure 6



2018 BACKGROUND
PEAK HOUR TRAFFIC

Figure 7

















2018 TOTAL
PEAK HOUR TRAFFIC

Figure 8

APPENDIX A

HCM Unsignalized Intersection Capacity Analysis 3: US36 & LCR69B

LCR69B stopped
pm 5-6

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	0	298	0	0	0	0	0	0	0	0	329	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	324	0	0	0	0	0	0	0	0	358	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			324			503	324	324	324	324	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			324			503	324	324	324	324	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	40	100
cM capacity (veh/h)	1623			1236			249	594	717	629	594	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	324	358										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	594										
Volume to Capacity	0.19	0.60										
Queue Length 95th (ft)	0	100										
Control Delay (s)	0.0	19.8										
Lane LOS		C										
Approach Delay (s)	0.0	19.8										
Approach LOS		C										
Intersection Summary												
Average Delay			10.4									
Intersection Capacity Utilization			39.7%			ICU Level of Service				A		
Analysis Period (min)			15									

LCR 69B stopped
pm 8-9

Synchro 9 Light Report
Page 2

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 5-6

Intersection

Int Delay, s/veh 0.4

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	15	5	5	330	395	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	5	5	359	429	16

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	808	438	446	0	-	0
Stage 1	438	-	-	-	-	-
Stage 2	370	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	350	619	1114	-	-	-
Stage 1	651	-	-	-	-	-
Stage 2	699	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	348	619	1114	-	-	-
Mov Cap-2 Maneuver	348	-	-	-	-	-
Stage 1	651	-	-	-	-	-
Stage 2	695	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	14.7	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1114	-	391	-	-
HCM Lane V/C Ratio	0.005	-	0.056	-	-
HCM Control Delay (s)	8.2	0	14.7	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 8-9

Intersection

Int Delay, s/veh 0.3

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	10	0	0	145	275	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	0	0	158	299	16

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	465	307	315	0	-	0
Stage 1	307	-	-	-	-	-
Stage 2	158	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	556	733	1245	-	-	-
Stage 1	746	-	-	-	-	-
Stage 2	871	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	556	733	1245	-	-	-
Mov Cap-2 Maneuver	556	-	-	-	-	-
Stage 1	746	-	-	-	-	-
Stage 2	871	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.6	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT EBLn1	SBT	SBR
Capacity (veh/h)	1245	- 556	-	-
HCM Lane V/C Ratio	-	- 0.02	-	-
HCM Control Delay (s)	0	- 11.6	-	-
HCM Lane LOS	A	- B	-	-
HCM 95th %tile Q(veh)	0	- 0.1	-	-















UNSIGNALIZED INTERSECTIONS

Level-of-Service	Average Total Delay sec/veh
A	≤ 10
B	$> 10 \text{ and } \leq 15$
C	$> 15 \text{ and } \leq 25$
D	$> 25 \text{ and } \leq 35$
E	$> 35 \text{ and } \leq 50$
F	> 50

APPENDIX B















HCM Unsignalized Intersection Capacity Analysis 3: US36 & LCR69B

LCR69B stopped
pm 5-6 short background

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	0	310	0	0	0	0	0	0	0	0	345	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	337	0	0	0	0	0	0	0	0	375	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			337			524	337	337	337	337	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			337			524	337	337	337	337	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	36	100
cM capacity (veh/h)	1623			1222			225	584	705	617	584	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	337	375										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	584										
Volume to Capacity	0.20	0.64										
Queue Length 95th (ft)	0	115										
Control Delay (s)	0.0	21.6										
Lane LOS		C										
Approach Delay (s)	0.0	21.6										
Approach LOS		C										
Intersection Summary												
Average Delay			11.4									
Intersection Capacity Utilization			41.1%		ICU Level of Service					A		
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis 3: US36 & LCR69B

LCR69B stopped
pm 8-9 short background

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	0	130	0	0	0	0	0	0	0	0	285	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	141	0	0	0	0	0	0	0	0	310	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			141			296	141	141	141	141	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			141			296	141	141	141	141	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	59	100
cM capacity (veh/h)	1623			1442			444	750	907	828	750	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	141	310										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	750										
Volume to Capacity	0.08	0.41										
Queue Length 95th (ft)	0	51										
Control Delay (s)	0.0	13.1										
Lane LOS		B										
Approach Delay (s)	0.0	13.1										
Approach LOS		B										
Intersection Summary												
Average Delay			9.0									
Intersection Capacity Utilization			28.5%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 5-6 short background

Intersection

Int Delay, s/veh 0.4

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	15	5	5	345	415	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	5	5	375	451	16

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	845	459	467	0	-	0
Stage 1	459	-	-	-	-	-
Stage 2	386	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	333	602	1094	-	-	-
Stage 1	636	-	-	-	-	-
Stage 2	687	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	331	602	1094	-	-	-
Mov Cap-2 Maneuver	331	-	-	-	-	-
Stage 1	636	-	-	-	-	-
Stage 2	683	-	-	-	-	-

Approach	EB		NB		SB
HCM Control Delay, s	15.2		0.1		0
HCM LOS	C				

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1094	-	373	-	-
HCM Lane V/C Ratio	0.005	-	0.058	-	-
HCM Control Delay (s)	8.3	0	15.2	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 8-9 short background

Intersection

Int Delay, s/veh 0.3

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	10	0	0	150	290	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	0	0	163	315	16

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	486	323	332	0	-	0
Stage 1	323	-	-	-	-	-
Stage 2	163	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	540	718	1227	-	-	-
Stage 1	734	-	-	-	-	-
Stage 2	866	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	540	718	1227	-	-	-
Mov Cap-2 Maneuver	540	-	-	-	-	-
Stage 1	734	-	-	-	-	-
Stage 2	866	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.8	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT EBLn1	SBT	SBR
Capacity (veh/h)	1227	- 540	-	-
HCM Lane V/C Ratio	-	- 0.02	-	-
HCM Control Delay (s)	0	- 11.8	-	-
HCM Lane LOS	A	- B	-	-
HCM 95th %tile Q(veh)	0	- 0.1	-	-















APPENDIX C

LCR69B stopped
pm 5-6 short total

13













HCM Unsignalized Intersection Capacity Analysis 3: US36 & LCR69B

LCR69B stopped
pm 8-9 short total

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	0	130	0	0	0	0	0	0	0	0	285	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	141	0	0	0	0	0	0	0	0	310	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			141			296	141	141	141	141	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			141			296	141	141	141	141	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	59	100
cM capacity (veh/h)	1623			1442			444	750	907	828	750	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	141	310										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	750										
Volume to Capacity	0.08	0.41										
Queue Length 95th (ft)	0	51										
Control Delay (s)	0.0	13.1										
Lane LOS		B										
Approach Delay (s)	0.0	13.1										
Approach LOS		B										
Intersection Summary												
Average Delay			9.0									
Intersection Capacity Utilization			28.5%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis 3: US36 & LCR69B

US36 & LCR 69B stopped
pm 5-6 short total















												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑									↑	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	0	310	0	0	0	0	0	0	0	0	495	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	337	0	0	0	0	0	0	0	0	538	0
Direction, Lane #	EB 1	SB 1										
Volume Total (vph)	337	538										
Volume Left (vph)	0	0										
Volume Right (vph)	0	0										
Hadj (s)	0.03	0.03										
Departure Headway (s)	5.3	4.9										
Degree Utilization, x	0.50	0.73										
Capacity (veh/h)	637	714										
Control Delay (s)	13.6	20.0										
Approach Delay (s)	13.6	20.0										
Approach LOS	B	C										

Intersection Summary

Delay	17.5		
Level of Service	C		
Intersection Capacity Utilization	49.0%	ICU Level of Service	A
Analysis Period (min)	15		

HCM Unsignalized Intersection Capacity Analysis 3: US36 & LCR69B

US36 & LCR 69B stopped
pm 8-9 short total

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	0	130	0	0	0	0	0	0	0	0	285	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	141	0	0	0	0	0	0	0	0	310	0
Direction, Lane #	EB 1	SB 1										
Volume Total (vph)	141	310										
Volume Left (vph)	0	0										
Volume Right (vph)	0	0										
Hadj (s)	0.03	0.03										
Departure Headway (s)	4.7	4.3										
Degree Utilization, x	0.18	0.37										
Capacity (veh/h)	724	817										
Control Delay (s)	8.7	9.8										
Approach Delay (s)	8.7	9.8										
Approach LOS	A	A										

Intersection Summary

Delay	9.4		
Level of Service	A		
Intersection Capacity Utilization	28.5%	ICU Level of Service	A
Analysis Period (min)	15		

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 5-6 short total

Intersection

Int Delay, s/veh 0.5

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	15	5	25	345	415	195
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	200
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	5	27	375	451	212

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	880	451	451	0	-	0
Stage 1	451	-	-	-	-	-
Stage 2	429	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	318	608	1109	-	-	-
Stage 1	642	-	-	-	-	-
Stage 2	657	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	308	608	1109	-	-	-
Mov Cap-2 Maneuver	308	-	-	-	-	-
Stage 1	642	-	-	-	-	-
Stage 2	637	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	15.9	0.6	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1109	-	351	-	-
HCM Lane V/C Ratio	0.025	-	0.062	-	-
HCM Control Delay (s)	8.3	0	15.9	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0.1	-	0.2	-	-

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 8-9 short total

Intersection

Int Delay, s/veh 5.2

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	195	20	0	150	290	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	212	22	0	163	315	16

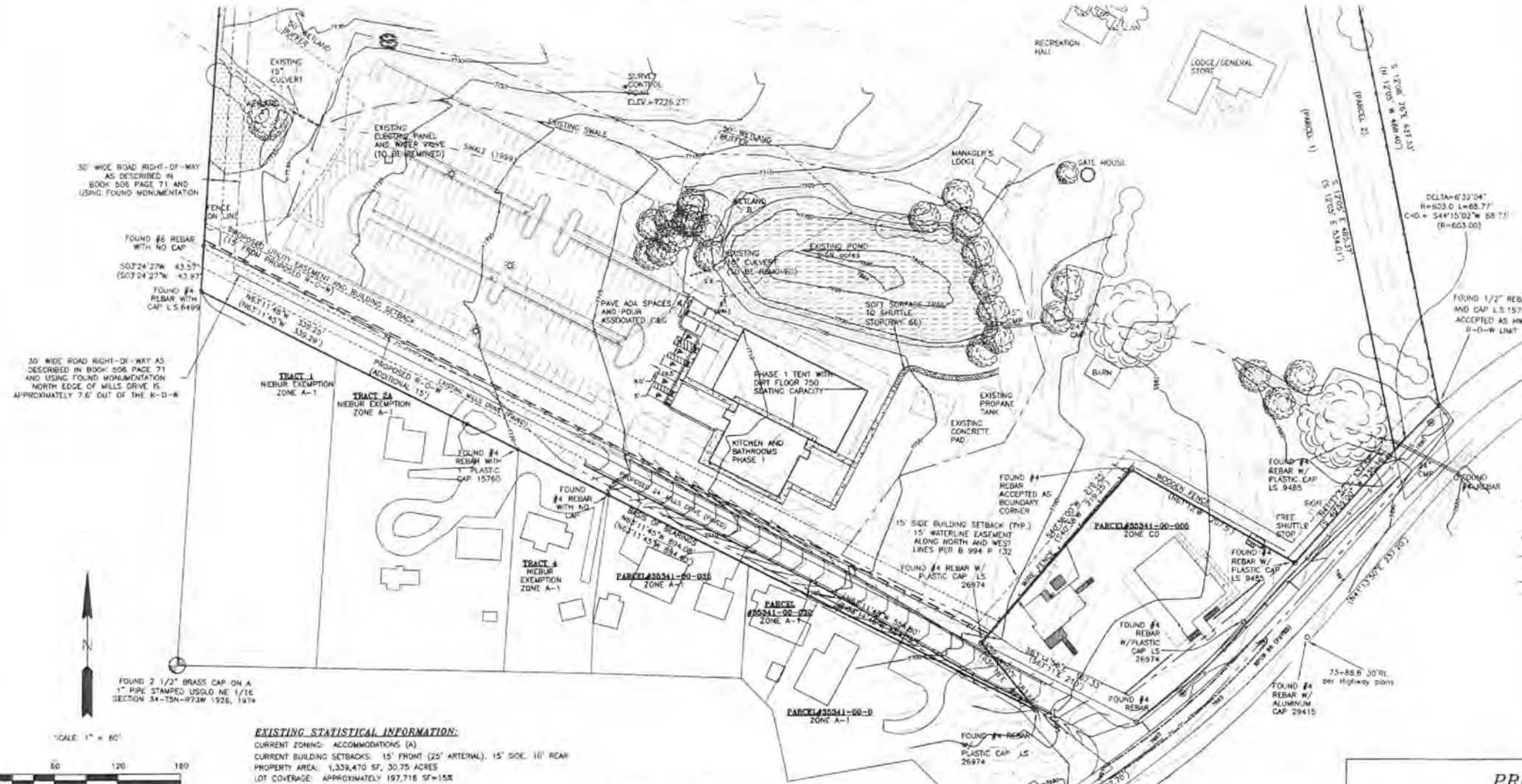
Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	486	323	332	0	-	0
Stage 1	323	-	-	-	-	-
Stage 2	163	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	540	718	1227	-	-	-
Stage 1	734	-	-	-	-	-
Stage 2	866	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	540	718	1227	-	-	-
Mov Cap-2 Maneuver	540	-	-	-	-	-
Stage 1	734	-	-	-	-	-
Stage 2	866	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	16.2	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1227	-	553	-	-
HCM Lane V/C Ratio	-	-	0.423	-	-
HCM Control Delay (s)	0	-	16.2	-	-
HCM Lane LOS	A	-	C	-	-
HCM 95th %tile Q(veh)	0	-	2.1	-	-

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T3N, R73W OF THE 6TH P.M. LARIMER COUNTY, COLORADO



PARCEL 1:
A PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 3 NORTH, RANGE 73 WEST OF THE 6TH P.M. DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 34 WHICH IS SOUTH 04 DEGREES 34 MINUTES WEST, 315.84 FEET FROM THE NORTHEAST CORNER THEREOF; THENCE SOUTH 04 DEGREES 34 MINUTES WEST, 352.82 FEET; THENCE NORTH 85 DEGREES 28 MINUTES WEST, 308.18 FEET; THENCE SOUTH 12 DEGREES 05 MINUTES EAST, 534.01 FEET TO A POINT ON THE CENTERLINE OF THE FORMER MORANE PARK ROAD; THENCE ALONG SAID CENTERLINE, SOUTH 48 DEGREES 24 MINUTES WEST, 109 FEET TO THE MOST EASTERLY CORNER OF THE TRACT DESCRIBED IN BOOK 994 PAGE 132; THENCE NORTH 61 DEGREES 12 MINUTES WEST, 207.5 FEET; THENCE SOUTH 40 DEGREES 38 MINUTES WEST, 219.25 FEET TO A POINT ON THE NORTHERLY LINE OF THE UTILITY ROAD DESCRIBED IN BOOK 506 AT PAGE 71; THENCE SOUTH 49 DEGREES 18 MINUTES EAST, 99.7 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID UTILITY ROAD; THENCE NORTH 63 DEGREES 17 MINUTES WEST ALONG SAID SOUTHERLY LINE, 908.9 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER NORTHEAST QUARTER, OF SAID SECTION 34, THENCE NORTH 03 DEGREES 30 MINUTES EAST ALONG THE WEST LINE OF SAID NORTHEAST QUARTER NORTHEAST QUARTER TO A POINT ON THE NORTH LINE OF SAID SECTION 34, THENCE SOUTH 89 DEGREES EAST, ALONG THE NORTH LINE OF SAID SECTION 34, 448.25 FEET TO THE MOST WESTERLY CORNER OF PARCEL 1, OF TRACT 1024 DESCRIBED IN DEED RECORDED BOOK 1071, AT PAGE 111; THENCE ON A CURVE TO THE RIGHT WITH A RADIUS OF 4485.99 FEET AND WHOSE CHORD BEARS SOUTH 72 DEGREES 27 MINUTES EAST, AN ARC DISTANCE OF 515.17 FEET TO A POINT ON THE WEST LINE OF A TRACT DESCRIBED IN BOOK 764 AT PAGE 3, THENCE SOUTH 01 DEGREES WEST ALONG THE WEST LINE OF SAID TRACT DESCRIBED IN BOOK 764 AT PAGE 3, 53.42 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES EAST, ALONG THE SOUTH LINE OF SAID TRACT, 134.16 FEET TO THE MOST WESTERLY CORNER OF PARCEL 1, OF TRACT 1024 DESCRIBED IN SAID DEED; THENCE ON A CURVE TO THE RIGHT WITH A RADIUS OF 4485.99 FEET AND WHOSE CHORD BEARS SOUTH 65 DEGREES 50 MINUTES EAST, AN ARC DISTANCE OF 259.45 FEET TO THE POINT OF BEGINNING, COUNTY OF LARIMER, STATE OF COLORADO.

PARCEL 1:
BEGINNING AT THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 3 NORTH, RANGE 73 WEST OF THE 6TH P.M.; THENCE SOUTH 02 DEGREES 34 MINUTES WEST ALONG THE EAST SIDE OF SECTION 34, 688.70 FEET; THENCE NORTH 85 DEGREES 28 MINUTES WEST 253.97 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 85 DEGREES 28 MINUTES WEST 32.19 FEET; THENCE SOUTH 12 DEGREES 05 MINUTES EAST 534.01 FEET TO THE CENTER LINE OF THE OLD MORANE PARK ROAD; THENCE ALONG SAID CENTER LINE NORTH 48 DEGREES 24 MINUTES EAST 58.65 FEET; THENCE NORTH 12 DEGREES 05 MINUTES WEST A DISTANCE OF 486.40 FEET TO THE TRUE POINT OF BEGINNING, COUNTY OF LARIMER, STATE OF COLORADO.

LEGEND	
	150K TRANSFORMER
	ELECTRIC PEDESTAL
	NEW ELECTRIC SERVICE PANEL
	LIGHT POLE
	TELEPHONE PEDESTAL
	WATER SHUT OFF VALVE
	FIRE HYDRANT
	SEWER CLEANOUT
	SEWER MANHOLE
	STORM SEWER MANHOLE
	LIMIT OF DISTURBANCE
	CONCRETE PAVING AND TRASH DUMPSTER PAD W/ FENCED ENCLOSURE
	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING CONTOUR LINE
	EXISTING CONTOUR TREE
	EXISTING CONTOUR TREE
	EXISTING ROW OF TREES/SHRUBS
	FENCE (AS NOTED)
	SEWER LINE-EXISTING
	SEWER LINE-NEW
	WATER LINE-EXISTING
	WATER LINE-NEW
	EXISTING BARRIED SECONDARY SERVICE
	EXISTING OVERHEAD UTILITY LINE
	NEW BARRIED SECONDARY SERVICE
	STORM SEWER LINE-NEW
	UTILITY POLE
	BUILDING SETBACK EASEMENT (AS NOTED)
	ROAD OR DRIVE TO BE REMOVED/ALTERED
	ROAD CENTERLINE
	ROAD OR DRIVE
	NEW ROAD OR DRIVE
	CONCRETE PAD (X12) FOR BIKE RACK (10 BIKE CAPACITY)
	PROPOSED CONCRETE
	FOUND #4 REBAR WITH PLASTIC CAP PLS. HABS (UNLESS OTHERWISE NOTED)
	MEASURED OR CALCULATED DIMENSIONS
	PLATTED OR DERIVED DIMENSIONS



EXISTING STATISTICAL INFORMATION:
CURRENT ZONING: ACCOMMODATIONS (A)
CURRENT BUILDING SETBACKS: 15' FRONT (25' ARTERIAL), 15' SIDE, 10' REAR
PROPERTY AREA: 1,338,470 SF, 30.75 ACRES
LOT COVERAGE: APPROXIMATELY 197.71% SF=15%

PROPOSED STATISTICAL INFORMATION:
PROJECT AREA: 1,339,470 SF, 30.75 ACRES
PROPOSED ZONING AND BUILDING SETBACKS: ACCOMMODATIONS (A)
15' FRONT/SIDE, 10' REAR
DEDICATED RIGHT OF WAY: 36,542.93 SF, 0.83 ACRES (30' FROM BOOK AND PAGE TOGETHER WITH AND ADDITIONAL 15' DEDICATED AS PART OF THIS SUBMITTAL)
ADJUSTED PROJECT AREA: 1,300,927.07 SF, 29.87 ACRES
PROPOSED USE: MAJOR ENTERTAINMENT EVENT, INDOOR FACILITY
AVERAGE SLOPE: 3.7%
PROPOSED DEVELOPMENT: 17,910 SF MAJOR EVENT FACILITY
PARKING:
REQUIRED (PER TRAFFIC STUDY): 750 PEOPLE/3.3 PEOPLE/VEHICLE=215 SPACES
192 PARKING SPACES PROVIDED
B. HANDICAP ACCESSIBLE REQUIRED=6 PROVIDED
1 LOADING SPACE REQUIRED=1 PROVIDED
5 CHARTER BUS SPACES (125PP/ BUS)
10 BIKE CAPACITY BIKE RACK
MAX. BUILDING HEIGHT: 26.25', 32.0' ALLOWED WITH SLIDING SCALE PER EVDC
LOT COVERAGE
30% ALLOWED
15% EXISTING
290,740/1,300,927.07 SF=22.3% PROPOSED

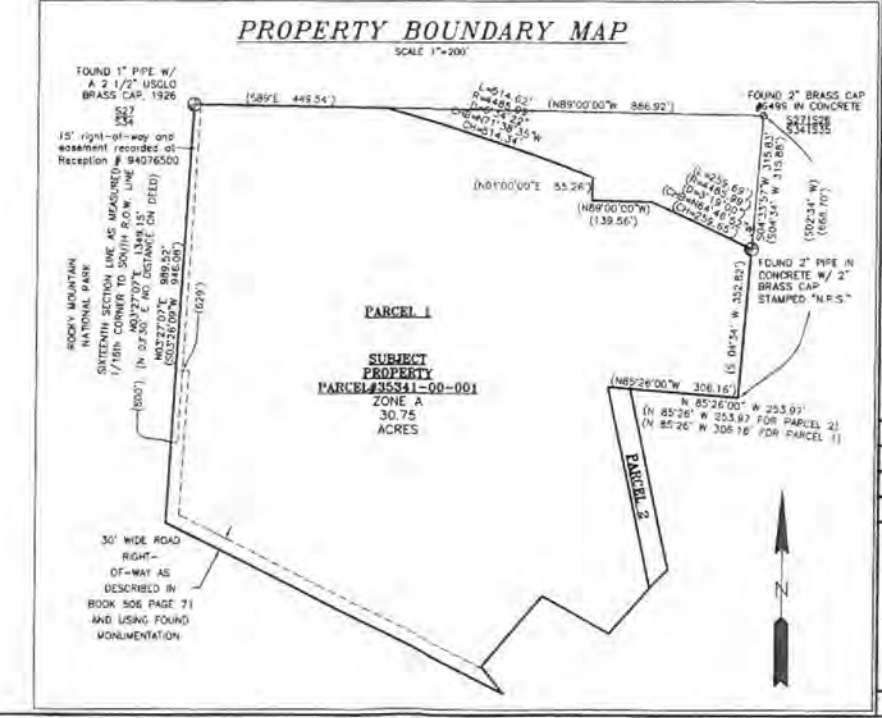
CERTIFICATION AND APPROVAL
THE UNDERSIGNED, BEING THE OWNERS, DO HEREBY AGREE THAT THE REAL PROPERTY AS DESCRIBED IN THE APPLICATION FOR DEVELOPMENT PLAN REVIEW FILED HERewith, AND AS SHOWN ON THIS SITE PLAN SHALL BE SUBJECT TO THE PROVISIONS OF TITLE 17 OF THE MUNICIPAL CODE OF THE TOWN OF ESTES PARK, COLORADO AND ANY OTHER ORDINANCES OF THE TOWN OF ESTES PARK, COLORADO PERTAINING THERE TO.

ELK MEADOW RV ESSENTIAL GROUP, LLC
RANDY JACKSON, OWNER

ELK MEADOW RV ESSENTIAL GROUP, LLC
MICHAEL ANDRZEJAK, OWNER

NOTES:
1. THE OWNER SHALL BE REQUIRED TO PROVIDE FOR HANDICAP ACCESSIBILITY IN ACCORDANCE WITH THE A.D.A. AND I.B.C.
2. EXTERIOR LIGHTING WILL BE LOCATED AT THE REQUIRED ENTRY POINTS OF THE NEW BUILDING, ATTACHED TO THE BUILDING AND WILL BE SHIELDED AND DEFLECTED DOWNWARD, COMPLIANCE WITH SECTION 7.9 OF THE ESTES VALLEY DEVELOPMENT CODE IS REQUIRED.
3. ALL REQUIRED IMPROVEMENTS SHALL BE COMPLETED OR GUARANTEED IN ACCORDANCE WITH EVDC SECTIONS 7.12 AND 10.54.
4. PER SECTION 7.13, "CONDUIT, METERS, VENTS AND OTHER EQUIPMENT ATTACHED TO THE BUILDING OR PROJECTING FROM THE ROOF SHALL BE SCREENED, COVERED OR PAINTED TO MINIMIZE VISUAL IMPACTS."
5. APPROVAL OF THIS DEVELOPMENT PLAN CREATES A VESTED PROPERTY RIGHT PURSUANT TO ARTICLE 68 OF TITLE 24, C.R.S. AS AMENDED.
6. CONTOURS SHOWN HEREON ARE BASED UPON A SURVEY CONTROL POINT SET ON THE SITE AT AN ASSUMED ELEVATION OF 7726.27' INTERPOLATED FROM DIGITAL TOWN TOPOGRAPHY (1998). CONTOURS ARE SHOWN AT 1' INTERVALS.
7. SEE SHEETS 2-6 OF 10 FOR ADDITIONAL SITE DEVELOPMENT DETAIL.
8. THIS PROPERTY DOES NOT FALL WITHIN THE GEOLOGIC HAZARD MITIGATION AREA.
9. A SMALL PORTION OF THIS PROPERTY DOES FALL WITHIN THE HIGH WILDFIRE HAZARD MITIGATION AREA AND SHALL MITIGATE TREES ACCORDINGLY.
10. THERE ARE TWO JURISDICTIONAL WETLANDS OR WATERS OF THE U.S. LOCATED ON THIS SITE. PLEASE REFER TO PRELIMINARY WETLAND SCREENING REPORT.
11. THE TRAFFIC STUDY AND MEMO DATED JANUARY 13, 2016 FROM MATT DELICH, COLORADO PE 15063 SHOULD BE REFERRED FOR TRAFFIC CONCERNS.
12. THE PROPOSED DEVELOPMENT WILL BE COMPLETED IN 3 PHASES AS OUTLINED ON THIS DEVELOPMENT PLAN.
13. THE LOT IS CURRENTLY ZONED A-ACCOMMODATIONS.
14. THIS DEVELOPMENT REQUIRES COMPLIANCE WITH THE INTERNATIONAL FIRE AND INTERNATIONAL BUILDING CODE.
15. THIS DEVELOPMENT REQUIRES COMPLIANCE WITH THE ESTES PARK MUNICIPAL CODE.
16. NO OUTSIDE STORAGE ALLOWED.
17. UTILITIES ARE SCHEMATIC. THE ACTUAL LOCATIONS WILL BE FIELD FIT AT THE TIME OF INSTALLATION AND DESIGNED WITH CONSTRUCTION PLANS.
18. LIMITS OF DISTURBANCE SHALL BE DESIGNATED IN THE FIELD PRIOR TO COMMENCEMENT OF EXCAVATION, GRADING, OR CONSTRUCTION WITH CONSTRUCTION BARRIERS BEING OR SOME OTHER METHOD APPROVED BY STAFF.
19. STOCKPILING SHALL NOT OCCUR OUTSIDE THE DELINEATED LIMITS OF DISTURBANCE.
20. NO FENCING ALLOWED, EXCEPT AS REQUIRED TO PROTECT LANDSCAPING.
21. LIGHTING SHALL BE REDUCED AFTER 10 PM.

BASIS OF BEARINGS STATEMENT:
BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTH PROPERTY LINE MONUMENTED IN THE FIELD WITH CONTROL MONUMENTS SHOWN HEREON. SAID LINE IS ASSUMED TO BEAR N63°11'42"W.



CERTIFICATION AND APPROVAL:
THE UNDERSIGNED, BEING THE OWNERS, DO HEREBY AGREE THAT THE REAL PROPERTY AS DESCRIBED IN THE APPLICATION FOR DEVELOPMENT PLAN REVIEW FILED HERewith, AND AS SHOWN ON THIS SITE PLAN SHALL BE SUBJECT TO THE PROVISIONS OF TITLE 17 OF THE MUNICIPAL CODE OF THE TOWN OF ESTES PARK, COLORADO AND ANY OTHER ORDINANCES OF THE TOWN OF ESTES PARK, COLORADO PERTAINING THERE TO.

PROPERTY OWNER:
ELK MEADOW RV ESSENTIAL GROUP LLC
C/O MICHAEL ANDRZEJAK
17800 WEST COLUMBIAN AVENUE
GOLDEN, COLORADO 80401

APPLICANT:
MICHAEL ANDRZEJAK
LAZY B RANCH AND WRANGLERS
970-687-6917

ENGINEER:
LORRIE A. SHELTON
CO PE AND PLS 80974
VAN HORN ENGINEERING AND SURVEYING
1043 FTSH CREEK ROAD
ESTES PARK, CO 80517
970-686-5988

ARCHITECT:
STATE LAKE
BASIS ARCHITECTURE
1882 RED WILLOW AVENUE
SUITE 100
ESTES PARK, CO 80517
970-586-9140

PHASE 1, SITE PLAN

1665 HWY 66

ESTES PARK, COLORADO

1

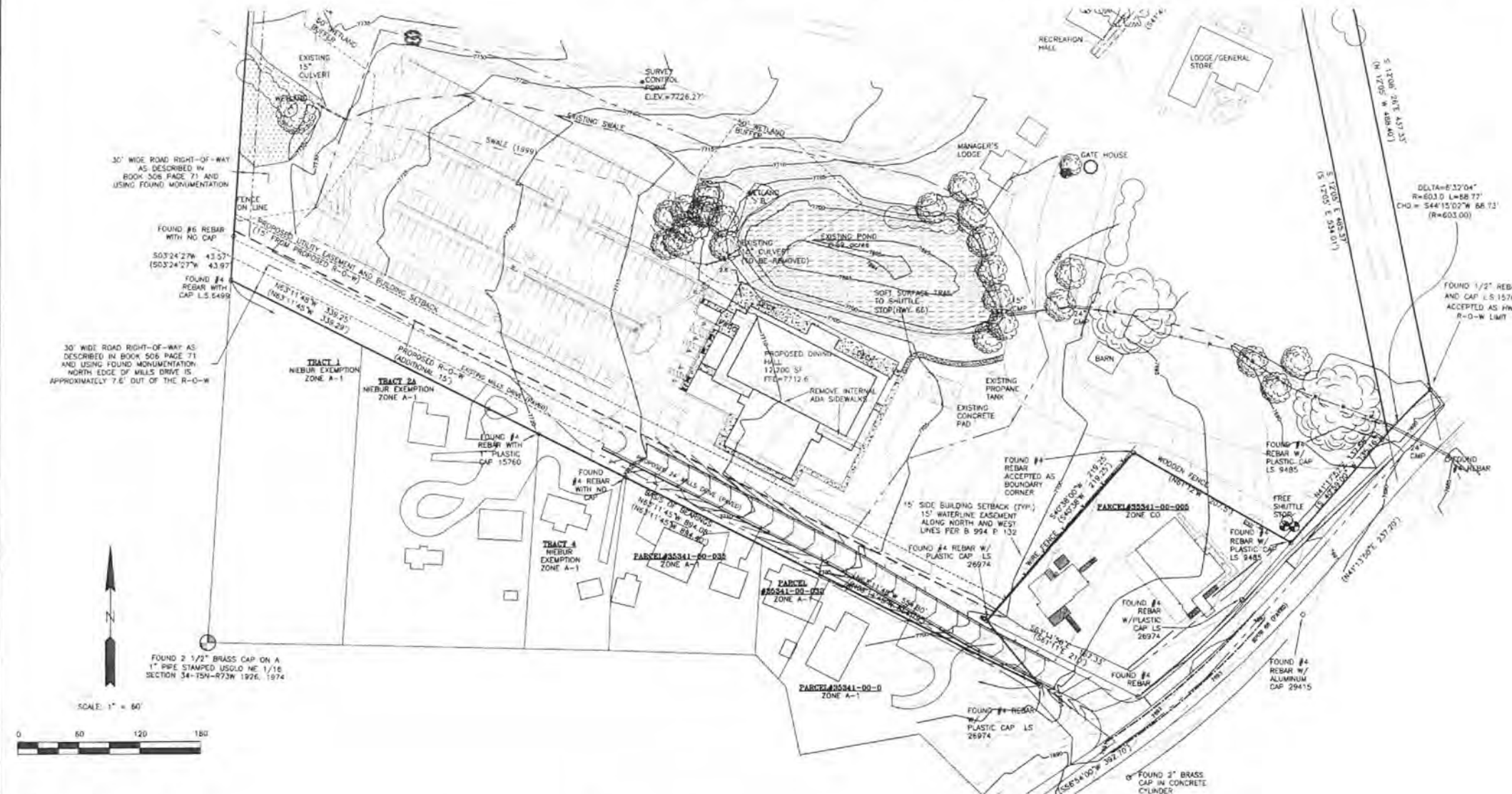
OF

10

1007-05-23

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, 15N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO



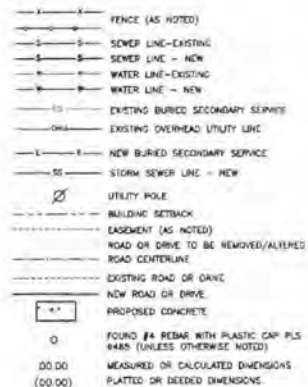
THREE-PHASE PROJECT PLAN

PHASE TWO:

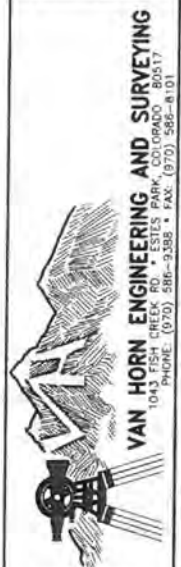
- THE DINING HALL (12,200 S'F)
- ADA COMPLIANT CONCRETE WALKWAYS FROM ADA PARKING SPACES TO NEW BUILDING
- INTERNAL LOT LANDSCAPING



LEGEND



DATE	REVISION	BY



VAN HORN ENGINEERING AND SURVEYING
1043 75TH CREEK RD. ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • FAX: (970) 586-8101

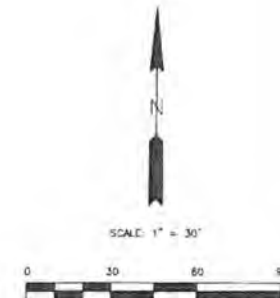
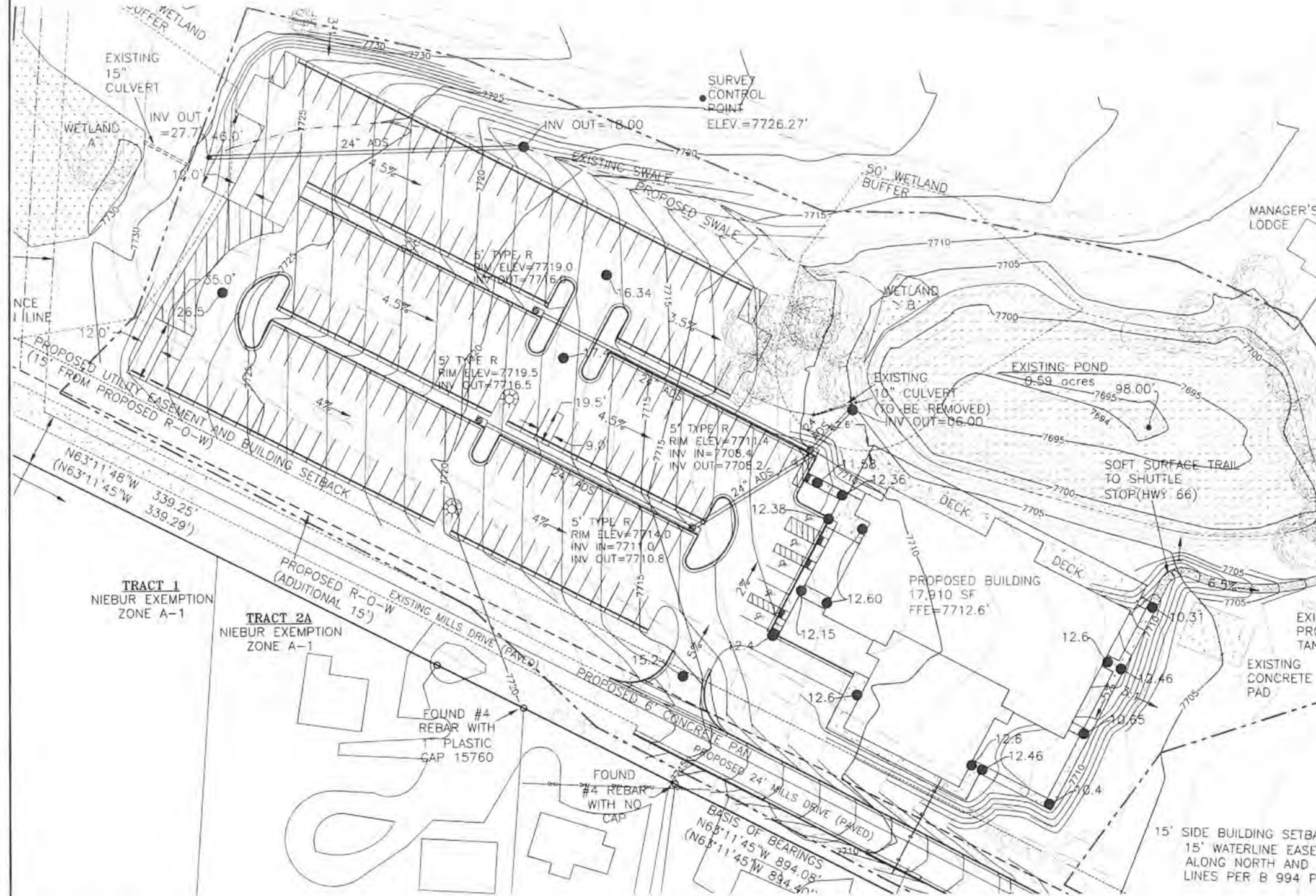
PHASE 2, SITE PLAN

1665 HWY 66
ESTES PARK, COLORADO

SHEET	PROJECT
DRAWN BY: CML	CHECKED BY: LAS
SCALE: 1"=60'	DATE: 01/20/18
SHEET	2
OF	10
PROJ. NO.	2007-05-23

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T5N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO



THREE-PHASE PROJECT PLAN:

- PHASE THREE:
- PAVE, STRIPE AND CURB AND GUTTER THE PARKING LOT
 - INSTALL PARKING LOT DRAINAGE FEATURES
 - INSTALL PARKING LOT LANDSCAPING

PHASE 3 PLAN, GRADING & DRAINAGE

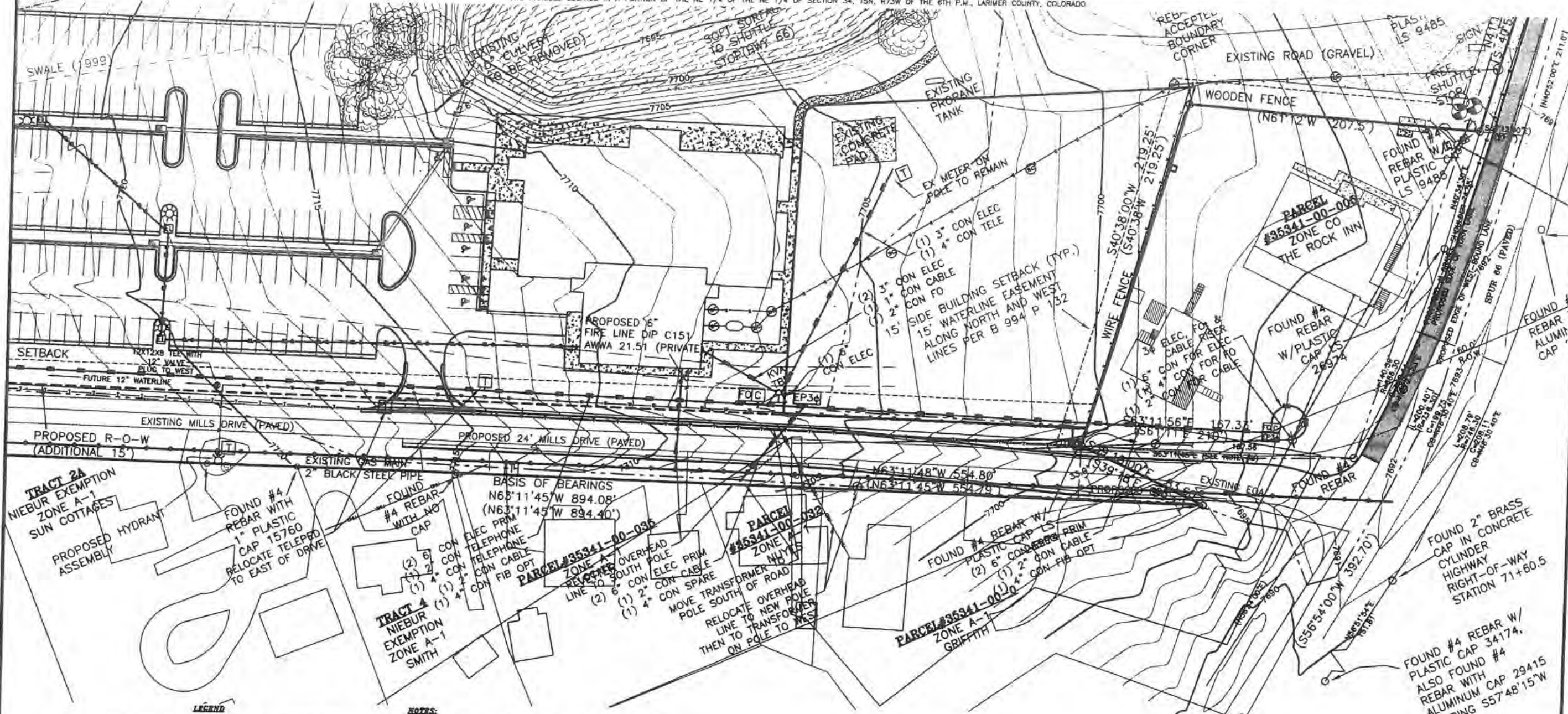
1665 HWY 66
ESTES PARK, COLORADO

DRAWN BY: CML
CHECKED BY: LAS
SCALE: 1"=30'
DATE: 01/20/18
SHEET: 3
OF: 10
PROJ. NO. 2007-05-23

VAN HORN ENGINEERING AND SURVEYING
1040 W. 10TH AVE., SUITE 100, BOULDER, CO 80501
PHONE: (303) 440-9888 FAX: (303) 440-9889

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T5N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO

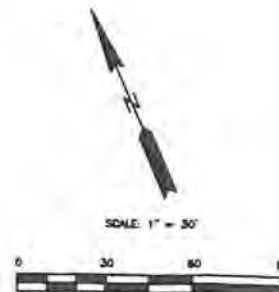


LEGEND

- | | | | |
|--|-----------------------------|--|--|
| | ELECTRIC TRANSFORMER & BASE | | LIMIT OF DISTURBANCE |
| | ELECTRIC POLE | | FENCE (AS NOTED) |
| | 34 PRIMARY CABINET & BASE | | SEWER LINE - EXISTING |
| | LIGHT POLE | | SEWER LINE - NEW |
| | TELEPHONE PEDESTAL | | WATER LINE - EXISTING |
| | CABLE PEDESTAL | | WATER LINE - NEW |
| | WATER SHUT OFF VALVE | | EXISTING BURIED SECONDARY SERVICE |
| | FIRE HYDRANT | | EXISTING OVERHEAD UTILITY LINE |
| | SEWER CLEANOUTS | | NEW BURIED SECONDARY SERVICE |
| | BREAKER INTERCEPTOR | | STORM SEWER LINE - NEW |
| | SEWER MANHOLE | | UTILITY POLE |
| | STORM SEWER MANHOLE | | BUILDING SETBACK |
| | PROPERTY LINE | | EASEMENT (AS NOTED) |
| | EXISTING MAJOR CONTOUR | | ROAD ON DRIVE TO BE REMOVED/ALTERED |
| | EXISTING MINOR CONTOUR | | ROAD CENTERLINE |
| | PROPOSED MAJOR CONTOUR | | EXISTING ROAD ON DRIVE |
| | PROPOSED MINOR CONTOUR | | NEW ROAD ON DRIVE |
| | EXISTING DECIDUOUS TREE | | PROPOSED CONCRETE |
| | EXISTING CONIFEROUS TREE | | FOUND #4 REBAR WITH PLASTIC CAP PLUS BAND (UNLESS OTHERWISE NOTED) |
| | EXISTING ROW OF TREES/BRUSH | | MEASURED OR CALCULATED ELEVATION |
| | | | PLOTTED OR SCALED DIMENSIONS |

NOTES

1. THE WATER MAIN EXTENSION HAS AN APPROVED DESIGN FROM AN ADJACENT PROJECT. THE LENGTH OF WATER MAIN TO THE PROPOSED BUILDING IS APPROXIMATELY 525'.
2. THE SANITARY SEWER SERVICE LINE IS A 6" LINE APPROXIMATELY 525' IN LENGTH.
3. THE EXISTING OVERHEAD ELECTRIC LINES WILL BE BURIED DURING THE INSTALLATION OF THE WATER MAIN.
4. FIBER OPTICS AND CABLE LINES WILL SHARE A TRENCH WITH ELECTRIC.
5. TELEPHONE LINE EXISTS NORTH OF MILLS DRIVE. NEW BURIED TELEPHONE SERVICE LINES WILL CONNECT TO THE EXISTING TELEPHONE LINES.
6. THE NATURAL GAS LINE IS ASSUMED TO BE IN MILLS DRIVE. A NEW BURIED GAS LINE WILL CONNECT TO THE GAS MAIN.



UTILITY PLAN

1666 HWY 66
ESTES PARK, COLORADO

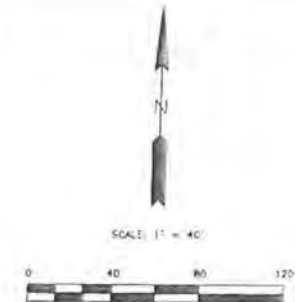
SHEET	4
OF	10
DRAWN BY:	CSL
CHECKED BY:	JAS
SCALE:	1"=30'
DATE:	01/20/18



TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T5N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO.

HORIZONTAL SCALE: 1" = 40'

VERTICAL SCALE: 1" = 10'



WATER SHALL OFF HAVEN
FIRE HYDRANT
LIMIT OF DISTURBANCE
TYPING (A) REMAIN WITH PLASTIC CAP F/3
BARS (UNLESS OTHERWISE NOTED)
MEASURED OR CALCULATED DIMENSIONS
PLATTED OR DEEDED DIMENSIONS
PROPERTY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
FENCE
RAILING
SEWER LINE - EXISTING
SEWER LINE - NEW
WATER LINE - EXISTING
WATER LINE - NEW
BUILDING SETBACK
NEW ROAD OR DRIVE
ROAD OR DRIVE TO BE REMOVED/ALTERED

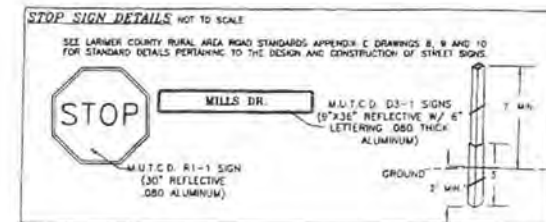


Figure 1: Typical cross-section of a road shoulder. The diagram shows a cross-section of a road shoulder with various layers and dimensions. The top layer is labeled "ASPHALT" and has a thickness of 1 1/2 inches. Below it is a layer labeled "SUBBASE (VON COMPACTION)". The shoulder width is indicated as 7 feet. The total width of the road surface is 12 feet. The shoulder height is 6 inches. The bottom layer is labeled "SUBGRADE". The diagram also shows a cross-section of a road surface with a width of 12 feet and a shoulder width of 7 feet. The shoulder height is 6 inches. The bottom layer is labeled "SUBGRADE".

RADII	
A =	$\frac{7}{8}$ to $1 \frac{1}{4}$
B =	1"
C =	$1 \frac{1}{2}$ "
D =	$1 \frac{1}{2}$ " to 2"

The diagram shows a cross-section of a concrete curb. The top width is 4 feet. The curb height is 2 feet. The base width is 2 feet. The curb is 1/2 inch thick. The curb is 3 feet clear on both sides. The curb is reinforced with #4 bars at 18 inches on center (O.C.) in the transverse direction. The reinforcement is bent up 90 degrees (BENT UP 90°) and extends 3 feet clear on both sides. The reinforcement is bent up 90 degrees (BENT UP 90°) and extends 3 feet clear on both sides. The reinforcement is bent up 90 degrees (BENT UP 90°) and extends 3 feet clear on both sides.

ALL ROAD SHOULDERS SHOULD BE
DRILL SEED OR HYDROMIXED W/
EROSION CONTROL FABRIC ON 2:1
SLOPES OR GREATER WITH ENGINEER
APPROVED SEED MIX.
BACKFILL MUST BE COMPACTED TO 90%

ROAD SLOPE	CROWN SLOPE
<5%	2%
5%-8%	3%
>8%	4%

2-4% 2-4% 2-4% 2-4%

3" COMPACTED TYPE SX HOT MIX ASPHALT IN PLACE FOR MILLS OR
6" COMPACTED TYPE SX HOT MIX ASPHALT IN PLACE FOR SPUR EG
4" COMPACTED AGGREGATE ROAD BASE WITH FINES.
COMPACTION WILL BE TO 90% OR BETTER
OPTIMUM WATER CONTENT $\pm 2\%$

COMPACTED SUB-BASE MATERIAL TO 90%
OR BETTER OPTIMUM WATER CONTENT
 $\pm 2\%$, FREE OF ORGANIC MATERIAL

CONCRETE CURB AND GUTTER
(TYPE 2 - 18" PAN, 8" CURB)
OR
(TYPE 2 - 6" MOUNTABLE, 2" GUTTER)

NOTE: SUBGRADE AND ROAD BASE TO BE TESTED WITH
A PROOF ROLL TO BE WITNESSED BY THE PUBLIC
WORKS DEPARTMENT OR THE ENGINEER OF RECORD.

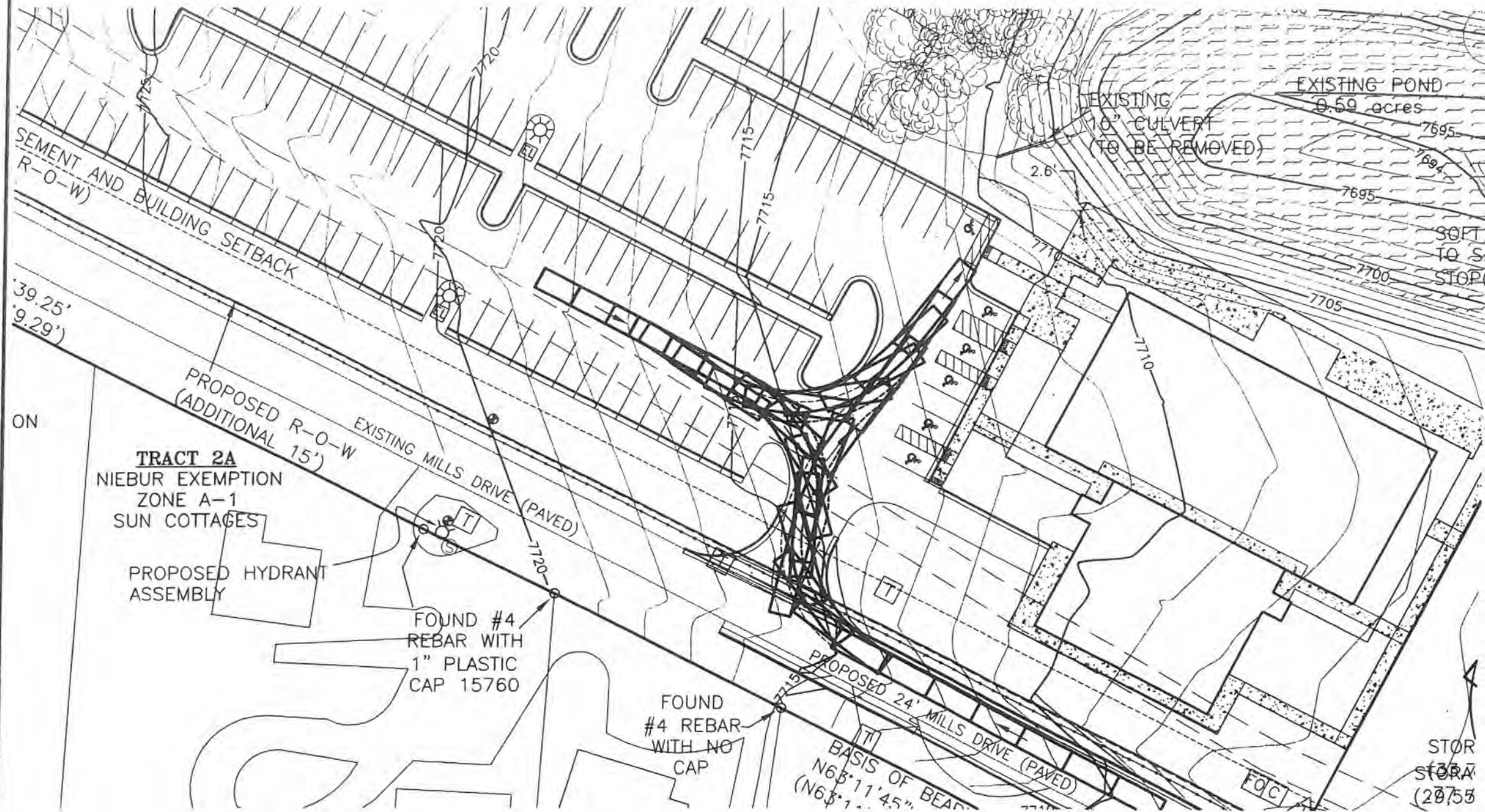
VAN HORN ENGINEERING
1013 FISH CREEK RD. ESTES PARK
COLORADO 80520

LANE AND MILLS DRIVE DESIGN
1665 HWY 66
ESTES PARK, COLORADO

SHEET	TU	PROJECT
DRAWN BY:		CUB
CHECKED BY:		LAS
SCALE		VARIES
DATE		01/19/16
SHEET <div style="text-align: center; font-size: 2em;">5</div> OF <div style="text-align: center; font-size: 2em;">10</div>		
PROJ. NO.		2007-05-23

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T5N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO



TURNING NOTES:

FIRE TRUCK DIMENSIONS:
WIDTH 8.17
TRACK 8.17
LENGTH 40
FRONT 7.50
HAUL-ANGLE 21.0

ALL TURNING RADIUS WERE DONE USING THE LEFT FRONT WHEEL PATH.
INSIDE LEFT WHEEL RADIUS MINIMUM WAS 42'.
OUTSIDE LEFT WHEEL RADIUS MINIMUM WAS 50'.



SCALE: 1" = 20'



- LEGEND**
- 100K TRANSFORMER
 - ELECTRIC PEDestal
 - NEW ELECTRIC SERVICE PANEL
 - LIGHT POLE
 - TELEPHONE PEDestal
 - WATER SHUT OFF VALVE
 - FIRE HYDRANT
 - SEWER CLEANOUT
 - SEWER MANHOLE
 - STORM SEWER MANHOLE
 - LIMIT OF DISTURBANCE
 - PROPERTY LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - EXISTING ROW OF TREES/SHRUBS
 - FENCE (AS NOTED)
 - SEWER LINE-EXISTING
 - SEWER LINE - NEW
 - WATER LINE-EXISTING
 - WATER LINE - NEW
 - EXISTING BURIED SECONDARY SERVICE
 - EXISTING OVERHEAD UTILITY LINE
 - NEW BURIED SECONDARY SERVICE
 - STORM SEWER LINE - NEW
 - UTILITY POLE
 - BUILDING SETBACK
 - BASEMENT (AS NOTED)
 - ROAD OR DRIVE TO BE REMOVED/ALTERED
 - ROAD CENTERLINE
 - EXISTING ROAD OR DRIVE
 - NEW ROAD OR DRIVE
 - PROPOSED CONCRETE
 - FOUND #4 REBAR WITH PLASTIC CAP PLUS 1400 (UNLESS OTHERWISE NOTED)
 - MEASURED OR CALCULATED DIMENSIONS
 - PLATTED OR DECEIVED DIMENSIONS

FIRE TRUCK ACCESS PLAN

1665 HWY 66
ESTES PARK, COLORADO

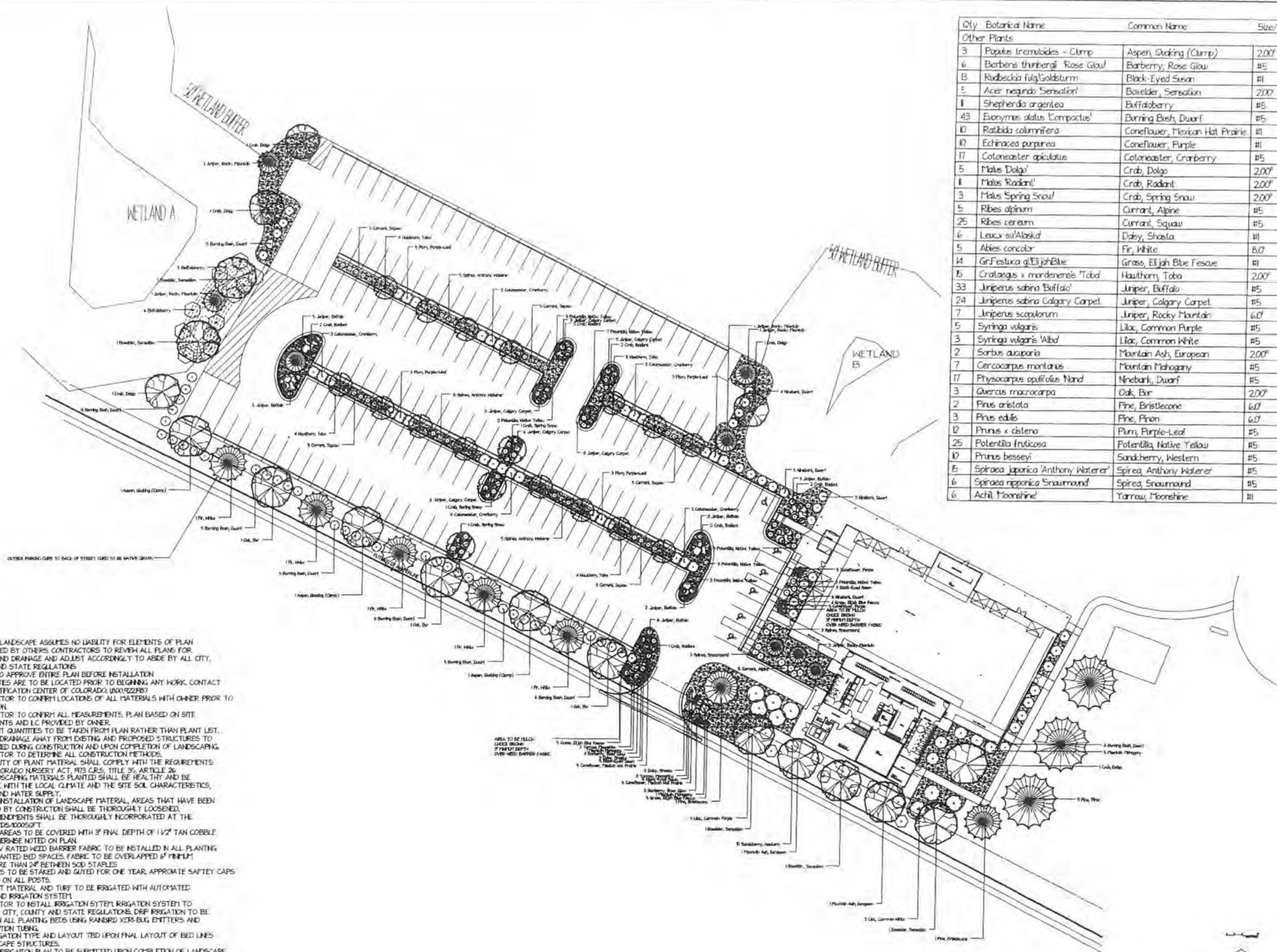
DRAWN BY: C.D.
CHECKED BY: J.A.S.
SCALE: 1"=20'
DATE: 01/20/16

SHEET
6
OF
10



VAN HORN ENGINEERING AND SURVEYING
1000 FISH CREEK RD. • ESTES PARK, COLORADO 80517
PHONE: (970) 586-3388 • FAX: (970) 586-8101

DATE	REVISION	BY



1. DETAILED LANDSCAPE ASSUMES NO LIABILITY FOR ELEMENTS OF PLAN IMPLEMENTED BY OTHERS CONTRACTORS TO REVEAL ALL PLANS FOR GRADING AND DRAINAGE AND ADJUST ACCORDINGLY TO ABIDE BY ALL CITY, COUNTY AND STATE REGULATIONS.
2. OWNER TO APPROVE ENTIRE PLAN BEFORE INSTALLATION.
3. ALL UTILITIES ARE TO BE LOCATED PRIOR TO BEGINNING ANY WORK. CONTACT UTILITY NOTIFICATION CENTER OF COLORADO (800) 922-2267.
4. CONTRACTOR TO CONFIRM LOCATIONS OF ALL MATERIALS WITH OWNER PRIOR TO INSTALLATION.
5. CONTRACTOR TO CONFIRM ALL MEASUREMENTS, PLAN BASED ON SITE MEASUREMENTS AND LC PROVIDED BY OWNER.
6. ALL PLANT QUANTITIES TO BE TAKEN FROM PLAN RATHER THAN PLANT LIST.
7. POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED STRUCTURES TO BE MAINTAINED DURING CONSTRUCTION AND UPON COMPLETION OF LANDSCAPING.
8. CONTRACTOR TO DETERMINE ALL CONSTRUCTION METHODS.
9. THE QUALITY OF PLANT MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE COLORADO NURSERY ACT, 1973 C.R.S. TITLE 35, ARTICLE 26.
10. ALL LANDSCAPING MATERIALS PLANTED SHALL BE HEALTHY AND BE COMPATIBLE WITH THE LOCAL CLIMATE AND THE SITE SOIL CHARACTERISTICS, DRAINAGE AND WATER SUPPLY.
11. PRIOR TO INSTALLATION OF LANDSCAPE MATERIAL, AREAS THAT HAVE BEEN COMPACTED BY CONSTRUCTION SHALL BE THOROUGHLY LOOSENED. ORGANIC AMENDMENTS SHALL BE THOROUGHLY INCORPORATED AT THE RATE OF 3000/1000/SQFT.
12. ALL BED AREAS TO BE COVERED WITH 3" FINAL DEPTH OF 1/2" TAN CORBELLE UNLESS OTHERWISE NOTED ON PLAN.
13. WOVEN UV RATED WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTING AND NON PLANTED BED SPACES. FABRIC TO BE OVERLAPPED 6" MINIMUM WITH NO MORE THAN 24" BETWEEN SOD STAPLES.
14. ALL TREES TO BE STAKED AND GUATED FOR ONE YEAR. APPROPRIATE SAFETY CAPS TO BE USED ON ALL POSTS.
15. ALL PLANT MATERIAL AND TURF TO BE IRRIGATED WITH AUTOMATED UNDERGROUND IRRIGATION SYSTEM.
16. CONTRACTOR TO INSTALL IRRIGATION SYSTEM. IRRIGATION SYSTEM TO FOLLOW ALL CITY, COUNTY AND STATE REGULATIONS. DRP IRRIGATION TO BE INSTALLED IN ALL PLANTING BEDS USING RANERD VERT-BUG ENTITERS AND 1/4" DISTRIBUTION TUBING.
17. TURF IRRIGATION TYPE AND LAYOUT TO BE DETERMINED UPON FINAL LAYOUT OF BED LINES AND HARDSCAPE STRUCTURES.
18. AS BUILT IRRIGATION PLAN TO BE SUBMITTED UPON COMPLETION OF LANDSCAPE.

Qty	Botanical Name	Common Name	Size/Condition
Other Plants			
3	Populus tremuloides - Clump	Aspen, Quaking (Clump)	2'00" G1
6	Berberis thunbergii Rose Glow	Barberry, Rose Glow	#5
8	Rudbeckia fulg. Goldsturm	Black-Eyed Susan	#1
5	Acer negundo 'Sensation'	Boxelder, Sensation	2'00"
1	Shepherdia argentea	Buffaloberry	#5
43	Euonymus alatus 'Compactus'	Burning Bush, Dwarf	#5
10	Ratibida columnifera	Coneflower, Mexican Hat Prairie	#1
10	Echinacea purpurea	Coneflower, Purple	#1
17	Cotoneaster apiculatus	Cotoneaster, Cranberry	#5
5	Malus 'Dolgo'	Crab, Dolgo	2'00"
1	Malus 'Radant'	Crab, Radant	2'00"
3	Malus 'Spring Snow'	Crab, Spring Snow	2'00"
5	Ribes alpinum	Current, Alpine	#5
25	Ribes cereum	Current, Squaw	#5
6	Leuc. su/Alaskd	Daisy, Shasta	#1
5	Abies concolor	Fir, White	8'0
14	Grifolusca g.EljphBlue	Grass, Eljph Blue Fescue	#1
15	Crataegus x mordenensis 'Tobd'	Hawthorn, Tobd	2'00"
33	Juniperus sabina 'Buffalo'	Juniper, Buffalo	#5
24	Juniperus sabina Calgary Carpet	Juniper, Calgary Carpet	#5
7	Juniperus scopulorum	Juniper, Rocky Mountain	6'0
5	Syringa vulgaris	Lilac, Common Purple	#5
3	Syringa vulgaris 'Alba'	Lilac, Common White	#5
2	Sorbus aucuparia	Mountain Ash, European	2'00"
7	Cercocarpus montanus	Mountain Mahogany	#5
17	Physocarpus opulifolius Nand	Ninebark, Dwarf	#5
3	Quercus macrocarpa	Oak, Bar	2'00"
2	Pinus aristata	Pine, Bristlecone	6'0
3	Pinus edulis	Pine, Pinon	6'0
12	Prunus x cistena	Plum, Purple-Leaf	#5
25	Potentilla fruticosa	Potentilla, Native Yellow	#5
10	Prunus besseyi	Sandcherry, Western	#5
5	Spiraea japonica 'Anthony Waterer'	Spiraea, Anthony Waterer	#5
6	Spiraea japonica 'Snoamound'	Spiraea, Snoamound	#5
6	Achil. Moonshine'	Tarrow, Moonshine	#1

NOTES

Detailed
LANDSCAPE

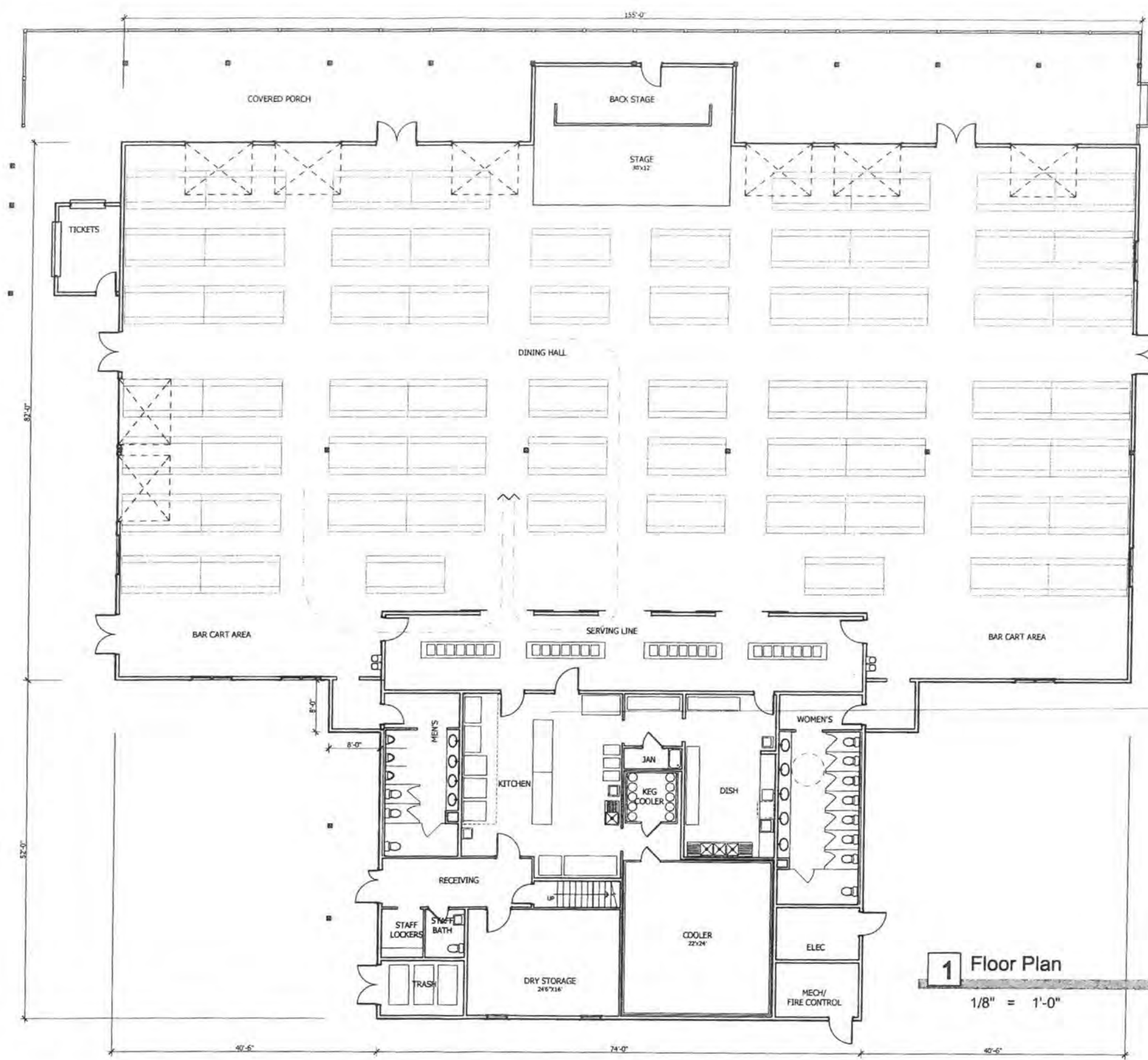
DETAILED LANDSCAPE
400 HEMLOCK STREET
FORT COLLINS, CO 80524
970.221.4038
www.detailedlandscape.com

LANDSCAPE PLAN
OVERALL PLAN

LAZY B RANCH
ELK MEADOW CAMPGROUND
ESTES PARK, COLORADO

SCALE
1"=20'-0"
DATE
1/5/22

PROJECT NO.
SHEET NO.
7

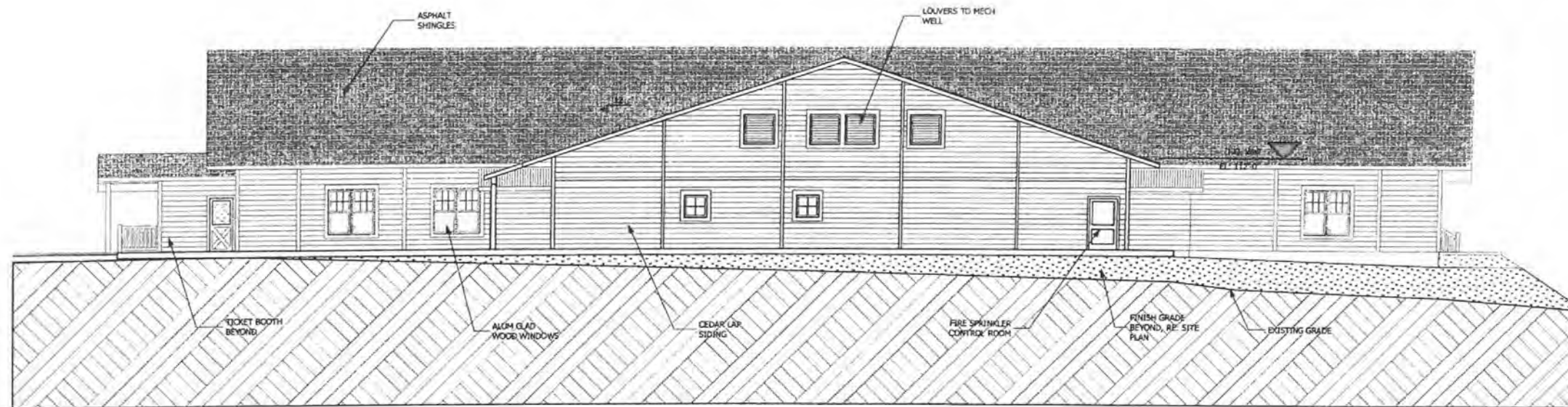


1 Floor Plan
1/8" = 1'-0"

64 TABLES - 750 SEATS
DINING: 12,500sf
KITCHEN, ETC.: 4,500sf

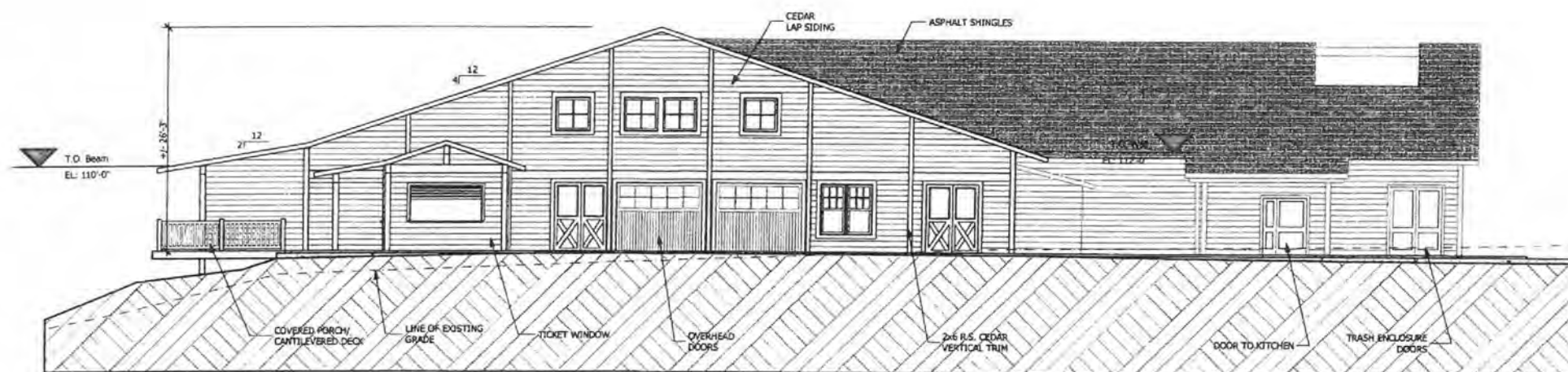


2 Office Mezzanine
1/8" = 1'-0"



2 South Elevation

1/8" = 1'-0"



1 West Elevation

1/8" = 1'-0"

BASIS
1692 Big Thompson Avenue, Suite 100
Estes Park, Colorado 80517

vox: 970.586.9140
BASIS.com
© BASIS
Architecture P.C.

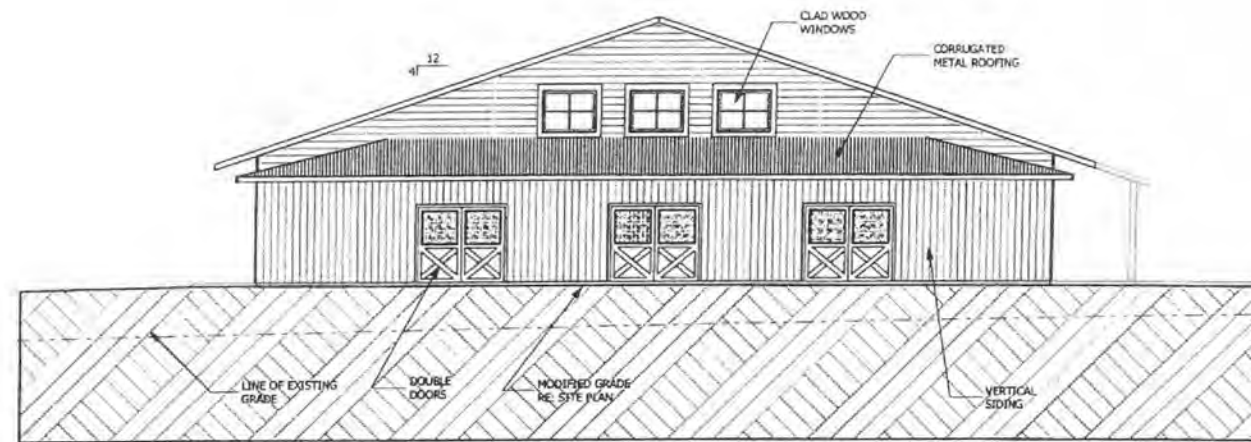
Issue:
Development
Plan
Date:
1/19/2016

Lazy B Ranch & Wranglers, LLC
Dinner + Western Show
Estes Park, Colorado 80517

Sheet Title:
ELEVATIONS

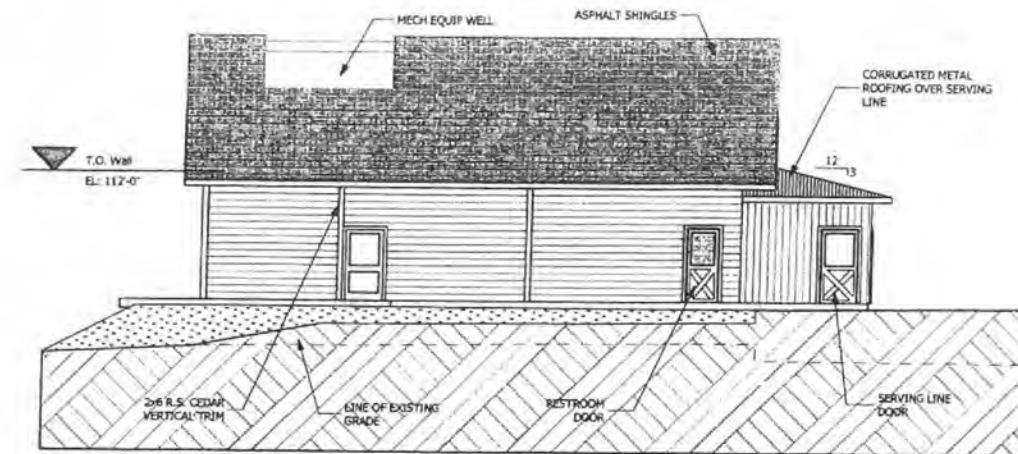
Sheet No:
A2

A R C H I T E C T U R E P. C.



4 North Elevation

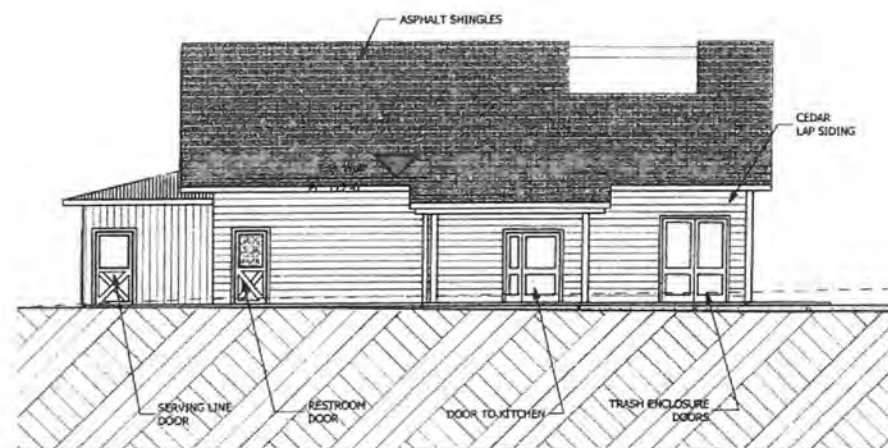
1/8" = 1'-0"



3 East Elevation

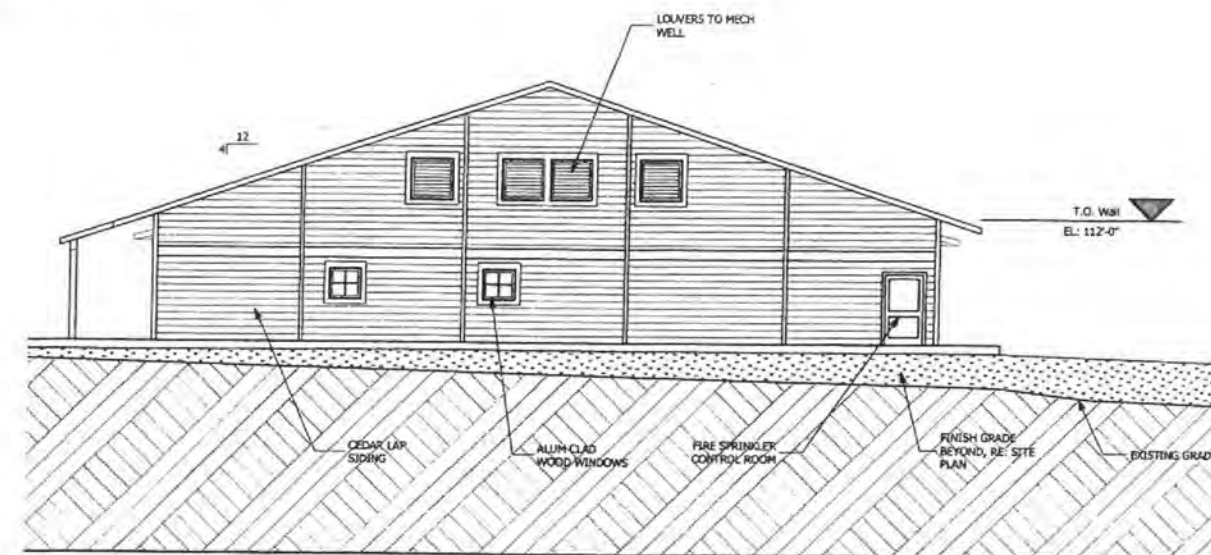
1/8" = 1'-0"

PHASE ONE ELEVATIONS



2 West Elevation

1/8" = 1'-0"



1 South Elevation

1/8" = 1'-0"

A R C H I T E C T U R E P. C.

BASIS

1692 Big Thompson Avenue, Suite 100
Estes Park, Colorado 80517

vox: 970.586.9140
BASIS.com
© BASIS
Architecture P.C.

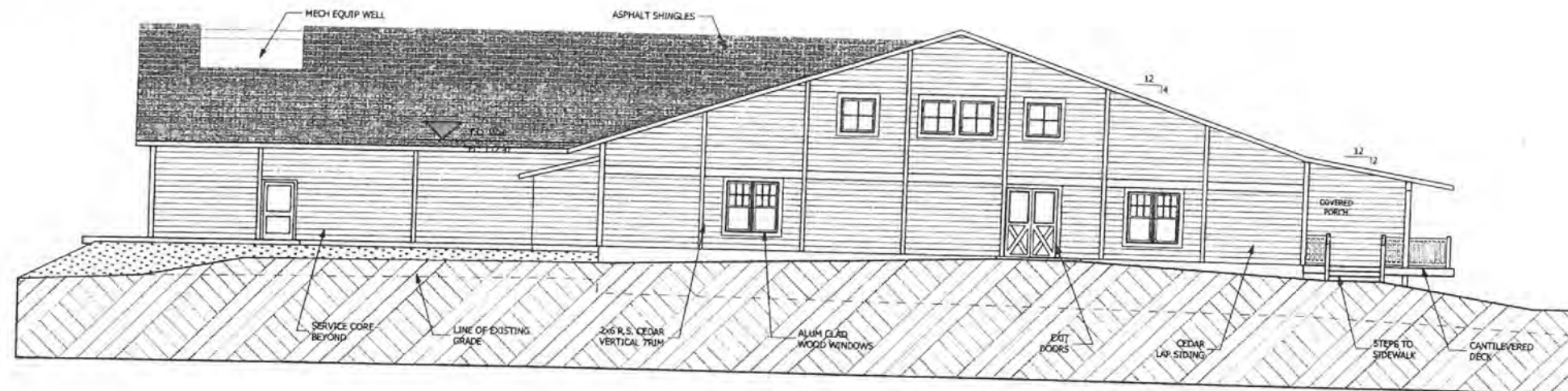
Issue:
Development
Plan

Date:
1/19/2016

Lazy B Ranch & Wranglers, LLC
Dinner + Western Show
Estes Park, Colorado 80517

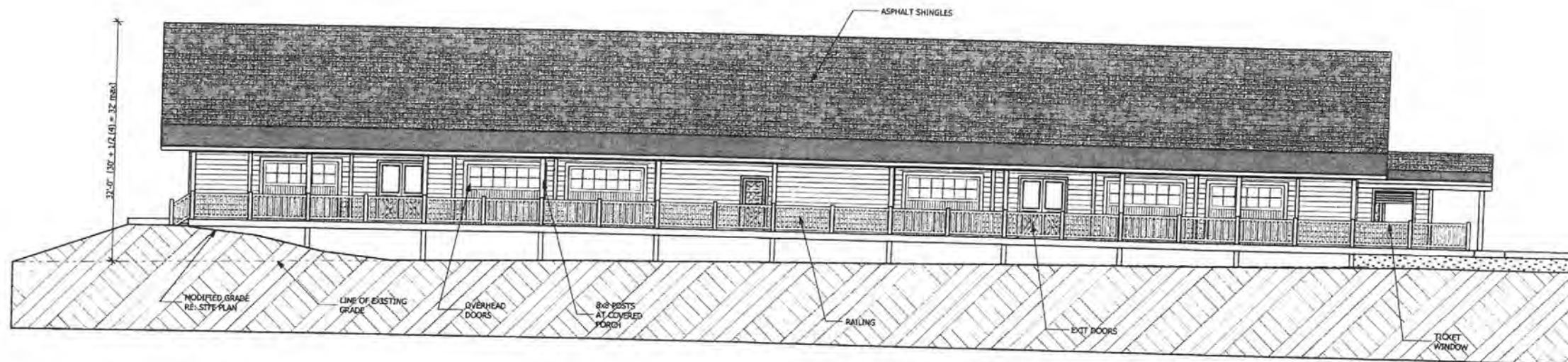
Sheet Title:
ELEVATIONS

Sheet No:
A2



2 East Elevation

1/8" = 1'-0"



1 North Elevation

1/8" = 1'-0"

A R C H I T E C T U R E P. C.

BASIS

1692 Big Thompson Avenue, Suite 100
Estes Park, Colorado 80517

vox: 970.586.9140

BASIS.com

© BASIS
Architecture, P.C.

Issue:

Development
Plan

Date:

1/19/2016

Lazy B Ranch & Wranglers, LLC

Dinner + Western Show

Estes Park, Colorado 80517

Sheet Title:
ELEVATIONS

Sheet No:

A3



Karen Thompson <kthompson@estes.org>



Fwd: Lazy R

1 message

Gail Ellis <gail@ellisblb.com>
To: kthompson@estes.org

Tue, May 17, 2016 at 7:34 AM

Additional comments on the Lazy R project.

----- Forwarded message -----

From: **Gail Ellis** <gail@ellisblb.com>
Date: Mon, May 16, 2016 at 7:14 AM
Subject: Lazy R
To: charley.dickey@outlook.com

I have a few more comments about the Lazy R other than those I addressed in the survey.

1. I find it difficult to fathom how we think we can add such a facility and employ the amount of people required to manage it when the the town has repeatedly stated the issues of affordable housing and other infrastructure needs necessary to accommodate our current work force and guests. I simply can not understand how we think we can add more to our workforce and not address this issue. We are already having to use several of our rent-able units to accommodate employee housing.
2. The traffic congestion at that intersection is a serious problem as it is now. I can't imagine adding any additional traffic to that area, even with a turn lane. The Rock Inn does not have adequate parking now, removing any parking spaces and making a turn lane will seriously impact them. This in turn will flow over to impacting us more than it currently does. This is to say nothing of pedestrians on the side of the road crossing the street. Currently leaving our property and making either a right or left turn when cars are parked along the road, makes it impossible to safely exit.
3. Although traffic will supposedly be directed by an officer, the problem of people leaving, having had sufficient alcohol, being loud and walking around the area would and has not been addressed. Exiting an establishment like this is not simply traffic control, but more importantly people control.
4. The music and noise coming from the Lazy R would directly impact our condos located on the front of the property. We already regularly receive complaints about the noise from The Rock from our guests. I can't imagine the noise factor by adding another band and dance facility in that area and it being managed so as not to effect The Rock Inn and Beaver Brook on the River.

I have read all the "true/false" statements however in reality the details of the results of the project are not being considered. It might be fine to quote various requirements and rules in place on the books but foolish to not consider the reality of such complaints. We are responding to "reality" rather than statutes.

Thanks for listening,

Gail Ellis

--
Gail Ellis

Little Current Consulting / Trout Haven Resorts
Asset Manager

Cell: 970-274-8844
Fax: 888-551-9232

--
Gail Ellis

Little Current Consulting / Trout Haven Resorts
Asset Manager

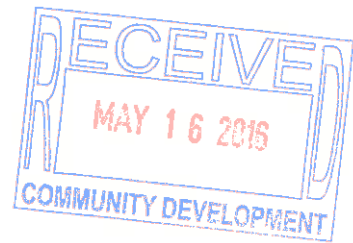
Cell: 970-274-8844
Fax: 888-551-9232

5/16/2016

2:30 PM

Good Afternoon Commissioners,

I am sending you the comments I have received from the non-scientific survey I did over the last 3 days. I did ask permission from the Lazy B Ranch owners to publish this survey. The survey was sent to 1787 email address and posted on Facebook with 1251 friends. It was then shared on others pages at least 13 times. To date I have 456 response and 192 comments both pro and con. I limited the responses to not allow multiple entries from the same computer. My intent is to not advocate for or against this project but to allow the public to weigh in with no fear of reprisal in a confidential environment. Below is a copy of the survey. Starting on Page 2 is the raw data from the comments received from the responders:



What do you think about the Lazy B Ranch and Wranglers project?

This Survey is intended to help understand how the community feels about the newest project in town, the Lazy B Ranch and Wranglers. The individual responses are confidential, only the total results will be public.

The DEADLINE for this survey is MAY 17, 2016 at 10:00 AM.

The links below include information to help understand and educate you on the facts of the Lazy B Ranch and Wrangler project.

[Lazy B Ranch and Wranglers - Web Page](#)

[Planning Department - Current Application](#)

[Planning Commission continues Special Review-Trail Gazette](#)

[April 19, 2016 Planning Commission](#)

[May 9, 2016 Rumors - Bad Information-Trail Gazette](#)

[May 9, 2016 Efforts being made to Resolve Issues-Trail Gazette](#)

[May 12, 2016 - Editorial from the Trail Gazette](#)

* 1. As a member of this community or a visitor with a love for our village, please let me know how you feel about the issue of the Lazy B Ranch and Wranglers.

☐ Yes - I support the Lazy B Ranch and Wranglers

☐ I do not care or have enough knowledge about the Lazy B Ranch and Wranglers

☐ No - I do not support the Lazy B Ranch and Wranglers

Comment:

I think I am up on the issue but with that being said there is so much mis information out there it is always hard to know what to believe. with that being said I think I know enough to say I am for the ideal but not all the issues, especially effecting neighbors, that I am against the plan as it is stated.

Food on the ground will attract Bears.

I have amazing memories of the Lazy B. I am excited that it will be coming back. The traffic issue should be addressed.

We are so excited to see this type of entertainment coming to the park

The location is a push on all in the area. I like the thought, but having a 750 person event center is to much. The idea is outside enjoying nature. This is being set up to be much more than just chuck wagon dinners during the summer.

interesting that the Rock which has the problem is trying to push in onto the lazy B
what a great event to be held all year on a daily basis
was great fun when it was on Dry Gulch

Why not. If they're talented entertainers and have line up a venue it adds value to our community.

In an area that continues to see the loss of commercial businesses, one would expect that an opportunity such as this would be embraced by the local community. I support the Lazy B Ranch and Wranglers.

I completely agree with the editorial from the Trail Gazette. The complaints against this project are unwarranted. We as a community have got to stop creating hurdles for new and valuable business owners that want to be here. They are making our community better! This whole situation makes me feel embarrassed for our town. Can someone PLEASE look at the big picture? Or are we going to continue to allow the narrow minded views of some dictate the growth potential of Estes Park?

We oppose the proposed facility due to the congestion and light, air and noise pollution purposes. We do not live in that neighborhood but am dismayed at the projections to ultimately have a 750-person venue. Estes Park already has a facility available next to the fairgrounds along 36 and the lake, with adequate parking. We would hope that something could work out in that regard so there could be a venue for this type of entertainment but with minimal additional impact.

I would feel like the owners were more committed if the permanent structures were considered from the get - go. Making the parking and road accessability for a bunch of tents gives the appearance that the owners just want to "try it out".

We are a perennial visitor to EP and RMNP. My family's primary residence is Melbourne Florida. During a recent April visit, I experienced first hand the threats and organized disinformation program fostered by the Rock Inn supporters. Estes needs more family oriented businesses like Lazy B. If the Town Trustees vote FOR those Rock Inn liars and thugs, we will remove Estes Park from our vacation schedule and encourage others to do the same. Family oriented businesses must take priority.

I like the concept, just not there. The Town's plans pegged this area for Accommodations, and possible housing. Like the damn Event Center, we are choking on 4 million tourists a year, why do we need more "events" to expand tourism?

Too big of a endeavor for the location & Estes Park

The Lazy B Ranch and Wranglers will provide another family friendly activity that will boost tourism and bring in new tax revenue. Most of the concerns that have been raised are without merit. This project will be an asset to Estes Park and should be approved.

i think what the lazy b is doing is fantastic!! I used to go the the chuckwagon in Az for the sons of the pioneers and it was a really nice evening in the spirit of the old west! Glad to see that they are bringing back some of the good old days!
Keep riding the Happy Trails!

I do not like the proposed entrance location off of Mills Drive. I think this put too much congestion on the residential neighborhood. Mills Drive is also the entrance for Emergency responders for the fire station. I think the entrance should be through the RV campground.

There are many accommodations nearby so folks can walk to the evening programs and won't cause a huge traffic problem or take parking places from the Rock Inn

I think the Lazy B wranglers bring a touch of the Old West that visitors to our community will enjoy. The location is easily accessible for many staying at the RV park or on / across Spur 66 in short term rentals.

I support any venture that is willing to invest in offering a new service to our community. I have heard from the Visitor's Center that there is a strong demand for this type of entertainment. I think Lazy B has done everything in their power to follow the limitations that have been presented to them and they surprisingly still want to continue with the project. It is a shame that our community members would be the biggest obstacle.

Worried about using Mills Drive and it effecting RMNP and the Estes Valley Fire fire station by the project.

This would be a wonderful addition to the Estes Park visitor "experience". I would love to attend an evening at the Lazy B while traveling in the area!

I've been going to the Lazy B every year they were open for 35 years. Tom Justin would always come around to the business and offer a free night for owners and staff. We always went and then also went on special occasions. Then of course we highly recommended it to our customers. I understand that times have changed and to give the night away totally free is probable not possible but I could not justify taking 5 people out there for over \$40.00 apiece, I passed.

If they could possibly find a better location I would support this.

It their money so I support them trying to run a business. I read that the land could be for residential. It would be nice if the town zoned some land only for an apartment. Even waived some of the requirements so a builder would have some incentive to build some long term rental units. smaller two bedroom work force housing units.

The owners of The Rock Inn are selfish. Shame on them for being obstructionists. I will boycott them and tell everyone I know not to go there.

Sounds like a wonderful venue.

I think all the controversy going around is just bored citizens who can't get by without causing drama.

Wrong type of business for area but individual rights will be trampled for more tourism.

I think the others are worried about parking and taking away some of their business, when actually when people are spending 2 or more nights in Estes, they will find it makes their business more noticable and their businesses will grow too.

I do not see the Lazy B Ranch and Wranglers as something that appeals to the demographic of the community and tourists.

if the town wants to be involved in something, why not clean up all that junk along the roadway where good tourists will be entering this venue.

My concerns are similar to RMNP with the addition of information I have regarding planned staffing for events like this. Barleens Opry is a good model for staffing and food service requirements for an operation like Lazy B is proposing.

My objection is for the project as planned. The proposed assess from an un-platted road puts most of the project traffic and traffic impacts on the neighboring properties. The Lazy-B property fronts on a State Highway and the access should be on that highway. The developers don't want the access on the highway, because it will then impact their other property uses. Dah! They want to push their development impacts on to the neighbors rather than be responsible for it themselves.

1. Parking for The Rock Inn is already very limited with people parking along Hwy 66 creating a dangerous area for people and traffic entering and exiting the Beaver Brook Condos. The entrance to Lazy R would further congest.
2. The noise factor of guests leaving, and getting drunk creating an "outside party" is very probable.
3. Noise factor of music and loud guests, although said to be mitigated, will not be.
4. The lighting will certainly negatively impact the area for our guests.

Though I am not a resident of Estes Park it is my second home. I have been going there since I was seven years old that was a long time ago. I am saddened to learn of this proposed business. I don't feel it has any place in the location that has been chosen for it. I will make sure to spread the word to my friends and family who have all started to visit there over the last 20 years as a result of me asking them to check it out I am sure they will all agree with me that location SUCKs. Duh!!

Estes Park needs this kind of wholesome entertainment! My family and I are excited to participate. The bar scene isn't for everyone. Thank you.

I'd love to experience this concept!

Seems likely to fail within 3-5 seasons, and then we are left with a big empty development and the whole reason we now have an RV park at that particular site, because someone came in with a great idea that the community didn't rally behind and the tourists couldn't support financially.

Great activity for a western mountain community to offer.

Adds a good dimension to the community and will be well received by our visitors

In think it is a great idea. My children grew up with the Lazy B and I would be thrilled to see it back again.

Personally I'm all about keeping the quaintness of our community and when I read the owners statement on FB, she talked about bringing in more residents to Estes. We are already having a housing crisis and do not need to encourage more lower income families to live in Estes, or live in hotels or vehicles until they find a home. Also I don't see Estes as getting back to our cowboy roots, we are known for our great outdoors. Estes needs to support and improve what we already have existing.

I do NOT support the LOCATION of this project. I don't care how you slice it or explain it. There will be bad traffic congestion at the intersection of 36 and 66. At dinner time there are thousands of cars leaving the park and there are going to be hundreds of vehicles trying to get to Mills drive to access the venue. A stop sign on 36 is going to be a disaster. There is going to be traffic backed up way east of Mary's lake road. It's time for town planners to stand up to developers.

This is a venue that has been much needed in this community. A family friendly and fun time for families to be together.

This is a great family entertainment for the area and is a good brand. My family will be customers. Most of the concerns aren't concerning in the big picture

Just the wrong place for it

We believe in the owners and management for this new and exciting project.

Love what this will bring to Estes Park!

Do not overrun the Spur!

It will be fantastic to bring this opportunity back to the community and I look forward to taking my children to this was my father took me. What could be bad about this.

Will fill a huge void in Estes Park

What the...What? Well first off this isn't the Lazy B that I remember.....and it pretty much isn't the cowboy way to ride in Transit busses... Sure it won't last but probably will just because this valley is full of money hungry city people that grew up on one coast or another... Many blessings messing up the beauty of our surroundings... Peace love and light

If a solution could be found where the existing entrance to Elk Meadow could be used for access to the Lazy B instead of Mills Drive, I would be supportive of this project. I do not agree with the current plan as it stands.

In general, I support the project. However, I live on Highway 66, and am concerned about the traffic, both at the "intersection" of the spur and further down Highway 66. Until I have a better understanding of how traffic issues will be mitigated, I cannot support the project.

I do have concerns of the likely traffic jams during the summer months when high volume of traffic is exiting the South Park entrance - and guests are arriving to the Lazy B event location. It seems the Park traffic can almost be backed up to the Park gate at times heading back into Estes at the end of the day. I think this event location for Lazy B will likely make traffic matters worse. But I do think the attraction would be a nice addition for Visitors to Estes Park.

Their plan runs roughshod over a thriving business and will disturb the peace of long time residents in a quiet neighborhood. They need to think through the logistics. Get the guests onto the property another way, and I think they'd get a lot more support.

Will not have a positive impact on the community.

People have a right to start a business anywhere they like. The way they are going about it is a huge problem for this community. They should have started small and built the business instead of this nonsense of huge buildings, right of ways, major construction, etc. I don't object to the theory of the business and I do think a different format (like the orig Lazy B) would work great. Have some common sense people!

This is not Branson or Pigeon Forge. The mountains are our amusement and the community our identity. If you can't see that you don't deserve to be here. This project as proposed does not support this community.

Why does the town need additional attractions and another restaurant? The place is already packed. Chuckwagon dinner, really? No, thanks. I'll be eating, staying and spending my money elsewhere. Our young family moved years ago because of the lack of options and opportunities for our children. Maybe the ancient council, planning commission and mayor should be talking about ways to improve the infrastructure for the full-time residents. Chuckwagon dinners, really?!

Would love to have this historical part of Estes back. Our kids grew up loving this place.

We need evening venues for our visitors. This will be a great experience for residents and visitors alike.

No Way, terrible idea. So sorry it's even a notion we have to combat. Who thought this was a good idea? Do these people live here, and I don't mean for the last 12 months or for 3 months a year. Absolutely horrible concept!

It's the projected size I find most worrisome. It seems HUGE and very intrusive on many levels, traffic and parking being foremost, followed by noise and dust (yes, I've read the articles, but you can only minimize the outcomes so much) and the disruption of wildlife so close to RMNP, too. Thanks for asking.

Please don't allow this to effect so many people.

Lazy B and the circumstances around it are shady. Shame.

It was a tradition for many years(43) prior to closing. Many generations attended the original Lazy B. As a member of the Lazy B wranglers of old I heard dozens of stories telling how entire families looked forward to attending the shows every year. As a member of the new Lazy B Wranglers I know how hard we are working to keep many of the traditions of the original chuck wagon dinners while building new traditions. It can only help Estes Park's reputation as a place for family vacations

Lazy B Ranch is precisely the kind of family oriented dining and entertainment establishment that the Estes Valley and Estes Park needs.

Taking away from one, established business to speculate on another is never the right thing to do.

I'm not against the concept of it but I will never be for something at the detriment of an established business namely The Rock Inn.

I would have no problem with the ranch, except I feel the location is a nuisance to the National Park, local homeowners, businesses in the area and will significantly impact wildlife in the area. There is already a bear problem in the area and adding a 750 person event center will only worsen that problem. This type of center should be located at the fairgrounds or an area away from homes and also an area that will not take away from existing business.

Many of the issues brought to light have not been adequately addressed. I support what the park stars regarding this issue.

I am tired of the people trying to block legal attempts to make a living or improve quality of in Estes Park. Wellness Center, Lazy B, Loop, Event Center, Performing Arts, Marijuana, Fairgrounds improvement ect.

It is a gross self-serving venture with no regard given to neighboring residents and businesses, traffic congestion or impact on local wildlife.

Think it's a very, very bad idea with our traffic congestion problem.

I do not support this project. The impact on the businesses and residences near by is too negative. I don't believe this has been thoroughly planned out and thought through.

This is exactly the kind of family oriented entertainment we need in Estes Park and will contribute in a very positive way to the unique character of our community.

I was thrilled to hear that the Lazy B was being revived after all of these years. I have read the comments against the project and understand the concerns. However, both the Rock Inn and Elk Meadow have headlights, noise and the possibility of attracting bears. The Spur 66 corridor includes both lodging and commercial use.

We will have bears roaming our neighborhoods with the meals to be served in a tent like they are intending. It is a serious problem we've had the last year or two. The amount of elk and deer that gather in the proposed site will guarantee a loss of what many people come to our side of town for. Wrong place to have this unless they just do it at Elk Meadow in their lodge. Big is not always better!

This development project brings much needed year-round revenue to the town. It benefits other businesses by driving additional business to them. It draws on the heritage of what Estes is built on and meets the needs of tourists for something intergenerational and fun to do. It creates jobs. It has a proven track record. It is improving the proposed neighborhood's infrastructure and appearance. It is in alignment with the criteria of Avalanche consulting which was designed to assist EP to grow.

That side of town is already over-traveled and constricted at many certain times due to access to the RMNP and YMCA. An addition of this magnitude would ravage the gentle lands on this side of Estes. Unsustainable traffic would require a massive overhaul of infrastructure that is, frankly, not needed! Nothing wrong with a person from out of town trying to change it but not at this magnitude. It needs another area or no project at all.

i do not support that kind of traffic on spur 66 and taking way from access for already existing businesses

I am definitely in support of the Lazy B. I realize the important need to discuss the effects and impact on the area, but it seems like some of the facts are being ignored or magnified with a negative spin. I look forward to visiting the Lazy B and wish them much success!

I can't even believe this is a debate. Absolutely ridiculous to even be considered. I'm vehemently opposed mainly due to what it will do to a beautiful historical landmark, the Rock Inn. It's insane to put a bus turn around now in front of it. She can have her business as long as it doesn't affect other businesses. How can we even be considering this when she has no history of doing this before? Mind blowing that our Town is even considering it.

Since I live on the other side of town, and since I also walk everywhere, except when I use the shuttle-bus service, that's why I answered the way I did.

This isn't the kind of development we need, or the right place for it.

I might support the Lazy B, but not the current plan.

no parking and danger to pedestrians

I urge everyone who enjoys Estes Park and The Rock Inn to do whatever it takes to prevent this. It would be a travesty for the community and all visitors!

Might be okay in a proper location, but NOT where it is now planned!

I think it is a ridiculous business plan that will destroy a beautiful piece of land and ruin the neighborhood.

Why Not?

- Ruining a neighborhood and an existing business for tour buses instead of using original entrance.

- This is a business or fad that has been declining for years and the market or need for this is obsolete as Estes Park is trying to gear towards a younger generation and this would be taken a step backwards.

- I believe it's not right to bring bad business into this town as investors have a history of foreclosures. Estes does not need that reputation.

The success of this proposed enterprise is nothing more than conjecture. Why is all this change being made before that is even ascertained? What if the first season is a total flop??? Plus, since this potentially causes such disruption of a neighborhood, the National Park and a respected longtime business, I do not support this.

I think this would create a traffic mess and is not consistent with and would not be a positive or good thing for that neighborhood. The people who live and work in the neighborhood are not in favor of the Lazy B. The town should strongly consider and favor the opinions of the locals, in particular those living and working in that neighborhood.

This community does not need a large influx of more tourists. Also the location of the proposed venue is not appropriate- proximity to park, homes. Traffic will be a major issue. Parking and its affect on other businesses/homes is a major concern. Bigger is not better and at some point the town needs to realize this.

I understand that there used to be a Lazy B out off Dry Gulch. I don't think poorly of the activity itself, but I question the whole relocation, rebuild...etc etc Elk Meadows itself IS historic, and many, many come to set up a sort of temporary " residency" via RV and campers. Many of these same folks live, sometimes work and shop Estes. Without one of the largest RV parks these folks WILL NOT find other places and simply will not return. Traffic, noise and pollution will also be issues.

I am against because: The traffic, noise/light pollution, detrimental effects on the environment/animals in the area, detrimental effects to the neighborhood on Mills, the size and scale of the project, the detriment to other businesses by taking 750 people each night from other restaurants, additional tour buses on the spur and Mills, number of concessions be asked for (sidewalks, etc), appears to be an unauthentic "western experience" and more of a hokey gimmick, I could go on...

The Lazy B ranch would be fine in a different location. First they will take away parking from The Rock Inn, which they already overflow their parking each evening. I also don't like the idea of it being right next to the Park. One more thing, how about the neighbors on Mills Drive. Just doesn't seem very neighborly. FIND A DIFFERENT LOCATION!!!!

This project does not have the community in mind. It is only to make money for a few.

The business plan is flawed and the Town is allowing an operation with a temporary permit without making any of the necessary improvements to mitigate negative impact on the neighborhood and other local businesses.

Leave businesses out of neighborhoods, we have enough to contend with short-term rentals. Please move to the Fairgrounds.

There's a good reason why the first Lazy B close see its doors... Times have changed and I believe our present day visitors are not interested in country western music. It's completely irresponsible to serve food in a temporary tent. It will attract bears and they will be destroyed all for someone's personal profit. Unacceptable!

I fully support this project. The Lazy B successfully operated here for 40 years previously. It's not another t-shirt shop. I think it will be a great family venue for the Estes Valley.

First of all, we live in the TOWN of Estes Park. It is not a village. If the town wants to grow and attract millennials, then going 'retro' with Wranglers at a Ranch doesn't fit with the town trying to move forward. I wish the town would focus on projects that would fix the issues we currently have, such as shoddy roads, uneven/non-existent sidewalks, peeling paint, poor signage, etc before launching on projects that will not have an overall impact for ALL in the town.

There are better locations for this in Estes Park.

I would support a smaller venue in this space. I love western music and dearly miss Chuck Pyle, for example. But it is too large and invasive for this space. And despite what the newspaper would have us believe, there are just too many problems with this plan. Neighbors, local business, and our beloved wildlife have been ignored and thrown under the bus in the name of profit for a few and at the expense of many.

Estes needs to think about the community and the local businesses that have been there. It is not just about the money but the people.

-Housing for local residents is already such a scarcity. Choosing to use this property for another tourist attraction, rather than for local housing, seems like a bad choice for our community.

-Additionally, I am concerned that emergency response from the fire station will be hindered by the heavy traffic each night at show's end.

-Light and noise pollution are also concerns.

I have been visiting Estes Park for 10 years and have come to love the neighborhood of this area for its quiet character and historical significance. I believe the Lazy B would have a negative impact on the residents and long-established businesses that already serve the community in this area. My grandparents visited the Rock Inn on their honeymoon in the 1940s, and it is so special that my husband and I can continue to connect to Estes Park's history through this mainstay of the community.!

A smaller more appropriate use of the space would be OK. These new entrepreneurs need to learn how to fit into the community without causing more problems: noise, parking and traffic difficulties light pollution, buses etc.. I have friends who live in the area and are very concerned about the issues. We love to spend a evening at the Rock Inn and use the handicapped space out in front. Do not ruin a good business by letting the new entrepreneurs to take over!!

I believe a much better venue could be found - possibly the under utilized Event Center

No. I am offended by the prospect of the Lazy B. personally and professionally, as a resident of Estes Park. I feel it down levels our community and is against the integrity of the people who live and work in that area. It lacks consciousness and does not contribute anything of meaning to our town.

I do not feel the business model is an appropriate use of that location. It will be very detrimental to adjacent businesses, traffic, and the nearby residential neighborhood.

This is a viable entertainment option for visitors and locals alike. The more there is for guests to do in the evenings in Estes Park, the better. Right now the options are limited and render the Town "dead" after a day of hiking. We need good family entertainment at night! Be "Yes!" sayers, not nay-sayers!

We visit Estes every summer for 2 weeks and have been coming to Estes for over 30years. We love the Rock Inn and would not want to see this type of venue to ruin the peace and atmosphere of The Rick Inn and surrounding area!

I do support this type of venue because I think that it will be a fun family activity; and in fact have been recommending it to our guests. However, I am very conflicted about it because of the effect that it will have on the Rock Inn Mountain Tavern by taking most of their front parking lot. In that regard I am very much against it.

I don't support the huge number they're proposing. If they want to run it out of the Lodge at Elk Meadows, that's great. 750 a night and to build them some kind of mega building is just too much. Knock it off with trying to turn our beautiful town into Gatlinburg, TN, Branson, Mo, or Myrtle Beach.

Would be welcomed if it did not steal parking from The Rock Inn! That's "criminal" and certainly not indicative of Western Hospitality!!

Perhaps the size of the venue could be made a little smaller.

Traffic will be unreal after the event. Terrible for residents and guests, not the right place for this.

Yes there are rental sites but it IS more of a residential area than commercial. Too big too much traffic

This project is tourism at all costs. It will have a negative impact on the surrounding community and result in severe traffic problems.

I live in the area and I drive through the intersection of 36/66 a few times a day. I'm not satisfied a proper solution will be found to help with traffic. I will have to plan my commute around the Lazy B events. Secondly, whether or not the Rock Inn parking spaces is a legal issue or not, I think it is very poor for one business to adversely effect another. Especially when it is new out-of-town business owners effecting an established successful local business.

The owner/developer of this project is working in accordance with their property rights.

This is another wast of money and time. According to all the reports it will pack people in. That is what the event center ,fairgrounds was suppose to do . Now it can't get events to pay for the millions spent . Once again the cart is in front of the horse. Just what this town needs on more debacle for the tourists to pass by and wonder why. It is from most descriptions similar to the flying W ranch in Colorado Springs. Why not ask that organization how business is .

Hell NO

if the facts are looked at, the emotional disinformation analyzed, a rational individual would come to the conclusion that Ms. Oliver should be given the opportunity to bring back a piece of heritage that was so important to the community in the late 1960's and 70's.

My parents live in Estes. My family has come here for the past 30 years prior to my parents moving here. We love this small MOUNTAIN town. We love the pride they take in supporting the local businesses. The owners and patrons of The Rock Inn have become family. What is being proposed is unimaginable. Estes doesn't need a cowboy themed waste of space. I live in Oklahoma. I live in a cowboy themed state. I come to Estes Park to get away from that. Keep Estes a MOUNTAIN town!!

The amount of traffic it will cause will be intolerable and for this reason alone this business should not be allowed to operate in that area. It's unfair to residents nearby due to traffic and noise. It is not bear friendly. It is unfair to take away 25% of the Rocks parking. Locals need to be heard. The land is not zoned for this type of business since they have no accomdation and paying employees \$10/hr is not sufficient. This business has too many negative impacts to be considered.

Congestion at 66/36 is already huge in the tourist season. This will make it worse. The Rock Inn has been there for a long time and is a beloved landmark restaurant. Don't mess with it. And finally, this whole thing is cheesy. Bad food and glorification of a time in history when Tribal Americans were being slaughtered by "Cowboys." We have a National Park. That is entertainment enough. We don't need to be known for a two-bit tourist trap.

This question itself is so misleading. The wranglers are gone. This is a different bossiness in a pot location. I'd be more apt to support in another location. Traffic.

This survey is flawed. What purpose does it really serve?There is no disclosure on who is conducting it,who will tally the result, who received it..... certainly not just those on facebook. This is not an authentic way to obtain input.

Not in a residential neighborhood bordering RMNP!

Tents, steel buildings, tour buses, traffic beyond infrastructure, noise, light, air pollution, multiple variances and not following current codes and plans. NO!!!

Town of EP, please investigate what's wrong with policy and procedures on how this project was steamrolled along.

The 12-24 buses that will be used to transport people from who knows where will cause a huge traffic nightmare for anyone trying to enter or exit RMNP and anyone trying to get to/from the YMCA and all the rental cabins along Spur 66. I cannot imagine anyone camping at the RV park will want to hear the same country music show every night. Sound really travels in the mountains. Move it back down by Sombrero stables.

Estes Park needs to improve year round. Where would this town be if everybody sucked the tourist money and left us high and dry the rest of the year? Wrong business for Estes, wrong location for the business. NO Lazy B

It will ruin this quiet part of town in a 100 ways. Please listen to the Park. They only have the best interest in mind for our area

This project should not diversely affect traffic, parking or neighbors in the projected plan. If Elk Meadows wants this project they need to provide parking and area for the building.

Why not ,the Lazy B did well for years on Dry Gulch Rd. Could it be the restaurent in the city think it's a bad thing ??? They don't want the comprtition ???

I definitely DO NOT support this kind of development . It is an inappropriate location for such a large venue of people, effecting a residential area, creating an excessive use of the property and then in encroaching the adjacent neighborhood!

No need for a seasonal chuck wagon supper place in E.P.. of this size and one that is impacting the yearround neighbors and businesses as much as this one will. I can't see forcing as many people as they want to serve and entertain into that neighborhood. The noise from all those voices and music will drive residents and year round business's out. Not to mention its on the edge of the park and sound is magnified in the hills. Try renting out Events Center first to see if there is desire for one.

Bad location. Traffic on this side of town is horrible during the summer. Why not locate in the Events Center? That's what is what is built for.

. . . At the elk meadows location

I am adamantly opposed. I object to this business in the proposed location. The deception by the developers has been appalling. I don't believe for one minute they care about the Estes community. Out-of-towners and late comers cannot define the character of Ester Park for profit. ♦♦♦♦~♦

It seems like the wrong location for this venue. It seems to be too large anywhere. This is a small town. The town gains nothing. The promoters are the real winners. This venue isn't something for the town to be proud of: it's slop food, a few laughs, and loud music. Move everyone rapidly into the meal then into the musical. Not classy or even western. Just an attempt to seem a western version of fast food entertainment. It moves the quality of what we offer in a small western, mountain town.

I think this is a plan that has not been properly vetted and I also am not convinced the developer is paying enough to support the infrastructure need to support this scale project. And this will further complicate downtown traffic and does not seem week conceived with regards best setting up estes park the town for success. This is short sighted

Our greatest attraction, the national park, is opposed to the use of Miles Dr, the way they are doing the food and the idea of wildlife interference. These reasons are enough to find a new location.

I do not support with current planned entrance. Use the existing RV Park entrance.

Use the un-used new event center. Plenty of parking, use of buses, away from small neighborhood. Problem solved.

I don't mind the concept of the lazy b. What I do mind is how it affects the parking at the Rock Inn, the neighbors on Mill drive & the already heavily congested traffic in the area. Go ahead with the lazy b elsewhere where you aren't totally disrupting the neighborhood.

I like the idea of this. I just think the location is ridiculous! Also, this DOES NOT need to be a nightly event. This could be done on weekends only or during the rodeo or any other events when there are a bunch of Cowboys in town who actually might want to attend an event like this. This event should ONLY take place at the fairgrounds. There's NO reason to build a new 18,000 ft building just to host this dinner that might end up being a total bust anyways. Use the fairgrounds!!

This is an asset for Estes Park!

Would not be good karma ..on The Lazy B's behalf

I think this could be a great venue, but the location and number of people and vehicles are too much for this area. I also have concerns about an outside venue serving food with our wildlife. If the Lazy B would like to have a place in Estes, then a well thought out plan would need to be developed.

Lazy B Ranch is too large of a business endeavor for that area. It is a residential homeowners area. With quiet rental cabins and RV parking. We own a condo a few blocks from that area. I strongly oppose. Cindi Finnigan. Rambling River Condo Association.

I knew Tom Justin and the Lazy B Ranch. I don't know if the venue has the same appeal today as it once had for the visitor. Personally I have always like the western flavor, but somehow it no longer looks authentic with the craft beer and wine influence that seems to be heavily favored with a few people. I'd rather have the Lazy B Ranch than the wellness influence that cannot be accurately identified.

This project should be moved to a venue further away from town. For environmental, noise and traffic concerns I am voting no.

There are many non-residential areas this could go....how will the fire dept get to the houses if they clog up the roads. Go to Elkhorn lodge, Aspen lodge or Sombrero ranch....they are not residential areas!

I support the concept but not the venue chosen due to the issues it will cause. I think to make the proposed venue so large is an issue as well.

I support it. I am disheartened at Rock Inn's narrow mindedness. It is shameful.

BUT, I do not support it on such a busy road. There is abundant traffic on Spur 66 as it is in the summer and I fear that additional traffic will be a safety hazard and an annoyance to neighbors, businesses, and the YMCA who live, work, and visit beyond this event.

The Rock Inn is an historical entity that supports the community 12 months a year. I would like you to consider a plan for access to your project that allows the Rock Inn to continue to make use of the HWY 66 right of way.

This should not be a popularity contest between the Rock Inn and the developer's property rights. Public comment about this project has been hysteric and disrespectful. The right turn lane off Spur 66 seems to be the biggest bone of contention. How about seeking an exception and not building this "improvement." That would make Rock Inn happy (although they still and will always have a dangerous parking situation with 10-30 cars parked on both sides of Spur 66) and save the developer \$300,000

If the Rock inn does not own the land for the parking spaces I do not see the need for a special meeting. I can appreciate the affect it will have on there business but they dont own the land

We are opposed in all ways !

If you can't follow the zoning regulations, go somewhere else

This sort of venue and music has a long and successful history in the Estes Valley. Not entirely sure what valid argument can be made against such appealing entertainment with a strong history of success. Personally, we will be taking our visitors to the Lazy B all summer long. God bless them for bringing it back.

There are numerous reasons but the largest is the fact that our biggest tourism attraction, RMNP, will be effected negatively and is against the development project.

Is this location the best place? Limiting the plans could solve some problems. Good family entertainment is valuable. Insisting on shuttle transportation is a must.

It seems that to support the Lazy B Ranch and Wranglers one must have to choose between this and the well-being of The Rock Inn and the neighboring community. It is clearly going to cause a traffic problem, a parking/congestion problem, eliminate the peacefulness of the neighborhood and eliminate parking spaces for The Rock Inn. If Lazy B cannot resolve the issue with the Rock Inn and the residents of the area, then Lazy B should find another place.

As events have proceeded VERY quickly--this seems to be an "expedited" process. Entirely too rushed without detailed study and thorough communication to the public. Process is not trustworthy. Like too many other projects around EP.

We feel it will impact traffic flow near the park and in a residential zone and is not a venue that Estes Park can support.

As a native and third generation business owner in Estes Park, I find this project to be poorly aligned with the current physical and economic circumstances of the area. I find it offensive that a 17,000 square foot building would be erected for seasonal purposes only, meanwhile affecting year round businesses and residents. I am also

appalled at the above information from the Trail Gazette being posted as good information for learning about the project, as many things stated as fact are untrue.

It will be a good addition to entertainment in our community.

Too much damage to neighborhood.

We need to plan our community. Issues such as density, short term rentals, road access, nature of the neighborhood need to be determined and honored. The Lazy B Ranch and Wranglers has already been an Estes Park entity that folded. Why are we remaking and moving a failed venue to an already populous site? Silly.

The sheer size of the proposed facility is way to big. The location is terrible, right on the boarder of the national park. Also, the manner that these developers are conducting themselves is unprofessional, rude, unethical. There is no concern for any objections. Personally, I feel like it has been a slap in the face for the residents of Estes Park

We have a business just down the street from the Rock Inn and we already have traffic/parking issues. This is a totally inappropriate business to have in such a residential area. This belongs in the new center at the Fairgrounds or somewhere where it won't disrupt so many folks (including the Nation Park who is not for it either). I will be actively opposing.

This question is loaded. As a year round resident and property owner we do not need this project.

This endeavor will have a significant impact on our community in many ways and it has not been well-thought-out. I see no reason that Estes needs, at this time, a business that is poorly organized. What's the rush to open this now? The business can wait to open until such time as it proves it's positive impact on the community and it's organized plan for sustainable growth. In support of a more sustainable and resilient Estes Park, I cannot support this initiative at this time.

I went to the show some 40 years ago with my parents. Glad to see they are back. Hope to go this summer when in Estes.

I would love to see the Lazy B Wranglers back in business, but NOT at Elk Meadows! It is the wrong location for so many reasons which have been put forward by several, including RMNP, the Rock Inn and others. DO NOT APPROVE THE PROJECT!

Sounds good but would like to know the price. I loved the old Lazy B dinners and shows.

With enthusiasm. The Estes Park Trail-Gazette has done an outstanding job in laying out the facts, and cutting through the objections, many of which are clearly self-serving and without merit. Let us embrace the project.

There is a great need for summer time family entertainment for the community.

My biggest issue is the limited hiring policy that they expect to have with short shifts for temporary workers.

Terrible location and I have not seen much in the behavior of the owners that makes me feel confident in their ability to run a successful business. They should find a more appropriate location, or have solutions in place to mitigate traffic concerns. I feel they are playing on the nostalgia of some for their concept.

Your web page and article in the Estes Park news was great. We are happy to have the Lazy B Ranch programs return. We have a lot of wonderful memories of the Lazy B.

We have mixed feelings about this. Information has been mixed in reliability. We are taking a wait and see approach.

My husband and I do not live in the project neighborhood but after reading letters and comments from those who do regarding horrible parking issues and problems with disturbing elk, we cannot support this project.

I think lazy b will be a huge asset to estes park!

I'm one of the few, I think, who are completely over the cowboy traditions. I find them antiquated and believe that they cast our town in a backward light. Since we're trying to make this a more modern community with high tech and broadband to all entities, can't we leave the cowboys behind? It's an old and dusty "tradition" that has run it's course.

Am a local year-round resident. Sounds like just the kind of business we should want to have in Estes Park - western themed fun. Tired of hearing the Rock Inn complain about losing a few parking spaces they don't even own the land for.

To: Estes Valley Planning Commission

From: Jeremy Vetter, Tucson, AZ

Date: 15 May 2016

Re: Lazy B Chuckwagon Special Review



I write to you as a frequent visitor to my parents who live in Estes Park to express my strong opposition to the Lazy B Chuckwagon special review proposal. Interestingly, I also write as someone who is a professional historian of the American West—and indeed with a book about to be published, strangely enough, with a chuckwagon on the cover—so I am not at all opposed to the preservation of western heritage. However, this plan is so deeply flawed and inimical to the long-term interests of the town's responsible and sustainable development, that I feel my opposition must be expressed.

I am also a researcher by occupation, so I have conducted some research of my own on the previously existing, relatively similar Chuckwagon entertainment venues elsewhere in the interior American West, in order to determine if the plan being proposed is different in significant ways from existing operations elsewhere. I have found that it most emphatically is rather different from other such venues, and in ways that indicate an adverse situation for the Lazy B proposal. Yet as I have not seen these comparisons made by others, I wish to convey the results of my research to you, along with supporting evidence.

On the website of the Flying W, Colorado Springs, Colorado, it describes a "Chuckwagons Association" (<https://www.flyingw.com/ChuckwagonsAssociation.aspx>) with links to the following operations besides the Flying W: (1) Circle B Chuckwagon, Hill City, South Dakota; (2) Bar J Chuckwagon, Wilson, Wyoming; (3) Bar D Chuckwagon, Durango, Colorado; and (4) Flying J Ranch, Alto, New Mexico. I have reviewed aerial maps of each of these properties on Google Maps (links below), as well as obtaining whatever property information was easily obtainable. Overall, I found the following to be true:

1. These operations are located in buildings and with parking lots that are separated from surrounding homes and businesses by substantial open space buffers, rather than squeezed in immediately along the side of the road directly next to other homes and buildings.
2. Where there are houses in the vicinity, these operations invariably have their own special access roads off of the relevant local highway or main thoroughfare, rather than utilizing the same smaller residential streets that are for residential neighborhoods, with houses on them (the one apparent minor exception being the Bar J where, although the vast majority of the houses in the area are on separate streets, there is at least one house on the access road itself, which appears to have been built after the Bar J and its access road, or as part of the same development).
3. Most of these properties are located in more remote areas out of town, rather than in densely developed areas. Bar D has widespread forested area on basically all sides. Circle B has huge forested area to the north and east, a related guest ranch property nearby to the west (itself having a huge buffer on all sides), and a 200 foot buffer zone of the undeveloped Newton Fork

river to the south. Flying W is topographically separated at some distance and isolated from the nearest housing developments to the northeast, with considerable undeveloped, rugged land on all other sides. Flying J has substantial forested land to the south and north, and widely dispersed and separated housing on the west and east in a low density area out in the country. Bar J is perhaps the closest example, given that it is in the Jackson Hole area, although here again it surrounded by substantial buffer zones of grassland or forest on all sides. This is possible because, according to the Teton County website, it is on a sizeable 21.218 acre property (rather than merely 5 acres of dedicated property contemplated in the Lazy B proposal)—and, notably, zoned Commercial—in which the buildings and parking lots are in the middle of the property, surrounded by all this buffer grassland and forest which does not appear to be developed.

4. At all of these sites, the actual buildings being operated appear to be at considerable distance from nearby houses, since not only are these sites themselves set back from property edges, but so are the neighboring properties, which are not close to the road as are the ones on Mills Drive, which appear to be less than or only 100 feet away from the proposed Lazy B main building. The closest houses I could find to any other Chuckwagon sites are at the Bar J in Wyoming, where the nearest house is about 275 feet from front door to the back of the Bar J building, with large buffers on both properties and no shared access road. At other sites, the nearest identifiable private houses are even further away: around 350 feet at the Flying J, around 500 feet at the Flying W and at the Circle B, and still further away at the Bar D.
5. At no site are the buildings and parking lots of the operation wedged in a relatively tiny 5 acre parcel squeezed in between national park headquarters buildings, densely occupied RV park (in the summer), existing commercial building (Rock Inn), and a row of several houses.

The above observations lead me to conclude that this Lazy B proposal for a major entertainment venue involves an unprecedented sharing of common access roads with pre-existing properties, unusually close proximity to neighboring houses, and density of development, which is simply not suitable or responsible for siting a project of this nature (especially not as a “ranch” themed property) and size. Those proposing the Lazy B operation should seek out a parcel that has much more open space around it, whether in the Estes Valley or at some other location where there is more such land available, or seek to conduct their operations at a much smaller scale (and, at the very least, by using the access road through the commercial RV park which is providing the land for the project, rather than the residential neighborhood nearby), or seek to utilize existing entertainment venues such as the fairgrounds.

My comments above do not even touch on many other relevant issues of public concern, such as the traffic implications of a major entertainment venue being built in proximity to the most important and congested intersection between Rocky Mountain National Park and the Town of Estes Park. Having spent a lot of time in the area, it is hard for me to think of a worse location (traffic wise) to site a major new entertainment venue. RMNP can properly be seen as an enormous magnet attracting traffic through the Town via Hwy 36, and it seems counterproductive, given the intense congestion already existing, to site another large magnetic attractor between the Town and the Park, which will require all tour buses and private vehicles accessing the site to exacerbate the existing problems that have already risen to such a high level that they have been the subject of numerous debates about what to do. Why

make this problem even worse? There are plenty of much less densely developed areas scattered around north-central Colorado, including in the Estes Park area east of the Town and elsewhere, which would be much more suitable as locations for such a large, new entertainment venue of this nature.

Then there's the issue of housing. The problem for Estes Park, as many have pointed out, is not an absence of destination attractions to bring in people—RMNP assures a huge and apparently infinitely expanding pool of visitors—but to provide housing not only to accommodate visitors but also members of the local workforce. It is fair to say that this situation has been at crisis levels for some time now, with very little local housing available that is attainable for workers. The area proposed for this development would sacrifice an area that is currently serving as overflow accommodation area for out of town guests (where will they go? somewhere else to further increase pressure on vacation accommodations, I presume) and, through this development, foreclose it from evolving into housing, which is supposed to be the long-term goal in the Estes Valley planning documents.

Overall, this project is deeply at odds with all the Estes Valley long-term planning documents that I have seen: It is commercial in nature, in a place where commercial land use is not supposed to be expanded. It would be right alongside the road, whereas new buildings are supposed to be set back. The parking lot, though problematically undersized for the capacity of the major entertainment venue proposed, dominates the western half of the area proposed for development, rather than being tucked away and surrounded by wide open space for vegetation as stipulated in the development guidelines. If this project does not respect the development guidelines painstakingly worked out over many years, then it is the responsibility of the Planning Commission to deny it approval. To do otherwise is to make a mockery of the deliberative long-term development process, to say nothing of the unfair negative effects on the immediate neighbors both residential and existing commercial (and RMNP headquarters).

I fear that this project would set a dangerous precedent of throwing out responsible development goals in favor of developer schemes that are contrary to those goals. If this is approved for Mills Drive, then no residential neighborhood in Estes Valley is safe from the spread of densely built, large-capacity commercial venues, which will always be more profitable to developers, but antagonistic to the goals of retaining the natural character and beauty of the Valley, as well as sufficient housing for both residents and visitors.

APPENDIX: Links to Google Earth Maps Examined

These maps below are all at as close to the same scale as Google Maps would allow me to get, with 200 feet as the measuring scale:

Circle B:

<https://www.google.com/maps/place/Circle+B+Ranch+Chuckwagon/@43.9686121,-103.6321817,371m/data=!3m1!1e3!4m5!3m4!1s0x877d5345c37006e7:0x911aa4ce4f004adf!8m2!3d43.9686062!4d-103.6307288>

Flying W:

<https://www.google.com/maps/place/3330+Chuckwagon+Rd,+Colorado+Springs,+CO+80919/@38.9176019,-104.8855065,395m/data=!3m1!1e3!4m5!3m4!1s0x871351a2306a9491:0x707e64ab606c1171!8m2!3d38.917279!4d-104.8854999>

Bar J:

<https://www.google.com/maps/place/Bar+J+Chuckwagon+Suppers/@43.514987,-110.8470915,401m/data=!3m1!1e3!4m5!3m4!1s0x0:0x9b21da61d1587dc1!8m2!3d43.5153906!4d-110.8459052>

Bar D:

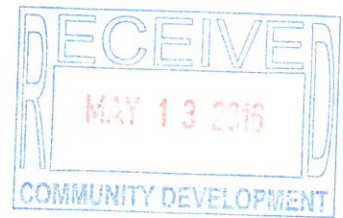
<https://www.google.com/maps/place/Bar+D+Chuckwagon/@37.3994467,-107.8171641,439m/data=!3m1!1e3!4m5!3m4!1s0x0:0xf9043407555874c2!8m2!3d37.3987335!4d-107.8145565?hl=en-US>

Flying J:

<https://www.google.com/maps/place/Flying+J+Ranch/@33.4142538,-105.6695937,390m/data=!3m1!1e3!4m13!1m7!3m6!1s0x86e1d14b3982c427:0x6c1a4abd71f78e4e!2sFlying+J+Ranch!3b1!8m2!3d33.4142097!4d-105.6679666!3m4!1s0x86e1d14b3982c427:0x6c1a4abd71f78e4e!8m2!3d33.4142097!4d-105.6679666>, as well as

For comparison, here is a map of the proposed Lazy B site in Estes Park at the same scale (proposed development area would fully occupy and be frankly overstuffed into the area between Mills Drive immediately on the south with several densely packed houses adjacent, the body of water and a crowded RV park in the summer to the north, RMNP headquarters buildings immediately on the west, and Rock Inn's building immediately on the east, with very little remaining open space around it):

<https://www.google.com/maps/place/1711+Mills+Dr,+Estes+Park,+CO+80517/@40.3623647,-105.5563833,398m/data=!3m1!1e3!4m5!3m4!1s0x8769650ce5d884c3:0x51f261786e881eb4!8m2!3d40.361646!4d-105.555621>



TO: Estes Park Planning Commission Members

The Trail Gazette has just run a series of articles and an “anonymous” editorial that pretended to be a fair evaluation of the controversial Lazy-B Project. This was directed at the Planning Commission in the hope that by further restating false information they could sway the board in making your decision. An obvious conflict of interest among the writing staff of the Gazette needs to be pointed out. I am sure that with your existing knowledge of the project you will be able to sort this out and make a fair decision.

As a supplement to the Gazette investigation which was limited to talking to inexperienced town planning staff there are a few questions that could have been asked but were not.

- (1) What is the real reason the Lazy-B cannot use their existing entrance on Spur 66? They say it will conflict with RV's coming in at the same entrance at about 5:00 pm. There is minimal activity at this entrance at that time. Could the real reason be that they intend to re-zone and subdivide the land in the area of this entrance?
- (2) Who are the real developers of this project and who is providing financing. Is it Michelle Oliver or is it the Elk Meadow Owners. There is conflicting information reported.
- (3) Why were the investigation questions limited to town staff and not one question directed toward anyone of the 1,300 people who are opposed? (See Petition)
- (4) Why are town planners so intent on pushing this project through with so many issues regarding zoning, waivers to street design standards, variances to set back requirements and impact on Mills Drive neighborhood? And why was a special temporary permit issued without notifying any of us neighbors? My understanding is that the Planner is supposed to be an honest broker in evaluating project impacts.
- (5) Why do the Planner, Developer, Engineer and now the Trail Gazette persist in claiming the Rock Inn patrons are parking on the Public Right of Way when it was established at last Planning Commission hearing that they are not?
- (6) And finally when is the Lazy-B going to sacrifice something to show their good faith in reducing the impact of their project?

Thank you for your patience and careful consideration of all the facts pertaining to this project. I guess some of these volunteer jobs just aren't any fun. Respectfully submitted.

Mike Egan – Estes Park



chuck wagon development

2 messages

Betty Hodges <drbettyb@gmail.com>

To: planning@estes.org

Thu, May 12, 2016 at 4:17 PM

This email is sent to add our voices to the chorus of those protesting the planning of the chuck wagon event center. Why object? Traffic! Traffic! Traffic!

Disruption to the enormous volume of traffic on Highway 36 at the time of day in summer when the congestion is already an annoying problem for visitors coming from the Rocky Mountain National Park.

The development endangers everyone living on Spur 66 in the event of flood or fire, and those of us who had to be evacuated in the past few years are well aware of this hazard.

Although this development seems to be progressing full-tilt-boogey, we sincerely hope the Planning Board will put a hold on it!

David and Betty Hodges
2725 Cumulus Dr.
Estes Park, CO 80517

Karen Thompson <kthompson@estes.org>

To: Betty Hodges <drbettyb@gmail.com>

Cc: Planning commdev <planning@estes.org>

Thu, May 12, 2016 at 4:43 PM

David & Betty -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

[Quoted text hidden]



Dear Planning Commission of Estes Park-

I am sorry I cannot be at Tuesday's meeting. My work schedule does allow me time to come to another meeting during my work day, I wish I could. With that said, please read the following:

I ask, I plead, I beseech you to rethink the long term chuck wagon plan as well as revoke the temporary permit.

After eight, beautiful years of living on Mills Dr, I can honestly say I have seen thousands of elk from both my front and back porch. Over the last week I have seen hundreds of elk gathering in what will be the parking area as well as my own yard. These elk are sometimes in my driveway when I come home from work, I approach slowly, and they were here first. These elk lounge in the campground over flow area and surrounding fields, peacefully enjoying their day. These elk were here first! We must be stewards to these animals and our earth. Elk are crepuscular animals, they eat at dawn and dusk. Dusk just happens to be the time of day, seven days a week, that the chuck wagon guests will be getting golf cart rides back to their cars and begin to depart. These folks will be getting in vehicles that could be surrounded by elk, some nights people may not even see them. A flow of traffic and influx of people will endanger not only the elk but the guests as well. These visiting guests are not used to being surrounded by wildlife, the wildlife is why so many people come to Estes in the first place. How long until someone is in an unsafe situation? How long until a group of people walk right through a herd of elk? How long until an elk is struck by a vehicle by someone not paying attention as they exit? The temporary permit is even more dangerous than a permanent site with lights. After years of living here, there have been plenty of times when an elk became hidden in the beauty and shadows of a mountain night. Now we have some 150-250 cars, driving without a single light and somehow we think the elk will be safe? Somehow we think the tourists will be safe? This is not okay.

I ask you to honestly think about navigating cars and people and golf carts at dusk around these elk. What happens as we continue to auction of acre after acre, one at time, what will be left?

In previous years, when that area of the campground has had campers in it, the elk still come by. Those campers are stationary. The campers settle in mid-day, when elk are not eating or worse rutting. Changing the flow of that area can only create chaos in the peaceful world of the Rocky Mountain elk. This temporary use permit this summer is bound to create many dangers. Without proper lighting and signage and roadways and walk ways, we are simply cramming an abundance of people on unfamiliar land, in the dark...I am not optimistic. I would like to know how this temporary permit got issued. This land is not ready for tourists. Yes, there is a tent and a giant green, non bear proof dumpster, but that is it! The signage for Mills Dr blends with the landscape and if you drive by the entrance of the campground, you see the tent. If it was me, I would turn at the entry where I saw the tent. These poor animals around us are being sold at a price and it breaks my heart.

I implore you to think of the elk. Please think about this land that we keep taking away from them, a few acres at a time...soon there will be nothing left. I ask you to take a stand for these animals, and I ask you to do so before it is too late.

Thank you for your time.

Sincerely,

jill schladweiler
1723 Mills Dr

May 10, 2016



To Members of the Estes Park Planning Board,

Thank you for hearing the many, many concerns of the Mills Drive neighborhood. We realize it is quite overwhelming and we are extremely grateful for the careful consideration you have shown thus far.

Prior to the April 19th meeting, between the three of us, we attended every public meeting, met with Audem Gonzalez, and met with Michelle Oliver and Randy Jackson. There have been multiple false claims on the part of the Michelle Oliver, Lonnie Sheldon and Audem Gonzalez that she has presented us with 3 or 4 parking solutions and we refuse to cooperate. They have told this lie at the second library meeting, all over social media, and over and over in the trail gazette, and right to your faces in the April 19th study session. We have many screen shots, newspaper articles and hours of video if you would like to see any of it. Michelle Oliver then stopped short of repeating it to you on camera a few hours later (time stamp 1:53:47 on the video on the town website.) At that point she finally told the truth and admitted that they have not actually shown us anything. She blames Kerry for not being at a meeting. Kerry was never scheduled to be at a meeting, since she was very sick from cancer treatments. Tim, as a Rock Inn partner, had full authority to look at any plans. At that meeting, Randy told Tim that Michael, the other campground owner (who was not at the meeting) was not willing to give up any more land, and they did not have anything to offer us.

On April 29th, We received a certified letter from Troy Krenning requesting a meeting. We accepted his request by email within a few minutes. All correspondence is attached. We were very curious about what they might be proposing, because they do not have enough land for their own parking needs, which is why they are requesting a parking waiver/appeal. The height of our dinner hour is the same as theirs, so using their parking lot when they are not using it is just silly. Michelle Oliver gushed that her customers will walk to the Rock Inn after her show. Interesting plan considering there will be nowhere to walk with the widened street taking up the current shoulders and the developer requesting a sidewalk waiver/appeal on Mills Drive. Cash in lieu is not the same as concrete.

We were also quite surprised to hear that they are now claiming that Michelle Oliver is not the developer. We have her on video stating that this is all her idea and Randy was kind enough to let her use some land. And she went on and on at the last planning board meeting about how they are not out-of-town developers because her family has a second home here (time stamp 1:47:32)

For the meeting with Troy, We set up two cameras, because we film everything they say at this point. Troy lied to us in the emails setting up the meeting, saying he arrived late to the party and does not know what is going on, when in fact, he made the presentation for the lazy b at the last board meeting (time stamp 1:34:27.)

At 2 pm, the agreed upon time of the meeting, we started filming. We would be happy to share the video of us waiting for an hour if you would like. Out of courtesy for your valuable time we cut it to just include Troy arriving an hour late, arguing with us about the start time and then storming out when we showed him his own email setting the time of the meeting. He did not apologize for wasting our time and we have not heard from them since. Many people who watch the video are shocked. We were not even surprised. This is exactly how they have been treating the entire neighborhood since the beginning. The link to the 1 minute and 24 second video is <http://youtu.be/9DZ2g04MzUc>

Another lie the developers boldly presented to you is the map of elk meadow outlined in red (time stamp 1:36:39.) The land between the Rock Inn and Dale Griffith is not owned by Elk Meadow, yet they have it outlined in red as if it does.

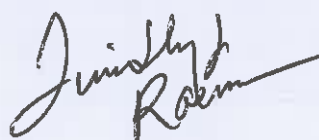
Yet another lie Audem Gonzalez told you is that we are not parking on our own property (time stamp 1:09:44). Celine, from Van Horn engineering then told you that we are, in fact, parking on our property (time stamp 2:00:48.)

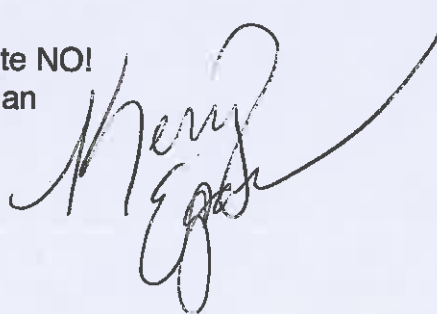
This major event center is clearly not an accessory use for the campground. Troy Krenning stated at the April 19th meeting that they will subdivide that piece of land sooner rather than later (time stamp 1:38) and Michelle Oliver stated at both library meetings that she was planning to buy it and have it re-zoned to commercial. This project does not meet code in so many ways that have already been documented by so many people, we will not repeat them all here. What baffles us is that our own planning department is presenting this as a legitimate project. We are done with the lies and games. Estes park deserves better than a planner who is willing to lie to the planning board and the citizens to push the agenda of a shady, out-of-town, lying developer who is represented by a shady, out-of-town, lying lawyer.

We are attaching 8 pages of correspondence between us and Troy Kenning and also a link to our video of this meeting. We are happy to help if you have any trouble viewing the video.

Thank you for all of your time. Please vote NO!
Bryan Gillam, Tim Roemer and Kerry Egan


The Rock Inn Mountain Tavern


Tim Roemer


Kerry Egan

LAW OFFICE OF TROY D. KRENNING, LLC
ATTORNEYS AND COUNSELORS AT LAW



TROY D. KRENNING



April 25, 2016

Ms. Kerry C. Egan
The Rock Inn, Ltd.
1675 Hwy 66
Estes Park, CO

Dear Ms. Egan,

As you are certainly aware the Estes Valley Planning Commission continued the land use application out for one month concerning the Lazy B proposal. The planning commission seemed interested in knowing if an additional month might give the "sides" time to meet and see if there might be some sort of agreement that could arrived at.

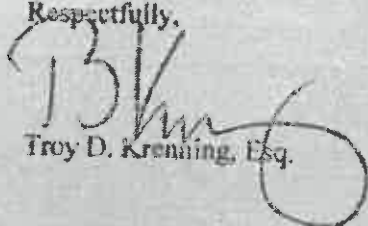
If you believe that a discussion would be beneficial I would like to invite you to contact me. I am very happy and willing to travel to Estes to accomplish such a meeting. I have not been terribly engaged in the past discussions concerning the issues that have developed between the Rock Inn and the Lazy B.

If we do meet, I would respectfully request that all owners of the Rock Inn be present. One of the concerns I have is that the exchange of information up to this point seems to be somewhat disjointed. I think it would be best for me to meet with you and your partners at one time so that I can fully understand all of the underlying issues that have been brought up. Any such meeting will involve me as the only representative of the Lazy B.

If you think a meeting would be productive, please contact me at my office, numbers below or feel free to email me at troydklaw@msn.com

I look forward to your response.

Respectfully,


Troy D. Krenning, Esq.



Kerry Egan <kerbear1111@gmail.com>

Lazy B**Kerry Egan** <kerbear1111@gmail.com>

To: troydklaw@msn.com

Fri, Apr 29, 2016 at 3:57 PM

Hello Troy!

We received your letter concerning mediation and would be delighted to meet with you.

Michelle stated at the planning commission hearing that she has presented us with three different offers and she also posted on facebook that she has paid for four different drawings and she claims we have refused them all. This claim is curious to us, as we have not seen any offers or drawings.

We can certainly all attend the meeting if you feel that is necessary. We have a few requests:

1. Please bring the 3 or 4 offers that we have supposedly refused.
2. As with all communication with her at this point, we will be video recording the meeting for our own protection.
3. Please ask Michelle to stop telling people that we are sending her death threats. The police investigated her claim and found no evidence, yet she continues to spread this lie.

We look forward to meeting with you. Wednesdays are the day that all 3 of us work, so that would be best for us.

Thank you!

--
Kerry Egan

2 of 8



Kerry Egan <kerbear1111@gmail.com>

Lazy B

Troy Krenning <troydklaw@msn.com>

Fri, Apr 29, 2016 at 4:46 PM

To: Kerry Egan <kerbear1111@gmail.com>

Kerry,

Next Wednesday works perfect. How about 2 at your place (Rock Inn)? I've been there many times in the past!

I'll look into the parking drawings and bring whatever has been created. I'm somewhat the late arrival to this party and trying to catch up on all that has been said/committed to.

Michelle will not be participating in this meeting, just me. I will look into the death threat issue. I have asked my client to direct their employees to stop public comment about the Lazy B, Rock Inn, Mills Drive, etc. Please let me know if you learn of additional public comment via social media or otherwise.

To be clear, I do not represent Ms. Oliver. She is an employee of my client. If you feel recording our meeting is necessary and appropriate I have no objection.

Will 2 at your place work next Wednesday?

Thanks,

Troy

Sent from my iPhone

[Quoted text hidden]

3 of 8



Kerry Egan <kerbear1111@gmail.com>

Lazy B

Kerry Egan <kerbear1111@gmail.com>
To: Troy Krenning <troydklaw@msn.com>

Fri, Apr 29, 2016 at 5:39 PM

Hi Troy,
Wednesday at 2 sounds perfect.
See you then.

[Quoted text hidden]

—
Kerry Egan

4 of 8



Kerry Egan <kerbear1111@gmail.com>

Lazy B

Troy Krenning <troydklaw@msn.com>

Fri, Apr 29, 2016 at 9:06 PM

To: Kerry Egan <kerbear1111@gmail.com>

I'll be there.

Troy

Sent from my iPhone

[Quoted text hidden]

5 of 8



Kerry Egan <kerbear1111@gmail.com>

Lazy B

Kerry <kerbear1111@gmail.com>

Tue, May 3, 2016 at 8:39 AM

To: Troy Krenning <troydklaw@msn.com>

Good Morning Troy!

I hope you are well.

To ensure we are not wasting our time tomorrow, we would like to confirm that you will be bringing the drawings Michelle Oliver mentioned at the planning board meeting.

Also, we are very curious about with whom we are negotiating, as Michelle Oliver has been represented as the developer until now. Who is your client?

Thank you, Troy.

Warmest regards,

Kerry

Sent from my iPad

[Quoted text hidden]

6 of 8



Kerry Egan <kerbear1111@gmail.com>

Lazy B**TROY KRENNING** <troydklaw@msn.com>

Tue, May 3, 2016 at 2:14 PM

To: Kerry <kerbear1111@gmail.com>

Kerry,

I am well, a little busy, but well. I will have drawings that have been produced, I have no way of knowing if those are what Michelle referenced or not but I will have copies of work that was created for us to review. I represent Randy Jackson and Michael Andrzejek the actual owners of Elk Meadow and Lazy B.

Michelle is not the developer, that would be the various businesses which is owned by Jackson and Andrzejek, I am not aware that Michelle has represented herself as the developer although she is and will be an employee of the developer/owners. Her employment status and capacity is not of significant interest to me.

I share your interest in wanting our get together to be productive. Honestly I am not interested in plowing over old ground. As I said in my initial email, I am somewhat the late arrival to this project and hope to spend time on what can be done to resolve outstanding issues. I come to this meeting with a clean slate, I want to hear directly from you and your partners. I am not all that interested in the emotional drama that has unfolded or the he-said she-said conversations.

You are business owners, my clients are business owners and I actually think that if calm and rational minds can come together a lot of what has everyone charged up can be resolved. Maybe I'm wrong? But I look forward to sitting down and at the very least meeting and opening a genuine dialogue and conversation.

I have court in the morning and then plan to change out of a suit and into jeans for my trip up there. I need to pick my wife up at DIA at 7, so if you don't mind, I plan to be in jeans and sweatshirt. I trust I will not get downgraded for not trying to look the part of lawyer?

Does this address your questions from email below?

Troy

Troy D. Krenning, Esq

Law Office of Troy D. Krenning, LLC
640 E. Eisenhower, Suite 150
Loveland, CO 80537
(970) 292-8290
(888) 465-8045 FAX

*****Confidentiality Notice*****

This message (and any associated file(s)) is intended only for the use of the individual or entity to which it is addressed and may contain information that is confidential or protected by attorney-client privilege and/or the work product doctrine. If you are not the intended recipient you are hereby notified that any dissemination, copying or distribution of this message, or files associated with this message, is strictly prohibited. If you have received this message in error, please notify us immediately by replying to the message and deleting it from your computer. Messages sent to and from us may be monitored. Internet communications cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or

7 of 8



Kerry Egan <kerbear1111@gmail.com>

Lazy B

Kerry <kerbear1111@gmail.com>

Tue, May 3, 2016 at 4:15 PM

To: TROY KRENNING <troydklaw@msn.com>

Hi Troy,

To bring you up to speed, Michele Oliver is listed as the 'Applicant' on the development application on file with the town, so it is not a he said/she said situation, it is written in ink. I am happy to share the link if you would like.

She and Randy are on video at the second public meeting stating that the lazy b is Michele's idea and Randy has been kind enough to offer her some land to use because Michele took care of his dying mother. She also stated that she searched all over town for other options, and the RV park was the best one. I am happy to share the YouTube link if you would like.

We look forward to the meeting and we do not care what you wear. We are only concerned with facts and are far beyond weary of the lies at this point. We would appreciate not being portrayed as emotional. Everything we state has either paper or video documentation to back it up.

Thank you.

Kerry

Sent from my iPad

[Quoted text hidden]

8 of 8

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Shelly Grundle	4396 Hamilton Dr.	Eagan, MN 55123
2. Sue Ward	975 Proposed Park Dr	Estes Pk CO 80517
3. Mary Ward	975 Proposed Park Dr	Estes Pk CO 80517
4. Milton Black	3120 Rainbow Dr.	Estes Park CO, 80511
5. Susan Hodges	20112 Lamar Stilwell K's	66085 XXXX
6. Amy Owens	439 Timber Rock Dr	ESTES PARK CO 80517
7. Stephen Owen	439 Timber Rock	Estes Park 80517
8. Linda Streeck	3441 St Francis Way,	EP
9. Mike Streeck	3441 St. Francis Way	EP
10. Walt Hope	430 WHISPERING PINES DR.	EP

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | | Name | Address | Additional Comments |
|-----|------------------|---|---------------------|
| 1. | Joanna Skensland | 1220 Marys Lk Rd
EP | |
| 2. | Luke Skensland | 11 | |
| 3. | Alvin Skensland | 1631 Hyatt Dr. | |
| 4. | Jeanne Skensland | | |
| 5. | Anne Skensland | Blue Mist | |
| 6. | Jon Ben | 1621 High Dr. | |
| 7. | Thomas Skensland | 2655 Gray Fox Dr. | |
| 8. | Lenny Pritchett | 1411 Vail Ct. | |
| 9. | Jenny Schiavone | 746 S. DePaul St.
Lakewood, CO 80224 | |
| 10. | Diana Pollock | 800 MacGregor Ave Estes Park | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|--------------------|---|---------------------|
| 1. CRAIG KERN | 257 MCCORMICK ST.
E.P. | |
| 2. RYAN JEN | 635 B STEPHEN DR
E.P. | |
| 3. JULIE WARD | 1808 LINCOLN DR
LONGMONT CO 80501 | |
| 4. TRACY SEWTER | 2415 SWEETWIND AVE.
CASTLE ROCK CO 80109 | |
| 5. DARIN BRADSHAW | 3738 DINDAVAL ST
CASTLE ROCK CO 80109 | |
| 6. KALEB BRADSHAW | 3738 DINDAVAL ST
CRD 80109 | |
| 7. JERRY BRADSHAW | 21750-66 ESTES PARK, CO 80511 | |
| 8. NICOLE DAVIES | 10904 HUNDWICK ST.
FL CO 80130 | |
| 9. KATHONE HOUSTON | 6696 S. KITLANSKI ST.
CENTRAL 80121 | |
| 10. JUDY BORSHEIM | 2595 S. KING ST
DENVER CO 80219 | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|--|---|---------------------|
| 1. Samantha Betz | 3655 Cumberland St | |
| 2. Laura ^{Twoogard} Franklin | 4518 Glen Isle Dr. | |
| 3. Trevor Twoogard | 4518 GLEN ISLE DR. | |
| 4. PAULINE HENSLEIGH | 901A 7th St NW ALB. N.M. | |
| 5. Tim Enmeyer | N/A | |
| 6. Dan Smith | 2586 West 44th St (Coatland CO 80533) | |
| 7. Christine Peel | 2725 Dixon Creek Lane Ft Collins, Co 80526 | |
| 8. Dan Peel | 2725 Dixon Creek Lane Ft. Collins, Co 80526 | |
| 9. Sheri Federchak | 510 Chiquita Ln Estes Park, CO 80517 | |
| 10. RICHARD FEDERCHAK | 510 Chiquita Ln, EP, CO 80517 | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.



- | Name | Address | Additional Comments |
|-------------------------|--|---------------------|
| 1. JACQUELYN HERTZ | 150 INDIAN TRAIL, EP 80517 | |
| 2. Donna Hahn | 150 Indian Trail Estes Park CO 80517 | |
| 3. Emily Fouts | 1723 Mills Dr Estes Park, CO | |
| 4. Candace Fouts | 265 Cherokee Ct EPCO | |
| 5. Elizabeth A. Pappin | 2515 Tunnel Rd EP | |
| 6. Kiki Boeck | 2515 Tunnel Rd. EP | |
| 7. Thomas M. Collin | 1101 CA 53 GRANDY CO | |
| 8. Britt Sun | 520 Albany Ave. Loveland CO 80537 | |
| 9. Brett Jan | 520 Albany Ave. Loveland, CO 80537 | |
| 10. Madeline Grinklelee | 4396 Hamilton Dr. Fuck
55123, MN <u>development!</u> | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Darrell Spangler	1715 Mills Dr	USE EXISTING ENTRANCE! OR MOVE TO EVENT CENTER!
2. Marybeth Tourpe	14390 W Yale Pl	
3. John Rea	14390 W Yale Place	
4. Stephanie Russell	455 Valley Rd.	
5. Laura Massuy		
6. Mary Jo Lockman	1625 Prospect St. E.P.	
7. [Signature]	11827 Ridgely #801 Boulder, CO 80021	There has to be a better way - Rock Inn needs the parking! This place is <u>historic</u> !
8. Gregory Burris	3360 S. Kenton St. #4116 Denver CO 80014	
9. Nadine Leonard	3360 S. Kenton St. #4116 Denver, CO 80014	
10. JAYSON BROWN	1807 EFFINGHAM ST FORT COLLINS, CO 80526	



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

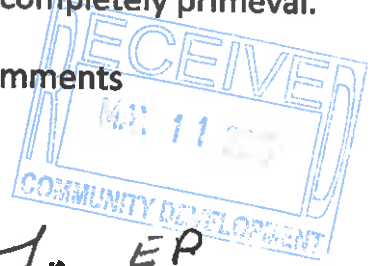
We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Mike Lukens	257 Virginia Ave	Nope
2. Jodi Roman	730 Ramshorn DR EP, CO 80517	
3. Jack Bohan	17 Radio Ave Miller Pkce, NY 11789	
4. Mike Doyle	333 Shrewsbury Ave Redbank, NJ 80317	
5. Carolyn Kuenzel	2380 US Hwy 34 Dralce CO 80515	"Tour Bus turning Lane ????"
6. JOAN McDougall	1861 HIGH DRIVE	
7. John Haight	32305 NCR OK	
8. Sean Pater	32305 NCR 31 OK	
9. Stephen [unclear]	335 Saddleback E.P.	
10.		



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.



- | Name | Address | Additional Comments |
|--|--|---|
| 1. Neal Wiseman | 1455 S. Saint
Vrain
Estes Park, CO | |
| 2. Gini Wiseman | " | |
| 3. Marcia Gerritz | 2508 Cirrus Ln. EP | |
| 4. Dr. William Gerritz | 2508 Cirrus Ln | This whole project is a foul, overlarge, unnecessary endeavor |
| 5. Sam Annegret
Kimball Wroblewski | 300 Prospect
Mountain Court
Estes Park, CO | |
| 6. Arthur Schueler | 6737 CR 315C
Keystone Hts, FL | out of character of entire area, would be a blight |
| 7. Alicia Schueler | " | |
| 8. John Schueler | Same | |
| 9. Scott Rogers | 3980 Little Valley Rd
Estes Park, CO 80517 | Crazy! |
| 10. Rita Rogers | 3980 Little Valley Rd
Estes Park, CO 80517 | No! |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Herli Whitney	1551 S St. Vrain	
2.	Megan Burford	155 S. St. Vrain	
3.	Brian Faith	635 Community Dr	
4.	Brian E Traver	542 Aspen Ave	
5.	Carly Ind	542 Aspen Ave.	
6.	Victoria Alexander	2004 Upper High Drive	
7.	Cory Johnson	2004 Upper High Dr EP, CO 80517	
8.	Kelly Wilkerson	331 Fall River Ln	Hell NO!
9.	Theresa Brech	Rams Horn	
10.	James Bred	Rams Horn	



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

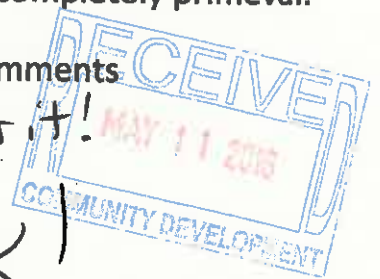
Name	Address	Additional Comments
1. Carol Kingsley	6750 Fairfax Way Fairbairn, MN 55001	Bad idea
2. Al Kingsley	" "	Makes no sense
3. Mike & Cindy Swendrowski	81 Hot Spur Ln. Drake, CO 80517	
4. Judy & Ken Allen	390 BELLAIRE CT BROOMFIELD, CO.	KEEP IT THE WAY IT IS.
5. Deb Coombs	321 Big Horn A3 EP, CO 80517	
6. Nancy Farrell	1240 Tall Pine Dr Estes Park CO 80517	
7. Jeff Blintherg	2732 Cumulus Dr. Estes Park Co	
8. Peter Blintherg	2732 Cumulus Dr. Estes Park Co	
9. Nathan Wendell	3813 Dollar Lake Dr. Estes Park CO, 80517	They took our goats
10. CS Summiv	3813 Dollar Lake Dr. Estes Park, CO 80517	No more buses



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Karen Randinitis	207 Evergreen Ln EP, CO 80517	Fight it!
2. Paula	548 Birch Ave EP 80517	PARK!
3. Thomas Strat	2100 Roll River Road	Rock Inn is Historical Value to the Community.
4. Carla Ficke	Wonderview Condo. Laurel Lane, EP	Rock Inn is historic & important to EP!
5. Patrick Almus	1310 Strong Ave E.P.	SAFETY FIRST!
6. Nancy Almus	1310 Strong Ave E. Park	NO THANK YOU!
7. Jason Lang	1062 Tranquil LN E.P.	
8. Michael Bilos	210 Elm Rd Estes Park	Please respect the Historic Legacy of the Rock Inn. Why not use the Event Center?
9. Lauren Delaunay	341 moraine Ave. EP	
10. Anne Baxter	220 Elm Rd	How ABOUT 4 "MIDIVAL TIMES" THEN?



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.



Name	Address	Additional Comments
1. Anthony DeFrance	Box 116 Lyons, CO	80540
2. Nina DeFrance	"	"
3. Terrence DeFrance	8508 Bella Dr.	Macedonia, Ohio
4. Roger DeFrance	8508 Bella Dr.	(Macedonia), Ohio 44056.
5. Laurel Preston	1950 Fall River Rd	Estes Park
6. Steve Preston	"	"
7. K.C. Eniquera	2645 Cumulus Dr	Estes Park, CO 80517
8. Nathan Fink	4000 Cumulus Dr 2645 Cumulus Dr	Estes Park, CO 80517
9. Jeff Neering	1700 Big Thompson Ave	E.P. CO.
10. David O'Neill	PO Box 1010 401 Easy St	Morab UT

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|------------------|--|--------------------------|
| 1. Laurel Vogel | 23 Calle Arica
1519 Raven Circle | Love this place! |
| 2. Mike Vogel | " " | Save the parking please! |
| 3. STEVE KOMITO | 200 151 COURTNEY LN
ESTES PARK | |
| 4. Jon Humber | 1317 Devils Gulch Rd | |
| 5. Walt Borne | 572 Darcy | |
| 6. Marsua Hemmet | 7908 W 115th St Overland Park KS | |
| 7. Bill Harn | 7908 W 115th Overland Park KS | |
| 8. PHIL BALK | P.O. BOX 2161 ESTES PARK, CO
80517 | |
| 9. Sammy Jacob | 11431 Cynthia Rd
EVANSVILLE IN 47720 | Awesome place! |
| 10. JR. Compton | 11431 Cynthia Rd
EVANSVILLE, IN 47720 | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Diane Friedman	657 Cedar Ridge Circle	80517
2.	HEIDI RIEDESEL	2305 EAGLE CLIFF RD, EP	80517
3.	VASILIY KUCHERENKO		YMCA
4.	Kathy Mead		YMCA
5.	Ben King		YMCA
6.	Laura Shepard		YMCA
7.	Chin Rogers		YMCA, Winter Park
8.	Juni Ellis	Box 648, Granby, CO	80446
9.	Lizzy Wasserbach	PO Box 667 Granby CO	80446
10.	Shawn Satterfield	PO Box 3492	Winter Park, CO 80482



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Carol Loy	2625 Marys Lake Rd.	This is smoke & mirrors economic development.
2. Rick Loy	2625 Marys Lake Rd	Too much!
3. Charles Roper	2635 Sunnyside	
4. P. J. Lake	10306 S County Rd Midland, TX	
5. Alfred Bar	161 Avenida Ponderosa, Glorieta NM	"Enough Is Enough - Dude!"
6. Julie Bain	40618 Walking Pine Rd Halsey NE	<u>Tour Buses</u>
7. GAIL JAMES	3411 Hillcrest Ln. Estes Park	<u>HATE THIS</u>
8. Cal James	3411 Hillcrest Ln.	" " Not a chance!
9. Janet Mikulitch	1081 High Dr.	" " <u>VIKES!</u> <u>NO WAY</u>
10. Tricia King	240 Old man Mnt Ln. Estes Park CO	where is the recent wildlife study!



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

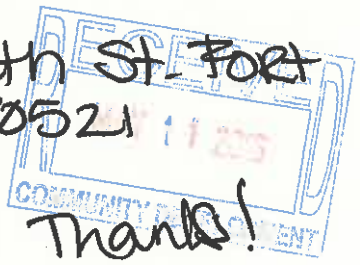
We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|-----------------------------|----------------------|---------------------|
| 1. <i>Kym Shaffer</i> | 402 Bluebird Lane | Estes Park |
| 2. <i>End Shaffer</i> | 402 Bluebird Ln. | Estes Park |
| 3. <i>Rebecca Gruhl</i> | 261 Lost St | Estes Park |
| 4. <i>Randy Stafford</i> | 745 Elm Road #3 | Estes Park |
| 5. <i>Cynthia Hager</i> | 2900 Purcell St, A-4 | Brighton CO |
| 6. <i>Elaine Docomy</i> | 1066 Pine Knoll Dr. | Estes Park, CO |
| 7. <i>Ann Tullis</i> | 891 Crabapple Ln, | Estes Park, CO |
| 8. <i>Ch. W. B. S.</i> | 131 Pondara | |
| 9. <i>Th. M.</i> | 2515 Turner Rd, | ESTES PARK, CO |
| 10. <i>Diane Hutchinson</i> | 1776 Olympian Lane, | EP, CO |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

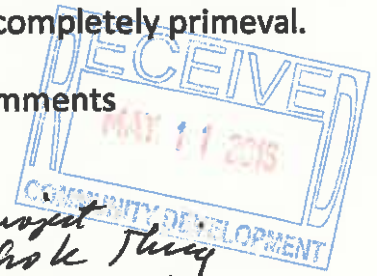
We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Georgia Robertson	918 Elk Hollow Court, EP 85701	
2. Jeanné Roberts	3002 West Elizabeth St. Fort Collins, CO 80521	
3. Annie Long	3501 Fall River Rd. Estes Park, CO	➔ Thanks!
4. Kevin Sherman	3002 West Elizabeth St. Fort Collins CO, 80521	Thank You.
5. Karen Willett	3202 Thunder Mountain Lane Estes Park, CO 80517	
6. Thomas Nelher	3202 Thunder Mountain Lane Estes Park, CO 80517	
7. DANNY MEADE	1061 FALL RIVER DR ESTES 80517	
8. Sarah Willett	1715 Windcliff Dr, Estes Park, 80517	
9. Sara Boulton	16942 Highway 7 Lyons, CO 80540	
10. Sarah Boulton	16942 Highway 7, Lyons, CO 80540	



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

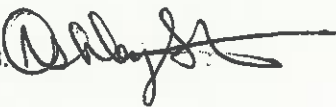




- | Name | Address | Additional Comments |
|----------------------|---|---|
| 1. Erin White | 87 ENDER PLACE - NORTH UNIT
PO BOX 4315
CRESTED BUTTE, CO 81224 | |
| 2. ANN VERNON | 3175 Tunnel Rd
Estes Park Co | <p><i>project</i>
The whole thing
is inappropriate
here next to the park.
Go to the Fairgrounds
The Park does not
want you.</p> |
| 3. Patricia Vernon | 1508 Edith Blvd suite B
Albuquerque NM
87102 | |
| 4. John Vernon | 3175 Tunnel Road
Estes Park, CO 80511 | |
| 5. Lori Vernon | 1000 Hide-A-Way Lane
Estes Park, CO 80517 | |
| 6. [Signature] | 428 Mills Dr
Estes Park CO 80517 | |
| 7. [Signature] | 428 Mills Dr
EP, CO 80517 | |
| 8. Cynthia Starnes | 1410 NATHER AVE
CONSULTANT ESTES PARK | |
| 9. Faith Brandon | 85 W Old Broadmoor Rd
Col. Spgs, CO 80906 | |
| 10. Jacqueline Walsh | 3800 S Foxenwood CO
80510 | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. James Mills	21273E. PRENTICE LN CENTENNIAL CO 80015	
2. Scott Wedge	3320 Carduus Dr. Sunshine WI	
3. 	5083 S Elbert Way Arrow CO 80015	
4. TS Schenck		
5. Dave Brehm	741 Laurel Lane Estes Park CO	
6. Maury Brehm	741 Laurel EP	
7. Pam Merritt	3000 Kiowa Estes	
8. 	3000 KIOWA TRAIL ESTES	
9. Debbie Lanham	3201 Thunder Mountain Lane Estes	
10.  CURT LANHAM	3201 THUNDER MOUNTAIN LANE ESTES	



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|---------------------|---|---------------------|
| 1. Lowell Rosenthal | 690 Pinewood Dr | Estes Park 80517 |
| 2. Kay Rosenthal | 690 Pinewood Dr | Estes Park 80517 |
| 3. Sue Zullo | 1440 Sierra | |
| 4. Sylvia Abbott | Sage Ln
910 Rockwood Ln | |
| 5. Mary Ann | 1168
Hillpointe Cir, B.F. MI 48304 | |
| 6. Joe Swoszwalak | PO Box 45176, Denver, CO 80210 | |
| 7. Jake Shobbs | 222 Colorado Ave | |
| 8. LHMIS Reince | 5643 S. Prince St. Littleton, CO 80120 | |
| 9. Lynne Reince | 5265 WANDARATA WAY, HIGHLANDS RANCH, CO 80130 | |
| 10. Rose Denton | 1221 S. Newton St Denver CO 80219 | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. T-M	85W. Old Broadwood Rd Colorado Spgs, CO 80906	
2. Myra Oppy	6125 Washington St Denver CO 80216	♡
3. Jenn Miller	2315 Niagara St. Denver, CO 80207	
4. Cydra Zevada	Estes Park, 80517	
5. Jessica McGee	321 Fall River Ln EP, CO 80517	
6. Colleen Gilbertson	NPS Park Housing	
7. Kimberly Eliza Aronson	2870 Lake Ave NE Bemidji MN 56607	
8. Elaine Sparks	 P.O. Box 843 Estes Park CO 80517	
9. Greg Wiegler	1155 S. St. Urwin Ave 2 Apt A7 EP 80517	
10. Dale Beil	1464 Narviss Dr Estes Park 80517	



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

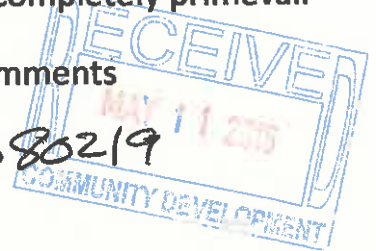
We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|----------------------|---|---|
| 1. Jeannine Vallejo | 1450 Brockle Ave Auburn ID | Great place, don't ruin it! |
| 2. Diane Armstrong | Elkhorn, NE | Come here every year - we love it just the way it is! |
| 3. Sam Bates | Longmont, CO | |
| 4. Kristin Bates | Dacapo, CO | |
| 5. Robyn Cuthbertson | 5225 White Willow Dr #1200 Ft Collins CO 80528 | Wonderful Gluten Free food!!! |
| 6. Drew Cuthbertson | 5225 White Willow Dr #1200 Ft Collins, CO 80528 | What she said. ↑ |
| 7. Allen Peters | 17 Purr's Cross Rd Glen Haven, CO 80512 | |
| 8. David Maxwell | 747 Bittern Dr Estes Park | |
| 9. Derek Rosengvist | 1050 S STURAIN LS EP CO 80517 | |
| 10. Stephen W. Cosby | 1310 Main Ford Ave | |



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.



- | Name | Address | Additional Comments |
|--------------------------|--------------------------------|-----------------------------------|
| 1. CLAUDE DENTON | 1221 S Newton St | Denver Co 80219 |
| 2. Damon Vaughan | 218 S Sweet H | Fort Collins. No Buses! |
| 3. Andy Cross | 1610 Westbridge dr | |
| 4. Erin Robinson | 5237 Rim Rock Ln | Fight the power. |
| 5. Jim Arihoda | 19473 E. Tufts Circle, | Centennial, CO 80008 |
| 6. [Signature] | 1400 LBS Hunt #2 | Barren - 80304. |
| 7. [Signature] | 812 Glenwood Dr. Lafayette, CO | 80026 Mom + Pop's deserve the cre |
| 8. [Signature] | 370 Pioneer Ln. | Estes. |
| 9. Alice & Jerry Solomon | (1711 Mills Dr.) | 4483 Toulon Dr Napa, CA 94558 |
| 10. | | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

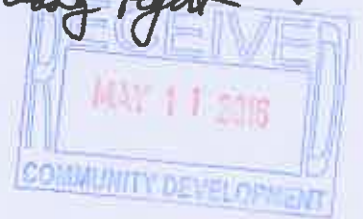
We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Karen Cherman	1595 Fish Hatchery Rd ESTES PARK	
2. Sheri Swartzendruber	1741 Winston Dr.	Safety IA.
3. Duane Asguth	1741 Winston Dr.	Town City IA
4. Darby E. Hedman	1315 Hill Rd, ESTES PARK CO 80517	
5. Anita Bullington	1315 Hill Rd. Estes Park, CO	
6. Ollie Smith	730 Spring St	E.P
7. Jan Pauley	865 Blue Mist Ln	EP
8. Mary L. O'Neil	1437 Raven Cir	"S" EP
9. Lisa Jennings	1301 Strong Ave	#4 EP
10. Jim Sowers	1301 Strong Ave	#4 EP

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Terry Walsh	3550 Valley Oak Dr LOVELAND CO	- Keep existing businesses healthy - - parking is already tight
2. [Signature]	8329 KINGSLEE RD BLOOMINGTON, MN	
3. [Signature]	8329 Kingslee Rd Bloomington MN	
4. [Signature]	558 E. 42nd St. Loveland CO 80538	
5. [Signature]	558 E 42nd St Loveland CO 80538	
6. D.K. DAN KROSNER	3501 FALL RIVER RD ESTES PARK, CO	
7. Bill Falzett	260 260 Moccasin Estes Park, CO 80517	Sometimes change is bad!
8. Ryan Ayala	3255 Fish Creek Rd. EP, CO 80517	
9. Helen Falzett	260 Moccasin Estes Park, CO 80517	
10. Sandra Kern	255 Moccasin St Estes Park CO 80517	



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

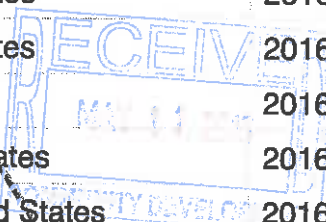
We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|-----------------------|---|---|
| 1. Tom Booth | 1681 HIGH DR. Estes Park, CO 80517 | Disturbs character of area. Disturbs wildlife - needs more study. RMNP a jansr 1+ |
| 2. | | |
| 3. Donna Clark | 2728 Cumulus, E.P. | This is not the right setting for 200 park places. |
| 4. Tracey J. McGinnis | 1845 Hwy 66 ***
970.396.3899 tmcg320@gmail.com | Taking parking away from Rock Inn - the living conditions we have too much traffic along here, alone. Find another place for "your" setting |
| 5. Vinessa | Aulhous 2616 University Ave
DSM, IA 50311 #5 | |
| 6. | | |
| 7. | | |
| 8. | | |
| 9. | | |
| 10. | | |
- *** I have researched, read spoken with authorities and I don't feel like I get the "truth"!!!
STOP NOW

Online Signatures

Name	Location	Date
Eleanor Roehl	Estes Park, CO, United States	2016-04-08
Patrick McCartney	ozark, AR, United States	2016-04-09
Cass Keninger	Independence, IA, United States	2016-04-09
Andrea Gohl	Las Cruces, NM, United States	2016-04-09
Justin DuBois	Estes Park, CO, United States	2016-04-09
Malinda Stephens	Estes Park, CO, United States	2016-04-09
Jon-Paul Gallois	Estes Park, CO, United States	2016-04-10
Phyllis Star White	Wellington, CO, United States	2016-04-10
Gayle Sandham	Denver, CO, United States	2016-04-10
Sheryl Kenner	Leland, NC, United States	2016-04-10
Brett Hodges	Stilwell, KS, United States	2016-04-11
Herb Mignery	Loveland, CO, United States	2016-04-11
Amy Eldred	Lincoln, NE, United States	2016-04-11
Mike Egan	Estes Park, CO, United States	2016-04-11
Diane Pence	Estes Park, CO, United States	2016-04-11
Ashley Goedken	Estes Park, CO, United States	2016-04-11
Mary Frankel	Estes Park, CO, United States	2016-04-12
Pepper Papineau	York, NE, United States	2016-04-12
Dustin Fasching	Los Angeles, CA, United States	2016-04-12
Andrea Rothwell	North Fort Myers, FL, United States	2016-04-12
Jason Mezillis	Los Angeles, CA, United States	2016-04-12
Keith Berkes	Los Angeles, CA, United States	2016-04-12
Susan Hora	Aurora, CO, United States	2016-04-12
Chris Parsons	Salt Lake City, UT, United States	2016-04-12
Raphael haber	Estes Park, CO, United States	2016-04-12
Jessica Littlefield	Los Angeles, CA, United States	2016-04-12
Patrick Brownson	Denver, CO, United States	2016-04-12
Edward B Schwartz	Los Angeles, CA, United States	2016-04-12
Adam Littman	North Las Vegas, NV, United States	2016-04-12
Sandy Peterson	Grand Island, NE, United States	2016-04-12
seth zunker	Denver, CO, United States	2016-04-13
Kristen Ekeren	Estes Park, CO, United States	2016-04-13

Already
Submitted



new
Signature

Name	Location	Date
Brad Potochnik	Salt Lake City, UT, United States	2016-04-13
Gebhardt Gebhardt	Estes Park, CO, United States	2016-04-13
Mary Jane Frogge	Lincoln, NE, United States	2016-04-13
Sandra Nagel	Des Moines, IA, United States	2016-04-14
Deborah Jansen	Riverside, IL, United States	2016-04-15
Anne Leija	Estes Park, CO, United States	2016-04-15
Barbara Morley	Estes Park, CO, United States	2016-04-15
Molly Sullivan	Estes Park, CO, United States	2016-04-16
jason brese	Estes Park, CO, United States	2016-04-16
Jocelyn Bolster	Lyons, CO, United States	2016-04-16
Ruth Robbins	Phoenix, AZ, United States	2016-04-19
Vanessa Block	Salt Lake City, UT, United States	2016-04-20
Justin Jones	Estes Park, CO, United States	2016-04-20
Star Kolb	Moab, UT, United States	2016-04-20
Heather Gooch	Estes Park, CO, United States	2016-04-20
erika metzler	Estes Park, CO, United States	2016-04-20
Amy Jaros	Palatine, IL, United States	2016-04-20
Lisa Kriederman	Boulder, CO, United States	2016-04-20
Allison Robinson	Fort Collins, CO, United States	2016-04-20
Jarett Mason	Denver, CO, United States	2016-04-20
Kara Putman	Estes Park, CO, United States	2016-04-20
Gwen Asmussen	McCall, ID, United States	2016-04-20
Tom Thomas	Estes Park, CO, United States	2016-04-20
Alicia Young	Parker, CO, United States	2016-04-20
David Wire	Golden, CO, United States	2016-04-20
William Thomas	Estes Park, CO, United States	2016-04-20
Emily Becker	Urbandale, IA, United States	2016-04-20
Chad Becker	Urbandale, IA, United States	2016-04-20
Alex Thoele	Denver, CO, United States	2016-04-21
Sarah Stephens	Estes Park, CO, United States	2016-04-21
Penny Pritchett	Estes Park, CO, United States	2016-04-21
Elizabeth Mills	Estes Park, CO, United States	2016-04-21

Name	Location	Date
Deborah Sherman	Estes Park, CO 80517, CO, United States	2016-04-23
Dean Martinson	Estes Park, CO, United States	2016-04-24
Kacy Thompson	Estes Park, CO, United States	2016-04-24
Kim Fiessinger	Newton, KS, United States	2016-04-26
Jeannie Bass	Fort Myers, FL, United States	2016-04-26
Steve LaMont	Estes Park, CO, United States	2016-04-26
Josh Viegut	Estes Park, CO, United States	2016-04-29
Michelle Hiland	Estes Park, CO, United States	2016-04-29
Janice Jackson	Estes Park, CO, United States	2016-05-05
Mike George	Estes Park, CO, United States	2016-05-10



Fwd: Lazy B

3 messages

Jay Vetter <jaymillsd@gmail.com>
To: planning@estes.org



Wed, May 11, 2016 at 8:53 AM

Commissioners,

Thank you for continuing the consideration of the application for a special permit from the Lazy B. We thought you might like to know what has happened regarding communications between the developers and the most impacted neighbors. We sent the email below on April 23. To date we have received no direct response. A crew did show up on May 2, and install the temporary entrance across from our property.

We also made a request to the planning staff to remove the permission for the temporary entrance until after final action has been taken on the special permit. They declined to do so. We have several emails with several staff members and notes from four conversations that we would be happy to share if anyone is interested.

We urge you to recommend that this special permit not be issued based on the effect it will have on the number one priority of attainable housing, traffic congestion (including access to and from a fire station), quality of life, and proximity to RMNP.

Thanks for your work on this important community issue.

Maureen & Jay Vetter
1711 Mills Drive

Sent from my iPad

Begin forwarded message:

From: Jay Vetter <jaymillsd@gmail.com>
Date: April 23, 2016 at 7:25:23 PM PDT
To: michelle@lazybranchandwranglers.com, Troy@krenning.com
Subject: Lazy B

Michelle and Troy,

This is a request that the Lazy B Ranch and Wranglers, LLC refrain from acting on your Temporary Use Permit to construct an entrance on Mills Drive to your temporary parking lot until final action has been taken on your application to develop a permanent parking lot at the same location. This would be an act of "good faith" that would signal to us and others whose property and businesses would be impacted that you are anxious to mitigate the negative impacts and willing to seek compromise with us. We speak only for ourselves when we say that if you take this action, we will be happy to meet with you to seek remedies for the negative impacts to our property and business that would ensue should this project be approved.

Thank you for taking the time to respond to this request. We look forward to your response before any action is taken to develop the entrance.

Maureen and Jay Vetter
1711 Mills Drive

Karen Thompson <kthompson@estes.org>
To: Jay Vetter <jaymillsd@gmail.com>

Wed, May 11, 2016 at 9:37 AM

Maureen & Jay,

Thank you for your comment. Before sending it to the Commissioners and posting it to the Town website, I would appreciate clarification on your term "special permit." Are you referring to the Special Review application, or the Temporary Use Permit?

Thank you. I hope to hear from you soon.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

[Quoted text hidden]

Jay Vetter <jaymillsd@gmail.com>
To: Karen Thompson <kthompson@estes.org>

Wed, May 11, 2016 at 9:50 AM

The special review application.

Sent from my iPhone
[Quoted text hidden]

Lazy B Chuckwagon events

3 messages

Bill J. Darden <bdarden@uchicago.edu>

Tue, Apr 26, 2016 at 12:30 PM

To: "dmenzies@larimer.org" <dmenzies@larimer.org>

Cc: Karen Thompson <kthompson@estes.org>, "flancaster@ests.org" <flancaster@ests.org>

April 26, 2016

Mr. David Menzies
Senior Environmental Health Specialist
Department of Health and Environment
1601 Brodie Avenue
Estes Park, CO 80517

Dear Mr. Menzies,

It was my understanding from attending the Estes Valley Planning Commission Study Session last week that the Larimer County Department of Health and Environment believes the Lazy B chuckwagon event center project at the Elk Meadows Lodge and RV Park will be in compliance for air emissions for that location and project. I don't know the type of cookers or fuel that will be used there. The question to be asked and answered is not only whether the Lazy B by itself will pollute the air that will be harmful to those attending the event, but whether it will increase the emissions harmful to health and the environment in the area of the people who will be exposed seven days a week to the air pollutants. There are residents surrounding the Elk Meadows Lodge and RV Park. Rocky Mountain National Park wrote a letter of concern for their employees who live in the cabins to the west of that property. Residents on Mills Drive and to the North, South and East of the property will be affected as well. The patrons (including babies and children) to the chuckwagon events will be affected by the air pollution short term. It will be a brief encounter for them as they will not be in the area on a daily basis.

The increase in exhaust from vehicles in the parking areas and on the roads caused by the Lazy B chuckwagon events project should be taken into consideration. It is known that pollution devices on buses do not work effectively at high altitude. Rocky Mountain National Park has made an effort to use shuttle buses with more modern equipment due to this problem. I have seen tour buses in Estes Park that have license plates from states from low altitude spewing out black exhaust. We do not have a law here that allows those vehicles to be ticketed. I understand that there will be buses bringing people to the Lazy B chuckwagon events. I believe as many as 720 people will be attending an event daily. Although they estimate there will be 3-1/2 people per car and 50 people per busload, it is likely there will be only two people in a car. This will increase the cars and exhaust. Since most vehicles will arrive at 5:00 p.m., the idling exhaust while waiting to turn into the property will increase the pollution.

I once went to the Elkhorn Lodge on West Elkhorn a few years ago for a chuckwagon dinner and entertainment. The cooker was a distance away, but the fumes were unpleasant. I enjoyed the entertainment and the food, and I did not believe I would have long-term health problems as a result of being there. They did not have these dinners all the time.

Your Department should look at the big picture as it affects the health and environment of people living and working in that area whether they are within Town limits or outside of Town but in Larimer County. I hope my comments will put a new light on health and environment issues concerning the Lazy B chuckwagon project.

Sincerely yours,

Johanna Darden

Copies to: Estes Valley Planning Commission; Mayor Elect Todd Jersa; Estes Park Board of Trustees (including trustees elect Walker and Marchink)

TO: The Estes Valley Planning Commission

FROM: Debra S. Van Tassel, 2729 Cumulus Drive, Estes Park, CO 80517

RE: Highway 66 – 1665 – Lazy B Ranch & Wranglers Special Review 2016-01

DATE: April 21, 2016



Ladies and Gentlemen,

I attended the April 19, 2016 Estes Valley Planning Commission meeting and spoke during the public comments portion of the meeting regarding the Lazy B Ranch & Wranglers Special Review. There appear to be a number of unanswered questions concerning this application. Due to the level of public opposition I think it unwise to rush to judgment on this issue.

I have a suggestion that I believe makes sense for everyone involved or affected by this proposed application.

It is my understanding from the April 19th Commission meeting that a Temporary Special Use Permit has already been issued to the applicants for the summer of 2016, that customers will enter the venue this summer using the existing Elk Meadows RV Park entrance, and that the applicants do not plan any construction until Phase I in 2017. Perhaps the applicants did not intend to do so but I understood them to state, during their presentation, that the planned phases of construction would occur “if funds were sufficient.”

Based on these understandings, I would suggest that the Planning Commission recommend that decision on this application be continued until October of 2016. (If continuation is not applicable of legal in this case, then I would recommend that the Commission recommend that the application be denied at this time and brought forward by the applicants again in the fall of 2016.)

This delay would allow for several opportunities:

- Owners of both Elk Meadows and Lazy B (as well as owners and customers of The Rock Inn) will be able to experience how well the single entrance arrangement works and perhaps reconsider using the Elk Meadows entrance permanently – thus eliminating the impact of the Lazy B on The Rock Inn. Conversely, the single entrance use may supply evidence that a separate entrance for the Lazy B is truly necessary, not just desirable

2 of 2

- The Lazy B applicants will experience the level of customer interest in their endeavor and be able to measure attendance and income. This information will assist them in their future planning and may, perhaps, change the parameters of their design and application
- Impacts of the Lazy B venue (traffic congestion, air and water quality, quality of life of nearby residents, effects on or by wildlife, etc.) can be monitored scientifically as well as anecdotally in order to measure them accurately. That information will assist the Town in determining what types of restrictions (if any) should be placed on the future expansion of Lazy B and will give CDOT time to study and determine the best solution to increased traffic at several intersections
- Thoroughly advertised public meetings could be held during the end of September and the early part of October to allow everyone time to study and discuss the results of the first summer of operation of the Lazy B.
- The Estes Valley Planning Commission could then review the application and base their decision for a Special Review application on facts and experience, not just on hypothetical speculation, and with the knowledge that the residents of the Estes Valley have been included in the decision-making process

I respectfully submit this suggestion and request that the Planning Commission members give it due consideration as an avenue to satisfying the desires and needs of everyone in the Estes Valley.

Lazy B

2 messages



Mon, Apr 25, 2016 at 8:46 AM

Sandy Nelson <imtired2@live.com>

To: "kthompson@estes.org" <kthompson@estes.org>

We are so excited about the Lazy B opening back up. What a great night of family entertainment!!! We make annual treks to The Bar D in Durango and the Bar J in Jackson Hole, Wyo. To have this same type of entertainment in Estes so close to home will be a treat!

From a strictly financial standpoint, this business will bring people to the Estes area that might not ever come. There is a large group of people who LOVE the old Western style and we are not the only ones who make annual trips to other chuck wagons. What an opportunity to bring new people to the Rocky Mountain Region! This would bring visitors to other businesses in Estes and of course this generates tax revenue. With Lazy B already a recognized name, you already have people who will be returning. And how great to keep business local rather than people making the trek to other places for the same entertainment.

I know concerns have been brought up about the amount of time it would take to serve the amount of people that come to the show/dinner. I would encourage you to call the owners of the other Chuck wagons in the country (there are more than the two I've mentioned) and ask them how they do it and just how long it takes to feed anywhere from 400 to 750 people. 1/2 hour tops!! Ask them other questions. Talk to them about the repeat visitors to their towns just because people want to visit the chuck wagon. The Wranglers from both of the before mentioned chuck wagons travel all over the United States performing during the winter months and their home towns are mentioned at every single show. People make the trip to their towns because of this. Once again, this creates more business for the local businesses beyond the chuck wagons.

We look forward to visiting Estes to see the Lazy B Wranglers perform and plan on making a day of it! We have heard of several new restaurants since we were last there (5 years ago and we live in Fort Collins!) and plan on trying them out for lunch.

Thank you for taking the time to read my letter.

Sandy Nelson

Sent from my iPhone

Karen Thompson <kthompson@estes.org>

To: Sandy Nelson <imtired2@live.com>

Mon, Apr 25, 2016 at 12:26 PM

Sandy -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

[Quoted text hidden]



Lazy B

2 messages

Howell Wright <howell@estesvalley.net>

Sat, Apr 23, 2016 at 11:34 AM

To: Mike Romero <romerom@eptrail.com>, Gary Hazelton <gary@estesparknews.com>

Cc: Michelle Oliver <virtualsupport.oliver@gmail.com>, kthompson@estes.org

Folks, I wanted to add a personal note in support of the effort Michelle Oliver is making to bring back the Lazy B. There has been a concerted effort of late to lay ground work for Estes Park to become better known as an arts community. Art is very much a part of the heritage fabric of Estes Park and the performing arts represented by Western musicians and vocalist are a very important part of that fabric. The Lazy B will present some of the very best in Western music and it will surely be a great attraction for residents and visitors alike. When our children were very young, coming to Estes Park, as summer vacationers, just had to include a visit to the original Lazy B. Michelle has some mighty big shoes to fill to match the entertainment quality of the original Lazy B but I am betting she will take this wonderful part of our heritage to an even higher level. As I always say: "Keep the wind to your back and a smile on your face"-At the Lazy B! Howell



Mission: To support educational initiatives m

that help preserve and/or promote

Western heritage in the Estes Valley.

A 501 (c) (3) Nonprofit Corporation

Dr. Howell F. Wright, Col. USMC (Ret.)

Board Chairman

Estes Park Western Heritage Foundation, Inc.

P.O. Box 2301

Estes Park, Colorado 80517

Cell: 970-231-1738

Foundation Webpage: www.estesparkwesternheritagefoundation.org

Keep the wind to your back and a smile on your face!

Estes Valley Planning Commissioners
Town Hall, PO Box 1200, Room 210, Estes Park, CO 80517

Ms. Betty Hull, chair,
Mr. Doug Klink, vice-chair,
members of the Estes Valley Planning Commission,



I find this letter embarrassing to write, but quite necessary.

I commented during the public comment section of the April 19 meeting concerning the Lazy B proposal. I want to let the commissioners know that my presentation was flawed, and I sincerely regret wasting their time with a flawed map and presentation.

I presented a map showing what I considered to be the Rock Inn's property lines based on the legal description of the property as found on the Larimer County Assessor's website. And, while presenting that map, I cast aspersions on the accuracy of the planning schematics presented by Van Horn Engineering.

However, the map I created did **NOT** include alterations to the property boundary that have occurred over the years – especially regarding the Spur 66 ROW - items that a detailed title search or the deed to the property would have noted. I did not perform due diligence and complete research.

I was able to see an current survey of the Rock Inn property that was very detailed and notated, and it addressed all the issues I thought still needed to be addressed. The planning schematics that Lonnie Sheldon and his staff at Van Horn Engineering produced and supplied for the project accurately and correctly show the current Rock Inn property lines and the adjoining county road ROW.

This is extremely distressing, given my professional work 'history' in the field of computerized mapping and database development that, up to this point, I have been proud of. Again, please accept my apology for wasting your time by presenting inaccurate materials, and please disregard my comments of April 19.

Sincerely,

Ronald E. Thomas
Estes Park

PO Box 586
544 Ponderosa Drive



Karen Thompson <kthompson@estes.org>

Lazy B Ranch

1 message



Chad Matthews <woodkin14@gmail.com>

Tue, Apr 12, 2016 at 9:53 PM

To: kthompson@estes.org, Michelle Oliver <michelle@lazybranchandwranglers.com>

Hi Karen,

My name is Chad Matthews and I am writing to you concerning my support for the Lazy B Ranch Project in Estes Park. I have been working as a Promotions Representative for the Lazy B Ranch; thus, I have been going to all the stores, hotels, and restaurants in Estes Park to talk with the owners/managers about the project. I have never seen so much enthusiasm and support for a business project before. Every single person I have talked to is so excited that the Lazy B Ranch is returning to the Park. From what I have seen and heard, the return of the Lazy B Ranch will be a huge boon to them and to the culture of the city. The Lazy B is an Estes tradition, and is a bastion of western culture that pervades the soul of the town. Please put your full support behind this project, because it would be a crying shame for it to fail.

Yours truly,

Chad Matthews

Support for the Lazy B Ranch!

1 message

David LaSalle <dlasalle@mhclub.com>
To: kthompson@estes.org



Tue, Apr 12, 2016 at 8:16 PM

This note is to express my support for Michelle Oliver and the Lazy B Ranch & Wranglers project. We are recent business owners in the Estes Park but have been property owners for 10 years now. The energy and resources Michelle and the Lazy B team want to invest in promoting the Estes Park economy are much needed. Michelle has been very thoughtful in her approach and the benefits of another unique, job and revenue producing business in town will far outweigh the changes and accommodations necessary to establish and operate the business.

I strongly recommend you approve the Lazy B Ranch & Wranglers project.

David

*David LaSalle, Owner
AdEstes Group, Inc., DBA Rocky Mountain Health Club
PO Box 1975, Estes Park CO 80517
Tel: 210-254-0781
<http://rockymountainhealthclub.com/>*

To Whom It May Concern



I have been surprised and disappointed by much of the casual information that has been making the rounds via facebook, the internet and the rumor mill in opposition to the Lazy B. Surprised, because there are so many statements that have not been accurate.

I hope as the town trustees consider and listen to input from various sources that they remember there is a quiet section (probably the majority) of the public that **does** support new business and family entertainment like the Lazy B even though we don't stomp on town desks and issue threats against and about people with different opinions.

Jane Schoen
660 Cedar Ridge Circle
Estes Park, CO 80517



To Whom it may concern,

In order to help preserve the Authentic western Heritage, bringing back the Lazy B Chuck Wagon will do just that. with the Authentic Western meal and Western music show, the old west will always be alive to those who come and share such an experience. the Lazy B is a family oriented venue.

I grew up at the Flying W Ranch in Colorado Springs, and I know first hand what the experience brings to people of all ages, especially kids, who are growing up today not knowing our history of the West and where Chuck Wagons originated from. They originated from when the cowboy would go on there cattle drives throughout the west. The meal was served at the end of the day and the cowhands and cooks would sit around an open fire and sing songs.

It teaches people of all ages about music and western heritage from Dale Evans, Sons of the Pioneers, and Roy Rogers.

The Lazy B was in Estes Park for over 40 years, and now is a great time for it to return.

Jay Chladek

lazy b temporary permit

3 messages



Wed, Apr 20, 2016 at 7:01 AM

Mark D <mdinep@yahoo.com>

Reply-To: Mark D <mdinep@yahoo.com>

To: "planning@estes.org" <planning@estes.org>

Greetings, I attended the meeting yesterday. I would like to compliment all of you on your attention, patience and compassionate ears and minds that you lent to a lot of people who are very passionate about their neighborhood and quality of life. That being said, I believe that Audam and his staff have jumped the gun by granting a temporary use permit with the Mills Drive entrance as the primary access to the shows. My issue is with the access. The Mills entrance, the turn lane and the loss of The Rock Inn's parking are some of the most contentious issues on the table and it appears that the chuckwagon people have already acquired the access they want without due process approval. It feels as though Audam's office assumed this was no big deal or else did not need any community input on this item. It doesn't seem practical to park cars/buses in that field and expect people to walk to the temporary permitted venue, especially grandparents and ADA. I think this should be looked into. It certainly did not go by without notice. Thank You, Mark Donahue

Karen Thompson <kthompson@estes.org>

Wed, Apr 20, 2016 at 7:32 AM

To: Audem Gonzales <agonzales@estes.org>, Karen Cumbo <kcumbo@estes.org>

FYI.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

[Quoted text hidden]

Karen Thompson <kthompson@estes.org>

Wed, Apr 20, 2016 at 7:33 AM

To: Mark D <mdinep@yahoo.com>

Mark -

Thank you for your comment. I will post it to the Town website under Lazy B Ranch & Wranglers project. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

April 12th 2016

Lazy B Ranch and Wranglers Special Review

To Whom It May Concern:

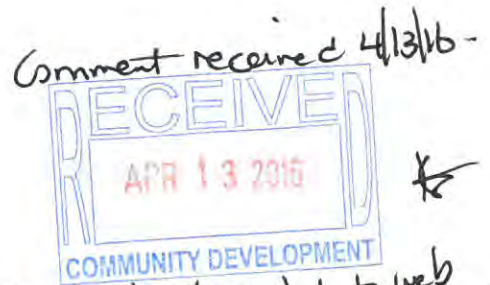
The purpose for my letter to address a few issues and concerns with the proposed Lazy B Ranch and Wranglers development site. The waivers applied for are in direct conflict with many aspects of the Estes Valley Comprehensive Plan, safety and connectivity of the Estes Valley and a severe shortage of housing. As a member of this community, a business owner in the Spur 66 area and property owner, I have seen a few of the potential problems first hand.

Our community has spent valuable resources addressing the need of the spur 66 areas and the Estes Valley as a whole. Housing is considered to be one of most lacking aspects of this growing community. The Big Elk meadows campground is noted as a location to transfer towards housing in the current Estes Valley Comprehensive plan from November 2012. As this property is listed as a means to alleviate some of the housing concerns, would granting several waivers and variances to allow a large-scale event center instead of potential housing be in the town's best interest? The area around Elk Meadows is the only connector for the Spur 66 community and would benefit greatly from pedestrian connections, rather than heavier vehicle traffic. The need for an east to west and north to south connection for the Estes Valley is high on the community needs as well. The future development of housing in the area would effectively be hindered by the amount of commercial traffic increase at the beginning of the area. With the one way in, one way out nature of spur 66, this is not the ideal location for such venues.

I strongly feel a more suitable use for this section of property can be found.

Thank you for your time and consideration on this development issue.

Bryan Gillam
721 S Saint Vrain Ave,
Estes Park, CO



Did not get posted to web
until 4/20/16
☺

TO: ESTES PARK PLANNING COMMISSION 4/19/2016

RE: Public Hearing on Lazy-B Ranch & Wranglers Development Plan

FROM: Mike Egan



Thank You for allowing me the opportunity to make a presentation to the planning commission board regarding my opposition to the proposed Lazy-B Ranch & Wranglers Development Plan. My name is Mike Egan and I have lived in Estes Park for 10 years. This project impacts me in the following ways: I am a partner in S & E Enterprises, one of our family corporations in Estes Park. We own Commercial and Residential rental property at 1755 Moraine Ave (Spur 66). This is the location of Crossfit Estes Park, The Gentle Yoga Studio, Advantage Mechanical and 6 work force rental units. We are in the immediate vicinity of the proposed project and border every property owner on Mills Drive. In addition my daughter – Kerry Egan is the owner of the Rock Inn property at the intersection of Spur -66 and Mills Drive. She has been the owner for over 10 years. She is also a partner in the Rock Inn business. This is one of the properties most impacted by the proposed development although you would never know it from reviewing the Lazy-B application and the Planners review and recommendation comments.

This proposed development will install a turn lane at the Mills drive intersection that will effectively eliminate 16 plus parking spaces for the Rock Inn. These spaces are all on Rock Inn property and have been in use with this configuration for almost 80 years. (Show Photo of parking from 1955). The turn lane will block their use. I don't think I could overstate the parking problem Estes Park has already. Also the widening of Mills Drive will adversely impact all resident parking and driveways to say nothing about the impact of all the additional traffic & noise.

At the first Public Meeting for this project I asked Michelle Oliver why the Lazy –B could not use the existing Elk Meadow entrance to the RV Park for this project. She stated that they could not interfere with the current operations of the RV Park and they cannot use one entrance for two venues. So since it might be a hardship for them to use the existing entrance, it's ok to cause a hardship to your neighbors? And not only does the Development code not prevent two businesses from using the same entrance – it encourages it. It is this type of lack of concern for the impact of this project that has caused people in the community to become so angry.

At the second public meeting which was videotaped, Michelle announced that "Everyone was excited about the Lazy-B coming to town". Well you have received a petition signed by over a 1,000 people that are not so excited about the Lazy-B coming to this particular location. Hopefully you have had a chance to review this along with the hundreds of comments that were posted regarding this project.

Although this has become an extremely emotional issue for the people impacted, your decision I am sure will be made based on the facts presented and compliance with the Estes Valley Comprehensive Plan and Development Code. That is why this should be an easy call for the board compared to some of the other challenges you face especially providing needed work force housing.

The Elk Meadow Campground is currently zoned as Accommodations. Chapter 8 of the amended Estes Valley Comprehensive Plan specifically states that "this campground should evolve into housing". Audem even acknowledges this in his review and recommendations. The Lazy-B proposes a 17,990 sq. Ft. Commercial operation with 192 parking spaces. The project is being presented as an "accessory" use to the RV Park. That would be fine if it was in fact an accessory use like a camp store, laundromat, gift shop, or restaurant. As per Section 4.1B1 of the Development Code "such accessory use is permitted only as accessory to a principal accommodations use and only if such supporting uses are located inside the same structure as the principal use. **Stand alone commercial or retail uses will not be permitted in this accommodations district**; instead such uses may be developed in the other commercial zones. To call this an accessory use to the RV park would be a stretch considering the scope and who will be served. "That is the reason this is a Special Review Project". **Here I would suggest that this project application be rejected due to non-compliance with the Estes Valley Comprehensive plan** and recommend that the town of Estes Park consider leasing space to the Lazy-B at the recently constructed public venue facilities at the fairgrounds which are zoned properly for this activity and are a perfect match. (I think the town may have missed an opportunity here).

However in the event the board does wish to approve this project at it's the current proposed site I ask that you evaluate the impact the project will have on **adjacent properties** as required by both the Estes Valley Development Code (Section 3.5) and the State Highway Access Code (Section 3.11). This impact analysis has not been done by the applicant, the engineer or the planning office. This is required even for "Special Review" projects. Since a major part of the adverse impact is the turn lane and the widening of Mills Drive, please consider requiring the Lazy-B to use the existing entrance to the Elk Meadow RV park for this project. This would resolve most of the impact issues. Also Spur 66 is a county road, not a state highway, so I believe the board would have wider discretion on the turn lane decision.

Please keep in mind that if this project is approved it will be surrounded by neighbors that are opposed including the national park. Please don't let the big money do all the talking. Listen to your community. Thank you for your careful consideration of this matter.

363

The Rock Inn

MOUNTAIN TAVERN

HOMEMADE FOOD.

CHARBROILED STEAKS.

COLORADO
MICROBREWS.

FINE WINES, SPIRITS,
COFFEES & TEAS.

DINE & DANCE

***OAKHURST** - ROCKY MOUNTAIN GUERILLA GRASS
FRI. DEC. 28TH 9:00 PM

***NEW YEARS ROCKINN' EVE**
WITH **GLENTUCKY FUNKDOWN!**

RESERVATIONS ACCEPTED

LIVELY
MOUNTAIN LODGE
ATMOSPHERE

Rock Inn Circa 1955

OPEN DAILY
AT 4PM

970.586.4116
WWW.ROCKINNESTES.COM

1675 HWY 66
ON THE WAY TO THE YMCA

Submitted by Ron Thomas

1 of 4

Rock Inn legal description as listed
in the Larimer County Assessor's database.
(red line with labeled metes/bounds)

"accepted as boundary corner"
'accepted' by who?

Found stake
w/ unreadable cap
at West corner

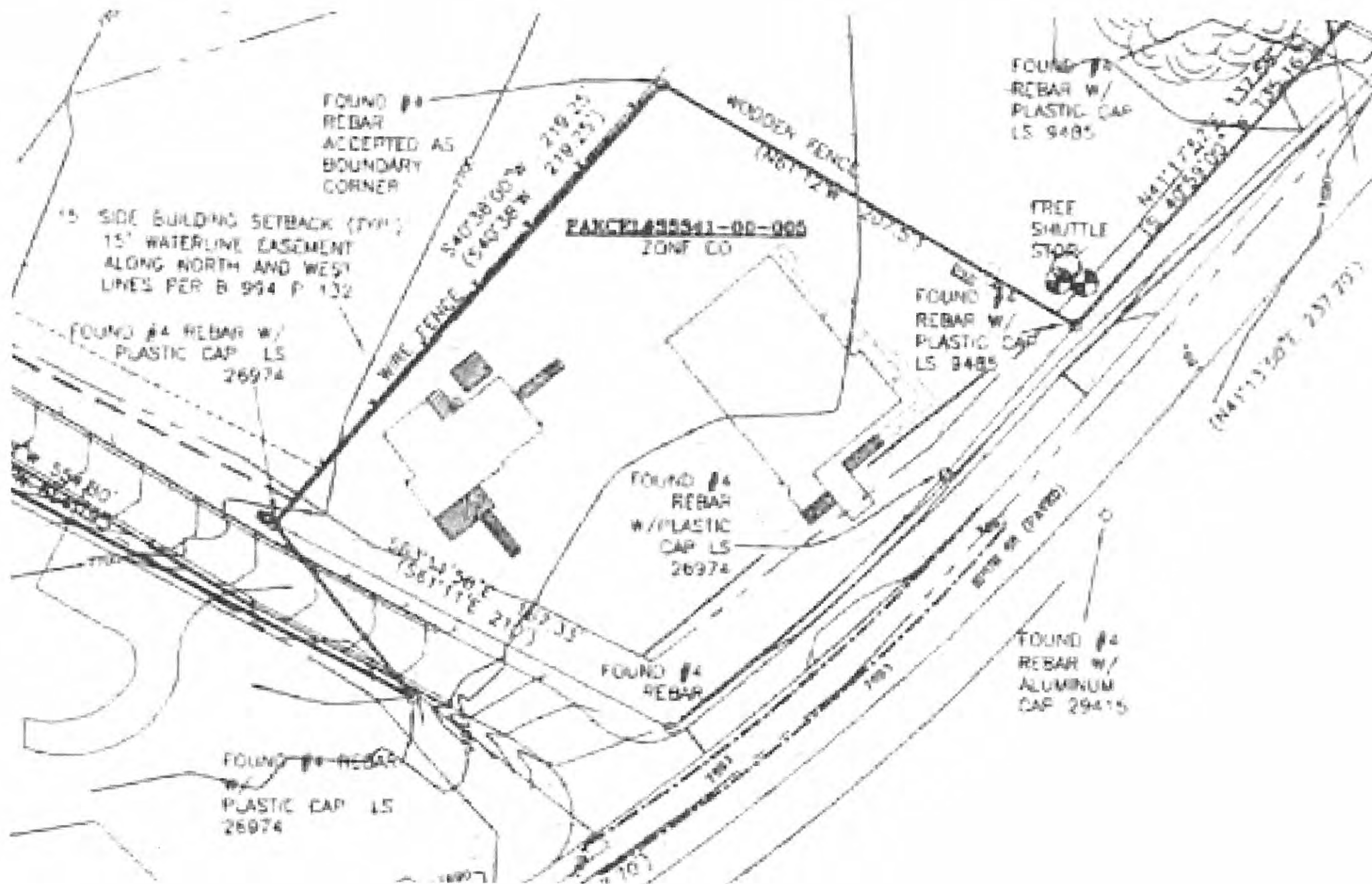
Approximate location of "found rebar"
shown on engineering drawings -
~ 165 ft from West corner



Source: Esri, DigitalGlobe, GeoEye, Earthstar
Getmapping, Aerogrid, IGN, IGP, swisstopo,

Metes/bounds work performed with the coordinate geometry
(COGO) functionality of ArcMap 10.4
- Ron Thomas - GIS Specialist - 25+ yrs exp.

284





384

This is the stake located at the southwest corner of the Rock Inn property. Note that there is no way to read a LS number on the remnants of its plastic cap.



General Information

Parcel Number: 35341-00-005

Tax District: [3047](#)

Property Tax Year: 2016

Schedule Number: R0578096

Current Mill Levy: 74.139

484

Owner Name & Address

PARKVIEW ENTERPRISES LLC

1675 HIGHWAY 66

ESTES PARK, CO 80517

Subdivision #: /340573 - S34 T05 R73

Neighborhood #: 361

Legal Description:

BEG AT PT S 24 3' W 1239.3 FT FROM NE COR 34-5-73, S 40 38' W 219.25 FT TO UTIL RD R/W, S 61 11' E 210 FT TO MORaine PK RD, N 40 E 218.7 FT ALG CEN RD, N 61 12' W 207.5 FT TO BEG, 1.049 AC

Property Address

1675 HIGHWAY 66

ESTES PARK 80517-0000



Karen Thompson <kthompson@estes.org>

Urgent - Lazy-B development plan - from Johanna Darden

1 message

Bill J. Darden <bdarden@uchicago.edu>

Tue, Apr 19, 2016 at 8:57 AM

To: "kthompson@estes.org" <kthompson@estes.org>

April 19, 2016

Hi Karen,

I found my comment along with the many others concerning the Lazy-B development plan on the Town's website. However, part of the comment was omitted. Please post this again so it will be read by the Estes Valley Planning Commission. My name was even left off of my comment. I am adding more to the previous comment, because I believe this development will impact more than the residents and the Rock Inn.

"I vote NO on the Lazy B Ranch and Wranglers Development Plan. It's poor planning and reeks of "money talks." The Rock Inn is a great place to go to enjoy a relaxing fun time with friends and musicians. The area around it contributes to this uncongested, low traffic, nighttime environment. Support for the Rock Inn that has been thriving in the Estes Valley since I began coming here in 1977 should not have negative impacts on their business or the neighborhood (Mills Drive) nearby. -- Johanna Darden, 501 Mac Gregor Avenue, Estes Park, CO 80517

To increase the number of tourists along the Hwy 66 corridor will complicate evacuation in case of fire. When the danger of fire occurred in the High Drive area a couple of years ago, the people at the YMCA were not permitted to leave. There was not an adequate plan to get the people along Hwy 66 evacuated in the event the fire could not be contained. To my knowledge this problem still exists. Property owners who insist on their rights to develop their land should be required to accommodate changes that are needed on their property only and within existing ordinances. Development plans should stay within the zoning and comply with current ordinances governing the property. This concept of placing conditions on development plans that allow the Board of Adjustment to play a major role in determining whether a project is approved is an inappropriate way of allowing a project and a way of abdicating the responsibility of the Estes Valley Planning Commission. I would have added my name to the list of people who want to keep tour buses out of neighborhoods as well. Ten years ago Estes Park was not a tourist town even though tourists visited here. So the idea that people who do not want excessive tourism should go elsewhere is ludicrous. Less is more!

Please do not allow this project as the owners have currently requested. -- Johanna Darden, Full-Time Resident of Estes Park"

Lazy B Ranch and Wranglers development

1 message

Bob Buford <bobbuford@earthlink.net>
To: kthompson@estes.org

Mon, Apr 18, 2016 at 4:35 AM

TO: Karen Thompson, Executive Assistant

RE: Lazy B Ranch and Wranglers development



As the former MC for the original Lazy B Ranch under the ownership of Tom Justin McCloskey, I would like to express qualified support for the Lazy B Ranch and Wranglers project. Having lived in Estes Park for over 25 years and having owned or been involved in a number of businesses in town including Columbine Inn, Mountain Song Music, Aspen Lodge, the Rocky Mountain Nature Association, and Summertown Recording Studios, I understand the unique nature of the relationship between the private, business, and government sectors in the town. Over the years, former Town Finance Officer and close personal friend, Steve McFarland and I worked on a number of proforma projects for various compaines and individuals seeking to open new businesses in the town.

During my tenure at the original Lazy B Ranch in the early 80's I met families every day during the summer season who had been coming to the ranch for years, even decades for some. To these people the Lazy B was a "must do" experience as part of their annual summer vacation to Estes Park. Many family memories and scrapbook photos were created during the years the Lazy B was in operation under Tom's ownership. I still get letters and emails from families who were guests of the original Lazy B Ranch. Most of them are from folks who were children at the time of their visit, who still fondly remember the wonderful times they had with family and friends at "the B." Before Tom passed away he gave me a VHS copy of a full Lazy B show taken by a friend and regular guest which I digitized and posted on YouTube for all the many fans who'd been our guests over the years. Quite a number of people have viewed these videos and commented or wrote me directly expressing their family memories and fondness for the Lazy B Ranch. It was a much-loved institution in our town.

Although I no longer live in Estes Park, I do visit frequently, and I still produce music albums for Cowboy Brad Fitch. I understand what Estes Park means to the people who come to the town and what lifelong memories their visits will provide for them over the decades to come. For this reason and everything I've stated, I think the town would benefit greatly from the revival of the Lazy B Ranch. I know that there are objections and concerns regarding this project, but there always have been with new projects in the past and will, no doubt, continue to be in the future. However, I think if the developers approach the project with a goal of making it at least as good as the original Lazy B, the town will benefit greatly. Thousands of visitors will be able to create new memories with their families which will bring them back to Estes for many more decades to come. This is no small task, however. The original Lazy B Ranch operation set a high bar for any would-be entrepreneur, and matching its success would provide a significant challenge for even the most experienced developers. Still I believe it's possible to recreate the experience for town guests **if the project is done well**. It is with these considerations in mind that I offer support for this project. I have faith that the town managers and board members will determine the appropriateness and quality of the new Lazy B Ranch experience which the developers are seeking to provide.

Sincerely,

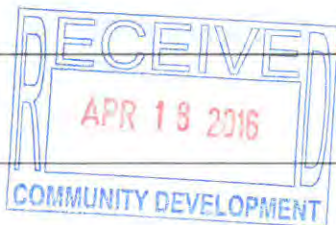
Bob Buford, Producer
Summertown Recording Studios
Longmont, CO
(970)231-9386



Karen Thompson <kthompson@estes.org>

Lazy B

1 message



Scott Wilseck <swilseck@q.com>
To: kthompson@estes.org

Fri, Apr 15, 2016 at 5:03 PM

For years I have been hearing neighbors and relatives talk about going to the Lazy B chuckwagon dinners. The most common thing you hear is, "I wish they were still doing that."

I have heard that the Lazy B chuckwagon dinner is going to be "re-born". I hope you can support the efforts of whoever is putting this endeavor together.

Thank you.

Scott. Wilseck

please vote NO!

1 message

Betty Hodges <drbettyb@gmail.com>
To: planning@estes.org

Thu, Apr 14, 2016 at 5:14 PM

In regard to the proposed Lazy B development involving Spur 66 highway, we trust you will see the negative effects that would result from its fruition. We have been forced to evacuate twice in recent years on Spur 66 as a result of fire and flood, the only option for those of us living on this route and are appalled at the idea of hundreds more people added to the already extreme difficulty of emergency passage. To make a turn around for large buses in front of the Rock Inn is not feasible for many, many reasons enumerated by others, and there are other, better options.

Sincerely

Betty and David Hodges

2725 Cumulus Drive

Estes Park, CO 80517





Karen Thompson <kthompson@estes.org>

Lazy B Ranch and Wranglers

1 message

BobbieB <bobbiebrown745@aol.com>

Fri, Apr 15, 2016 at 1:33 PM

To: "kthompson@estes.org" <kthompson@estes.org>

We are so excited to hear that the Lazy B Ranch and Wranglers will open in Estes Park. My family is coming from out of State to celebrate graduation, and everyone is excited about the Lazy B. I think it is great to have another tourist attraction, but also one that the locals can enjoy.

Bobbie and Mike Brown



Sent from Mail for Windows 10

Lazy B Ranch and Wranglers Development Plan

1 message

Donna Egan <dmcde@hotmail.com>

Fri, Apr 15, 2016 at 12:59 PM

To: "kthompson@estes.org" <kthompson@estes.org>

Hello Karen,

Would you please see that the attached memo is posted for the Planning Commission to read? Thank you.

To: The Estes Park Planning Commission

From: Donna Egan, Estes Park Resident

Date: April 15, 2016

Subject: Lazy B Ranch and Wranglers Special Review Development Plan

I have reviewed the Staff Report and Agency comments on the Lazy B Ranch and Wranglers Special Review Development Plan.

I strongly urge the Commission to do their homework, in addition to reviewing this document.

The item which seems to be minimized in this report is the overwhelming opposition to this proposal, not only from adjacent businesses and home owners but from throughout the community. Could it be both support and empathy driving this opposition....if it happens on Mills Drive it can happen in my neighborhood also?

This report continues to overlook the devastation to a neighborhood. The proposed road widening and turning lane will cause undo hardship to these homes and business.

Section 3.11 of the State Highway Access Code requires "turn lanes not knowingly cause a hardship to an adjacent property". In this case hardship is an understatement. Devastation might be the correct wording.

Please go out to Mills Drive and take a look at the proposal. Also, take a look at the existing campground entrance. At the prior meetings, I heard 3 different reasons why Lazy B can't use this entrance. So far, none make sense to me.

Thank you for your time,

Donna Egan



Lazy B

1 message

Jan Holdorf <estespiper@hotmail.com>

Fri, Apr 15, 2016 at 3:11 PM

To: "kthompson@estes.org" <kthompson@estes.org>

Love The Lazy B Ranch and Wranglers. I can't imagine it going away after all the work they have done to get it going again.

It's just a great experience. I know I enjoyed my time there. It's so Estes Park! Please don't make it go away.

Sincerely,
Jan Holdorf

Sent from my Verizon, Samsung Galaxy smartphone



Re: Lazy B

1 message

Richard Anderson <guestmt@yahoo.com>
Reply-To: Richard Anderson <guestmt@yahoo.com>
To: "kthompson@estes.org" <kthompson@estes.org>

Fri, Apr 15, 2016 at 4:13 PM



From: Richard Anderson <guestmt@yahoo.com>
To: "kthompson@estes.com" <kthompson@estes.com>
Sent: Friday, April 15, 2016 3:05 PM
Subject: Lazy B

To Whom it may concern, This should be allowed [Lazy B Wranglers]. Wholesome family entertainment, considerate hours, congeniality, tourist dollars to the town of Estes Park, and an added calling card for the town of Estes Park. I have enjoyed the previous show and would enjoy this one. And I might add so would many others.
Respectfully, Rich Anderson

Please forward to all planning commission members

1 message

Jay Vetter <jaymillsd@gmail.com>

To: planning@estes.org

Thu, Apr 14, 2016 at 6:04 AM

Thanks for your service on the planning commission.

If you are out on Mills Drive to look over the location of the proposed Lazy B Ranch and Wranglers feel free to stop by and check things out from our perspective. We live at 1711 Mills Drive - our front door is about 100' from the proposed building. Ring the door bell and if we aren't home feel free to sit a while on our porch.

Jay Vetter 586-3896





To Estes Park community,

As a local business owner and resident I feel the need to add my humble opinion about the 'controversial lazy b ranch'. I believe that the entire community is totally dependent on the tourist industry for our living in Estes Park. If you don't want tourists you're in the wrong town. Without an industrial foundation there is no economic means of support. Is there any one here who does not depend on tourist dollars? The economy has to be balanced to provide housing, jobs, services, food and activities. The town of Estes has done a remarkable job of promoting events to draw tourists to the area. We have lodging, dining, shopping, recreation, entertainment and host of support services for the multitudes of tourist who want to stay and enjoy our many attractions. I have had many conversations with visitors who want to know more about ways to enjoy Estes. I have had the good fortune to vacation in Colorado Springs some time back and learned that it was one of the country's first vacation destinations. One of the major attractions I visited was the flying w ranch (a venue similar to the lazy b). I felt it was the highlight of our trip. When I heard about the lazy b I thought it was a wonderful idea and a perfect fit in our town. My business education and background has taught me that additional entertainment and dining establishments do not take customers away from existing business but instead compliments other similar venues and gives the customers more incentive to come to Estes because we offer more variety. I hear that most of the opposition is in fear for a loss of business for the rock inn. I absolutely would not want the rock to lose any business. But I would think that the rock would benefit from any overflow from lazy b and vise versa. Last I heard the town is pro business and pro growth. I support a property owner's right to do what is legal with their land. Those concerns about noise and light pollution and traffic congestion should be addressed as zoning issues or fire safety issues. If these are up to spec and pass inspection then that should suffice. The way I hear it the rock has existing parking issues and lazy b offered to help. Sounds like a good neighbor to have. So, unless I am missing some compelling news of infringement on locals' rights, I have to support lazy b and would like to welcome their venue to Estes Park.

Thank you

John Sliwinski

April 12, 2016



To Estes Park Planners:

I Would like to express my opposition in the Lazy B development plan. I have lived in Estes Park since the summer of 1999. I consider myself a local resident, which in my opinion, is defined by a person living in Estes Park year round, every day, working, volunteering, and interacting with other residents, business owners, and tourists alike. When I moved to Estes Park, I had just finished college with a degree in Park and Recreation Management. I was educated in sustainable development, and my passion was to educate others about our precious National Resources we are lucky to live within. I have worked as a Park Ranger for Rocky Mountain Park, was an Outdoor Education Instructor, Volunteered in the Park, and established and maintained environmental practices for a company that has businesses in Estes Park. Let's just say I've had many opportunities interacting with tourists and locals on sustainable development and tourism. Our community is heavily affected by millions of visitors who primarily visit to enjoy nature, see wildlife, take pictures, fly fish, hike, camp, and love to enjoy the peace they receive from nature. Many of these tourists have expressed to me their concern with development. I am an advocate of sustainable tourism and planning that will have a light impact on a natural area. I believe it is the communities job to protect along with the citizens and various businesses. We all have a role in the towns outcome in the future.

The location of the proposed Ranch is Mills Drive, at an existing RV Park. This area is in close proximity to Rocky Mountain National Park, year round residents, the YMCA, The Rock Inn, and a studio which provides classes to youth including gymnastics, karate, dance, and fitness. I have witnessed cars backed up for miles in this same area, creating frustration. I myself sat in stop and go traffic just to commute to work. I experienced at working with other Park Rangers to help relieve traffic and park cars so those visiting wouldn't just park anywhere and disrupt vegetation and wildlife. Bringing more car and tour bus traffic to this already extremely used road infrastructure, will not be sustainable. Improving and widening roads and building parking lots will not relieve this problem, but add. I have also seen tour buses collide with curbs, lamp posts, and almost take out pedestrians on the corner of Elkhorn Ave and Moraine Ave. It is an already dangerous intersection and hard for large buses to make the turn appropriately.

We in Estes Park know that weather changes rapidly. Many tourists and myself flee the park when it starts to rain. Lightning can occur at any moment. How are emergency crews to respond to accidents, emergency rescues and fire management, when the roads are so full of cars they are not getting through in a timely manner. This I see as a safety issue.

We locals have all witnessed wildlife getting in to trash cans, This location is approximately 10 miles or so, from the National Park. Wildlife as we know, grazes in this area looking for food sources. Garbage, cooking, and liter all attract wildlife. With a large venue to serve hundreds of people, what's to stop wildlife from wondering into the area? They love to dig through trash, it's an easy source of food.

Cont., page 2

Without education, tourists think it is ok to feed the animals as it is. Is this venue going to educate the staff and guests on wildlife dos and don'ts. There is a far more chance of human interaction with animals when food is present. This venue will bring noise, lights, traffic, to this area. Years ago, humans hunted grizzly bears, and wolves in this area. These animals no longer exist here. The Elk have no real predators, which has impacted the ecosystem several ways. Elk are eating more Aspen, disrupting food sources for animals like beaver. Beaver create dams and ponds for water sources and wetland wildlife. Because of our actions years ago, we are now seeing the affects. At what cost to the ecosystem will this cause?

Sustainable tourism development is committed to making low impact on the land. I would like to see our community strive to use this as a planning guide. This guideline emphasizes use of local food sources, local employment, road crews, materials for construction. What will be outsourced to business outside of Estes Park? Is this venue going to support tourist education regarding nature and wildlife? Are they going to recycle, offer regional cuisine, wildlife management, emergency plans, environmental plans? Besides income to this business, how much of this income will local businesses and citizens see? Is this the only plot of land investigated or is the most cost effective to the developers? What are the impacts of this in 10, 20, 50 years down the road? I hope the town thinks very carefully and is cautious on this proposal. In my 17 years of residents here, I have seen businesses come and go, while employment has been greatly affected in the winter. Is it worth it to "pave paradise for a parking lot" Let's not forget why tourists and locals alike live and visit here. Rocky Mountain Natational Park... To experience serenity in mountain lakes, fish the streams, see wildlife some have never seen. I hope that money doesn't triumph over a place that can not be rebuilt. Change is inevitable, but we as humans have intelligence to go forward sustainably, to benefit all who live and visit.

Sincerely,

Julie Cuklanz,

Estes Park Resident

Lazy B Ranch and Wranglers Development Plan - Please Vote NO!

1 message

Patricia Cohen <mpma@aol.com>
To: Planning@estes.org

Tue, Apr 12, 2016 at 4:30 PM

We want to add our voices of support for the owners and employees (as well as many loyal customers!) of the Rock Inn and the nearby residents on Mills Drive who would be affected by the Lazy B Ranch and Wranglers Development plan.

It does not seem reasonable to endanger one or more businesses who are (excellent) known quantities by disrupting the safety of their parking for another which is completely unknown. We have to wonder (if you are going to vote for this plan) why the existing entrance to Elk Meadow isn't used?

We understand (without having seen the plans for this enterprise) that Phase one does not address the requirements of ADA.

The Rock Inn is a great place to eat, and we have loved being able to proudly take a number of out of town visitors there. We frequently overhear other diners commenting on not only what good food they are enjoying, but the friendly service, and fun atmosphere they are encountering. We have heard it to be a defining Estes Park experience for locals and visitors alike. We hope you will not jeopardize this wonderful asset of the community.

We sincerely hope your vote on the Lazy B Ranch etc. plan is NO.

Maurice C. Cohen, AIA
Patricia Cohen
2324 Carriage Dr.
Estes Park, CO
80517



April 12, 2016

Estes Park Community Development Department
PO Box 1200
Estes Park, CO 80517



RE: Lazy B Ranch and Wranglers Special Review

To Whom It May Concern:

This letter is intended to describe our concerns about potential adverse impacts that could result from the proposed Lazy B Ranch and Wrangler event center. We believe the proposed site design is the primary cause of these impacts, specifically the design to route traffic onto Mills Drive instead of the existing entrance to the property. We also believe the proposed phasing plan using a tent would have a disproportionate impact on the surrounding properties.

As longtime Estes Park residents, parents, workers, property owners, business owner and employer, we are fully invested in Estes Park. We own Sun Cottages, located on Mills Drive across from the proposed Special Review use. We purchased Sun Cottages in 2005 and have since invested significant personal and financial capital in the property. We purchased Sun Cottages as a long-term financial investment and have consistently provided long-term housing for residents of Estes Park.

As nearby property owners, we desire to see the neighborhood develop in a responsible manner that is a success for individual property owners, neighborhood residents, and Estes Park in general; the proverbial win-win outcome.

If successful, the proposed entertainment facility would positively impact Estes Park's economy. At the same time, a successful but unmitigated facility would negatively impact surrounding land uses and public facilities. A win-lose outcome, with the nearby land uses and public facilities bearing the brunt of the impacts.

Our chief concern relates to unmitigated negative impacts to Mills Drive and the "Rock Inn" intersection with County Road 69B. The issue of the turn-lane is an apparent conundrum of paramount concern:

- If installed:
 - It would not be built to proper specifications.
 - It would negatively impact the existing entrance to the RV park.
 - It would have a significant negative impact on the Rock Inn.
 - It would alter the decade's old Rock Inn parking and "create a hazard to pedestrians or motorists, invite or compel illegal or unsafe traffic movements or block or alter access to adjoining properties or uses." (Ap. D.III.B)
- If not installed:
 - It would add delays for traffic going to the YMCA, Windcliff, the Dunraven and the Estes Park Campground.
 - It would require a stop-sign on County Rd 69B.(Spur 66)
 - This is why the turn-lane is warranted.

- Either way the introduction of commercial traffic to Mills Drive would be a substantial change from the historic use as a service entrance to Rocky Mountain National Park and would without a doubt negatively impact land uses located on Mills Drive.

We believe the site design could be amended to resolve this conundrum by installing the warranted turn-lane as the approach to the existing RV park entrance. This would eliminate imposed impacts to Mills Drive, the Rock Inn, and County Rd 69B. This would have the added advantage that existing traffic to the RV park would have a turn lane and could in fact reduce the overall impact of the property on County Rd 69B.

Our secondary concern relates to the phasing plan.

- The development code allows major entertainment event centers in the Accommodations zone district, but only 'indoor facilities'. We believe the phased tent concept violates the requirement for indoor facilities.
- Because a noise study was not submitted, the potential impact of using a tent to contain the amplified sound and audience cheers cannot be determined and no mitigation techniques can be proposed. Without a noise study, it is impossible to determine if the phased project can comply with the Town's noise ordinance, which could lead to enforcement problems.
- We are concerned about the potential for half a building to remain unbuilt, and potential for the temporary tent to become permanent.

If infrastructure funding is a concern, perhaps the use could locate at the new events center for the first 2-3 seasons until capital can be raised to fully mitigate the potential impacts.

Additional comments are outlined in an attachment.

In summary, we believe:

- The proposed site design has several potential impacts on nearby land uses and public services.
- The site design does not mitigate these impacts to the maximum extent feasible as required by the development code.
- The proposed design creates the impacts; specifically, the design to direct traffic onto Mills Drive instead of through the existing entrance as required by the development code.
- The proposed phasing plan will create additional impacts to the neighborhood.

Because of this, we respectfully request the Planning Commission recommend disapproval of the current site design.

Respectfully,

Charles and Christina Santagati



Additional Questions and Comments:

- Table 4-7 of the development code requires "to the maximum extent feasible, the number of curb cuts shall be minimized by consolidation, shared driveways or other means."
- The driveway and street design standards in the development code specifies shared driveways are "strongly encouraged" (ApD.III.B.6).
- We believe the traffic study required by EVDC 5.1.C does not fully assess the impacts of the proposed use on existing roads, intersections and circulation patterns, does not demonstrate compliance with the traffic facility standard set forth in §7.12 of the EVDC, and does not set forth mitigation measures to eliminate or substantially reduce such impacts. We believe a turn-lane at the existing entrance to the RV would eliminate such impacts.
- Two of the requested variances seem to be at odds. One request is for reduced parking requirements, and justifies this request by referencing the public transit system. But another variance request is to waive connectivity standards to the transit stop.
- The loading dock is designed such that it fronts Mills Drive; this location appears to result from using Mills Drive as access point. Landscaping is proposed to provide a visual buffer, but this will have little impact on noises of truck backing up and workers loading and unloading equipment and supplies.
- We are concerned about potential impact of year-round use. Once approved, the venue could be used for any number of events, such as concerts or weddings. What is impact if the operation is successful and expands into a year round operation, with events 200-300 nights a year?
- We are concerned about potential change to hours of operation. The Statement of Intent notes activities between 5-8 PM. Does this include deliveries, trash pick-up, and employee activities?
- Phase Two proposes expanded hours of operation, but does not indicate what these will be or any future approval process.
- We are concerned about potential use of firearms in western shows, as has occasionally occurred at the Elkorn Lodge. The development code specifically prohibits the use of firearms at such events. The Statement of Intent does not to speak to this issue.
- We question the long-term impact of approving this special review use.
 - The recent Estes Park Housing Authority study quantifies the long-term trend and need for workforce housing; should this land that allows housing as a use-by-right be instead dedicated as an unproven entertainment venue?
 - The EVDC does not provide for any new RV parks, which makes this a limited resource. What is the impact of losing these RV spaces?

DATE: April 12, 2016

TO: Estes Valley Planning Commission

FROM: Maureen and Jay Vetter, 1711 Mills Drive, Estes Park, CO

RE: Addendum to February 24, 2016 Public Comments



This is an addendum to the comments we sent in February in anticipation of the hearing that was set for earlier on Lazy B Ranch and Wranglers application for a special permit to build a Major Indoor Entertainment Venue on the property located at 1665 Hwy 66.

It has been clarified to me that the Spur 66 Management Plan that I cited is obsolete and the current Estes Valley Comprehensive Plan is the one guiding us now. On pages 74-79 of the draft plan it includes the Spur 66 Neighborhood Plan. On page 78, it states, "The commercial campground at the Spur 66 Park entrance intersection should evolve into housing."

Two of the waivers that are being requested have to do with required setbacks. They appear to be necessary to fit the building into the space. In one instance the developer wants to avoid putting loading areas at least 110' from the center of the street (Section 7.11.2.b). Their location on the plans is only about 110' from our front door! Another waiver requested is from providing the required number of parking spaces. The proposal also states that they will dedicate a new 20' utility easement and an additional 15' of R-O-W along the south property line. I do not believe that there is 65' of space between the south property line and the SE corner of the proposed building. Could it be that they are proposing to put this facility in a space that is not large enough? Their application states that the lot size is 30+ acres. Surely they could find room for it without asking for development code requirements to be waived.

We have had time to review the Wetland and Wildlife Impact study reports. It seems to me that both were hurriedly done without much actual gathering of data. In one instance the ground being frozen was cited as a reason. They appear to have been done over a very short period of time in late fall or early winter. I also note that they were done by the same person who is listed as the project engineer on the application. This leads me to wonder about a conflict of interest. Could more thorough studies be ordered?

We object to the issuance of a temporary use permit that allows for an entrance to be established on Mills Drive. This seems inappropriate when action on this application has generated so much public concern. A very permissive application of the EVDC was made to grant this permit without governing body review.

Section 4.4 - A.1.a of the Estes Valley Development Code reads as follows: A Accommodations/Highway Corridor Zoning District. This district implements the "A-Accommodations" land use category set forth in the Comprehensive Plan. It applies primarily in highway-oriented commercial areas of the Estes Valley, and allows a wide variety of accommodation uses, including relatively higher-intensity accommodations such as multi-story hotels and motels. A variety of related tourist-serving retail and commercial uses, such as restaurants, bars and gift shops, will be permitted, but only as accessory uses to a principal accommodations use and only if such supporting uses are located inside the same structure as the principal use. Stand-alone commercial or retail uses will not be permitted in this accommodations district; instead, such uses may be developed in the other commercial zones.

Our request to you is that you deny this application and advise the applicants that "such uses may be developed in the other commercial zones."

Thank you for considering our objections.

April 12, 2016

Lazy B Ranch



To whom it may concern:

I would like to make it clear that the Lazy B Developers have not presented a single parking solution to The Rock Inn. Although Lonnie Sheldon, of Van Horn Engineering, stated in the second public meeting that they are working with us, this is completely untrue. Until that meeting, I had never met him and have not heard from him since. Michelle Oliver has been very public about saying she has paid for 4 different parking solution designs. When I met with her and Randy Jackson, I was told by Randy that his partner in the RV Park was not willing to allow the Lazy B to use any more land other than what is on their current plans.

Thank you for your time and consideration of my concerns.

Tim Roemer

Rock Inn

970-586-4116

Note from the Community Development
Department:

The following 82 pages were submitted by Tim
Roemer on April 12, 2016.

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. L'Anya Perkins	2750 Notatah Rd.	
2. Chris Iafra	2750 Notatah Road	
3. Aranda Soto	2750 Notatah Rd.	
4. Anastacia Galloway Reed	2750 Notatah Rd	
5. Patricia Jobst	2750 Notatah Road	
6. Helen Higgins	2750 Notatah Rd.	
7. Jo Ward	2750 Notatah Rd.	
8. Monserrat Alvarez	2750 Notatah Rd	
9. Melissa Fournier	2750 Notatah Rd	
10.		

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name


Address

Additional Comments

1. Daniel Madison ~~2250~~ 510th GRAND ESTATES DR
2. Ally Bolger 2750 Notaraiah Rd Estes Park
3. Raphael Haber 112 W. Elkhorn Ave
4. Todd Rubick 158 Second St. Estes Park
5. Adam Elkins 158 second St, Estes Park
6. Jeannie White 5261 westminster dr. St. myers, fl 33911
7. ANDREW White 5261 westminster dr. St. myers, fl 33911
8. Bear (Dave) 225 PLane Estes
9. Janet Johnson 2750 Notaraiah Rd Estes Park
10. Beth Ellis 2750 Notaraiah Rd Estes Park

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Dana! Lawson	23654 W. Hwy 34 Drake, CO 80515	
2.	Linda McKee	2704 Sunrise Ct.	
3.	Nancy Larned	1195 Fish Creek Rd.	
4.		1195 Fish Creek Rd	
5.	Karen Johnson	1220 Lower Broadview Rd	
6.	SETH A NASER	849 A TURQUOISE TRL, EP	
7.	Sarah Naser	15747 State Highway 7, Lyons 80540	
8.	Linda Rogers	1515 Raven Ct-Unit C Estes Park	
9.	Jacie Ullrich	1255 Juniper Dr. EP	
10.	Chad Bailey	PO Box 33114 EP CO	Bad location

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. MARK DONAHUE M Donahue	2246 Eagle Cliff Rd E.P. CO.	IT IS CRIMINAL TO IMPACT THE ROCK INN FOR THE BENEFIT OF THE CAMPGROUND OWNERS,
2. Rene ARCHAUBAULT	9820 Hwy 7 A.P. CO 80510	
3. Kim Ginniger Kim Ginniger	3021 RCR E.P. CO 80517	Use your own driveway Acce SS
4. Kacey Largent Kacey Largent	ACGI Bx 33107 E.P. CO 80517	
5. Barbara McQuate	251 W. W. V. Dr. E.P. CO 80517	
6. SEAN E STEVENS	1000 US Hwy 36 Estes Park, 80517	
7. Bill Munch	2124 McGraw Ranch Rd Estes Park, CO 80517	
8. Michelle Munch	2124 McGraw Ranch Rd Estes Park, CO 80517	
9. CARLA PEPERSON	720 Lander St Estes Park, CO 80517	
10. Patricia L. Donahue 2246 E	2246 Eagle Cliff Rd. Estes Park, CO, 80517	The Entrance has always been on Hwy 66 and should stay there - people and wild life

will be negatively effected if not.

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Susan Hamilton	713 Kiowa Rd LYONS CO.	Love XALL! But don't infringe on the open space + wildlife + Fire dept.
2.	Gary Hamilton	713 Kiowa Rd Lyons, CO	
3.	Jenna Martin	125 Boyd Ln EP, CO	
4.	BRIAN KAEPLINGER	125 BOYD LN EP, CO	
5.	Mark & Barbara Smith	145 Cherokee BT EP, CO	
6.	GARY Bloom	2211 Larkspur Ave	Can anyone put economic effect to exist. business?
7.	Melinda Bloom	2211 Larkspur Ave	PLEASE DON'T DESTROY OUR TOWN!
8.	Paul W. Snyder	1000 Whispering Pines	
9.	Dallas Massey	1000 Whispering Pines	
10.	Roger FANKHAUSER	2704 Sunrise Ct EP-	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. John Murphy	PO Box 124 EP	"...Hardship to an adjacent property." Sums it up.
2. Mary Murphy	PO box 124 Estes Park	Use existing entrance to not affect the neighborhood.
3. Paul Tackman	536 Ponderosa Estes Park	To busy for this part of town.
4. Timothy Buck	2258 Eagle Cliff Rd P.O. Box 2058	Bad idea - too big!
5. Shawna Rogers Bailey	PO Box 33116 Estes Park, CO 80517	Bad location too big
6. Annette Berg	1751 Wildfire Rd Estes Park, CO 80517	
7. Annette Berg	1751 WILDFIRE RD ESTES PARK, CO 80517	HARDSHIP FOR ADJACENT PROP- ERTY
8. Emily Thawers	453 E Wonder View #173 EP, CO 80517	I Don't like it
9. Michelle Thomas	453 E Wonder View #173 EP, CO 80517	Hardship on adjacent properties
10. Jason Lykins	453 E Wonder View #173 Estes Park, CO 80517	This will Negatively Affect other Businesses + homes!! Use the entrance you have!!



KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | | Name | Address | Additional Comments |
|-----|--------------------|---|---|
| 1. | Dan M Miller | 800 Fawn Ln | NO |
| 2. | Megan Platz | 820 Fawn Ln EP CO 80517 | F*** NO |
| 3. | Allicia Ortiz | 17319 E. Caticent
Fountain Hills, AZ 85268 | |
| 4. | Heather Scherflier | 15409 E. Palomino | |
| 5. | Carmen Reel | 1809 Red Tent Hawk Dr
EP CO 80517 | NO |
| 6. | Steven Vogt | 870 209 Fish Creek Rd. E.P. | No |
| 7. | Jody Doweck | 624 Solomon Dr. EP, | |
| 8. | Pamela Lambert | 4313 Sundance Circle | |
| 9. | Zenar Cullen | 435 Sundance Circle, EP | I don't want to listen to additional drunk people when I'm drunk. |
| 10. | Christine Wilkins | HC 61 Box 33215
EP | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | | Name | Address | Additional Comments |
|-----|---|-------------------------------|--|
| 1. | JAMES CRAWFORD | 653 SNOWY MOUNTAIN DR, E0515 | STOP NOW!!! |
| 2. | STEPHEN CRAWFORD | 653 SNOWY MOUNTAIN DR, E0515 | STOP!!! |
| 3. | Andrea Vitullo | Box 204 Drake CO 80515 | Don't do this. make the other exiting entrance work. |
| 4. | Julie Cuklanz | PO BOX 3141, Estes | No NO and NO! think about it!! |
| 5. | CJ Bowers | 727 Ponderosa Ln, EP | |
| 6. |  | 727 Ponderosa Ln. EP | |
| 7. | Jim Rosch | 5229 E. Hill Valley Dr EP | |
| 8. | Angela Koehler | 1460 Prospect Mountain Dr EP | |
| 9. |  | 786 Palmer St. Denver, CO | |
| 10. | Sherrie Dureis | 1715 MILLS DR. ESTES PARK, CO | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Jessica Block	465 Wonderview Ave Estes Park CO 80517	
2. Nancy L. Alford	2700 Carnegie Dr 80517	Do it in adjacent area - off 30 near Jellystone - or The Elk Horn Ranch
3. Joel [Signature]	1715 Mills Dr #4	
4. Jeff Johnson	1715 Mills Dr	(Jeff Johnson)
5. Robert Smith	own: 1715 Mills Dr	No?
6. Donnie Smith		"
7. Jay Vetter	1711 Mills Dr. E.P.	
8. Maureen Vetter	1711 Mills Drive	Estes Park CO 80517
9. Stephani Kassuth	Estes Park	
10. Sandra D Towns (Towns)	Estes Park	Please consider the Environment

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Mary Lou Harger	1910 Baldpate Ct.	This development destroys what Estes Park is about
2. Kenneth R. Harger	1910 BALDPATE CT.	
3. Julie Cockneel	2358 Colorado Hwy 66	
4. James E. Krenzel	2380 US Hwy 34	
5. SANDY Chockla	3145 Fish Creek Rd	Business should not be able to affect another
6. BILL CHOCKLA	3145 FISH CREEK RD	
7. Wendy Wilkinson	8109 Boulder River Blvd. McKing Twp	
8. Kim Henderson	2845 Kiowa Trail	
9. Alan Henderson	2845 Kiowa Trail	
10. Claudia Farber	241 Lott St.	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Carolyn Cromer	1112 Grant Jack	
2. Mr. Ham Hall	731 Eagle Ln EP, CO	
3. LAURA CUNE	1031 MORGAN ST	
4. OAKLEY CUNE	1031 MORGAN ST	
5. Nancy Watson	1843 Hwy 66, E. Park	
6. Earl E. Watson	1843 Hwy 66, Estes Park	
7. Deborah Watson	905 Bulwark Ridge	
8. Del E. Watson	1137 Griffith Ct.	
9. Nancy Dineen	PO Box 167, Glen Haven CO	No Buses! No taking others' property!
10. Deb Penning	2051 Sharon Ct S	No Buses

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Michele Bratschun	1000 US HWY 36, EP, CO	
2. David Nelson	1000 US HWY 36, EP, CO	
3. BOYD MOODY	1000 USA HWY 36 EP, CO	
4. Kristen Moody	1000 Hwy 36 EP, CO	
5. Philip Thomas	318 Walnut Denver Co.	
6. Greg Miles	103 Berthoud Dale 1060 S. ST. VRAIN AZ EPCO	
7. Anne Pierson		
8. Nathan Santiago	544 COULMBINE AVE?	
9. KAY RUSK	2283 EAGLE CLIFF RD -	USE EXISTING ELK MEADOW ENTRANCE
10. John P. GLADMAN	540 UNIT 2 BIRCH AV 80517	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Chris Radey	665 Freeland Ct. EP, CO 80517	
2. Paul Meyers	656 Aspen Ave E.P. CO 80517	
3. Heather Novak	18236 W. 3rd Avenue Golden CO 80401	
4. Andrew Novak	18236 West 3rd Ave #4 Golden, CO 80401	
5. Steve Sauer	143 Pole Hill Rd. EP Co. 80517	
6. Vanessa Sauer	143 Pole Hill Rd Estes Park 80517	NO WAY!!
7. Jason Sauer	1434 S. Growers Dr. Milliken, CO	NO!!
8. Sally Sauer	1434 S. Growers Dr. Milliken, CO	NO!!
9. Mindy Crallaker	429 Sundance Circle Apt E Estes Park, CO 80517	A true hardship on the Rock Inn's business!
10. KAYLEE McPHERSON-DOSS	PO Box 4352 Midland, TX 79704	As someone who visits here annually, I think this is a terrible idea!

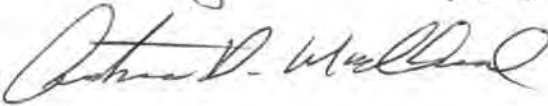
KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Johnny Doss	PO BOX 4352 Midland, TX 79704	Don't do it! ▽
2. Jessica Hall	3048 S. Grant St Englewood CO 80113	Please don't
3. Janed Hall	3048 S Grant Englewood CO 80113	Don't do it
4. Rebecca Weis	1600 Wapiti Cir ESTES PARK CO	
5. William Childers	1600 Wapiti Cir. #32 Estes Park Co	Keep the Parking!
6. Richard Palmer	125 Wte Ln Estes Park, CO	Don't allow it!
7. Neal Wiseman	1755 S. Saint Vrain Estes Park, CO 80	" " "
8. Bob Taphorn	Estes Park, CO	STOP!!
9. MARTIN VITALLI	BOX 204 DRAKE CO	
10. John Crawford	653 SWANSON AVE ESTES	NO!!!

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. JO PENCE	Estes	Jo P
2. GREG Rodenmeyer	1010 S. ST VRAIN E.P.	Greg
3. Stacey Gielert	12947 CR 21 Hartum CO	Stacey Gielert
4. 	5648 S. Quater CT. Centennial, CO 80015	
5. Joe Prangley	6102 S. Temple Way Centennial, CO 80015	Why?
6. Phil Gelernt	12947 CR 21 Hartum, CO	Why?
7. Shelby Rogers	Estes Park	Bad location Fire station on Mills Drive
8. Justin Jones	Estes Park	Dont Do It!
9. Devin Jacobs	1361 DANA DR. ESTES PARK 80517	WE DONT NEED IT!
10.		

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Cynthia Elkins	158 Second Street	Estes Park CO 80517
2.	Shirley Schwartz	1431 High Rd. 3092 uninc!	Estes Park CO 80517
3.	Christina Fleming	4321 Hale Plwy #105	Denver, CO 80220
4.	Lauren Holak	3255 Fish Creek	ESTES PARK, CO 80517
5.	Alex Harris	3255 Fish Creek	Estes Park, CO 80517
6.	Rachel Hofress	3255 Fish Creek	ESTES PARK CO 80517
7.	Nare Carpenter	520 Verner Dr	EP CO 80517
8.	Suzanne Carpenter	520 Verner Park Rd.	Estes Park CO 80517
9.	Denise M. Dunn	19 Pipers Canyon	Glen Haven CO 80532
10.	Derry Dunn	19 Pipers Canyon Rd.	Glen Haven, 80532

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Tracy Overton	2586 Cottonwood Rd North Liberty, IA 52317	REALLY - A CHUCKWAGON VS. ROCK INN GET REAL!!
2. Cathy Overton	"	I've been coming here for 56 years. Please don't do this!
3. Ben Furmanik	3441 Juniper Trail Estes Park, CO 80517	The Rock Inn is an Estes Park Landmark!
4. Jan Furmanik	3039 Castle Heights Ave Los Angeles, CA 90034	
5. Mark Sandoy	2810 Jewel Lane Plymouth MN	We've been coming for 21 yrs. This does not belong on little Tunnel Road
6. MARY LOBERG	2810 Jewel Ln Plymouth MN 55447	
7. Nicholas Money	1880 N. Ridge Lane Estes Park CO 80517	
8. Rick O'Neil	PO BOX 665 EP 80517 1056 Fall River Court Estes 80517	
9. Debbie Jensen		
10. Kathy Fleming	935 Hilda Ct St Louis, MO 60174	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Andrea Wilson	192 Adams Way Sayville NY 11782	- This will hurt the local economy - Keep Estes as natural and un-commercial as possible!
2. Mark Wilson	192 Adams Way Sayville NY 11782	
3. Lucas Blough	2234A Eagle Cliff Estes Park CO	- Where are the Elk, deer and other wildlife going to go?
4. Tom Boehler	2234A Eagle Cliff Estes Park CO	
5. Chris Watters	1155 S. Vrain Ave., Apt 3-6 Estes Park, CO 80517	- Feeding families in large quantities in a tent every night will attract wildlife in a hazardous way. What about wildlife being attracted towards residential areas!!?
6. Bryant Hezelman	1600 Ironhorse Dr # B204 Longmont, CO 80501	WHERE WILL THEIR EMPLOYEES LIVE?
7. ALEX HODGES	170 MORaine AVE EP 80517	THIS WILL DISRUPT WILDLIFE!!
8. William Welborn	767 LAUREL RD EP 80517	
9. Jamie Welborn	767 LAUREL RD EP 80517	
10. Jenna Melisa	1755 Hwy 66 EP CO 80517	- This is the last & secluded area of E.P. Please don't disrupt this area.

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|------------------------|---|--|
| 1. Mike Noftsgen | 1751 Hummingbird
Estes, Park 80517 | Pls Contact. |
| 2. Matthew Shaffer | 1755 U.S. 66 E.P. CO 80517 | SCREW 'EM WE WERE
here first and tourists suck
plus the old folks have bought
up all housing for vacation rentals
so where will employees live |
| 3. Jill Schladweiler | 1723 Mills Dr #5
EP, CO 80517 | Poorly planned, lacks
foresight |
| 4. Greg Glasgow | 460 W. Prospect Mtn Dr
Estes Park, CO 80517 | |
| 5. Pat Glasgow | 460 W. Prospect Mtn Dr.
Estes Park, CO 80517 | |
| 6. Mary Ellen Bonfield | 605 Cedar Ridge Cir
E.P., CO 80517 | |
| 7. Walt Bonfield | 605 Cedar Ridge Cir
E.P., CO 80517 | |
| 8. Danell Vignaud | 744 Skyline Dr. EP 80517 | |
| 9. Dorian Dyer | 170 Elm Rd E.P. CO | |
| 10. Rebecca Betterline | 66 Bonce School Rd
Lyons CO 80540 | 6 year employee of
Rock Inn. Please
consider impacts on
local workforce. |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Lynn Stepaniak	1082 Fall River Ct	
2. Dennis Stepaniak	1082 Fall River Ct.	
3. Lauren Stepaniak	1442 Raven Cir.	
4. Kathy Stepaniak	1442 Raven Cir.	
5. Ralph Stepaniak	1442 Raven Cir.	
6. Marcy Busniery	1861 Raven Ave.	
7. Keith Abbott	910 Rockwood Ln, Estes 80517	
8. TAYLOR ANDRES	city hole 705 mokane ave 80517	
9. Claire Floegman	701 Columbine Dr 8515 Tunnel Rd, Estes Park, CO 80511	
10. Maury Thomas	627 Pershing Hwy	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Mark Owen	2410 Carriage Dr EP, CO.	They could easily use the R.V. Campground entrance w/o damaging an existing, established restaurant
2. Sharon Owen	2410 Carriage Dr. EP, CO	
3. Ambree Zuba	720 Landers St EP, CO	The logistics have been contradicted and there are plenty of existing buildings that would be better locations
4. Ann Ball	EP, CO	
5. Nick Koc	Meadow View Dr. Estes Park, CO	
6. Stephanie Bridges	PO Box 20700 Estes Park, CO	
7. Suds Suder	→ same	
8. Miranda Montes	→ SAME	
9. Nichol Ee Cat	visiting from #2	
10. Matthew Ludlow	← same	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Donnie Moltensen	2956 Glenwood Boulder, CO 80301	Keep Estes Local!
2. Rachael Simpson	2315 Spruce Ave Estes Park, CO	Nobody wants a chuck wagon!
3. Angelina Carlson	2315 Spruce Ave Estes Park, CO	
4. TIM FAUSSET	841 BAKER ST LOUGHBOROUGH CO 80501	WHAT ARE YOU THINKING? NO ONE WANTS a chuck wagon.
5. James Davis	Boulder CO	
6. Richard McQuate	251 Mt. View Lane Estes Park	
7. Janelle Vorreiter	2325 Blaine Dr Cherry Chase MD 20910	
8. Dad J...	2325 Blaine Dr Cherry Chase MD 20910	
9. Jennifer Be...	277 Baker dr EP, CO 80517	are you kidding me! @
10. Rio Roman	730 Ramshorn DR Estes Park, CO 80517	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. VLAD Vizitiu	24378 E Kansas Circ AURORA, 80018	Leave the Green Place and more place to Wild Life
2. Kirsten Ketner	615 Rue de Fleur Crete Coeur, Mo 63141	Respect wildlife!
3. Josh Ketner	" " "	
4. Rudy Kovic	730 LONE PINE EP 80517	
5. Jan Alderman	730 Lone Pine EP 80517	Leave Estes as is!
6. Greg Lake	PO BOX 1 SLATER CO 81653	PLEASE
7. John Trabue	1656 Highway 66 Estes Park CO 80501	970 646-5751
8. Robin Lovejoy	830 Rockwood Lane Estes Park, CO 80517	970-567-9080
9. Craig Lovejoy	830 Rockwood Lane Estes Park, CO 80517	970-646-5036
10. Sharon Christy	4242 W. 124th Pl Alsip IL 60803	

3/30/10

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. <i>Timothy Shaw</i>	6465 Hwy 36 Estes Park	Please don't sacrifice the Rock Inn for the chuck wagon.
2. <i>[Signature]</i>	1730 Raven Ave #6 Estes Park	
3. <i>[Signature]</i>	1365 Bradley Estes Park	That's not right
4. <i>[Signature]</i>	918 Christmas Tree Ln Estes Park	We lived at multiple addresses on Mills NO!
5. Jenna Kuiken	266 Ski Rd. Allenspark, CO	
6. <i>[Signature]</i>	5306 West A Street Greely, CO 80634	Not cool
7. Josh Magid	542 Aspen Ave Estes Park, CO 80517	Keep buses out of the neighborhood!
8. Theresa Ward	1755 State Hwy 66 "Cabin" Estes Park	I don't want to hear this in my back yard!
9. Brad Polachik	1755 State Hwy 66 Estes Park, CO	
10. Ashley Goodken	37 Meadow View Dr. Estes Park, CO	People's Intruding on people's property, businesses & land for wildlife

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. CLAIRE HANSON Claire S. Hanson	105 INDIAN TR., EP 80517	
2. Clayton M. Goss Albert	2358 Co Hwy 66, EP, CO	
3. Ruth Kaufman	637 SKI RD	Not needed - keeps it the way it is
4. JIM FASSET	536 PONDEROSA DR	
5. Dylan Sperte	2410 Carriage Dr EP.	
6. Leta Sperte	4215 N. Drinkwater Blvd. Scottsdale AZ, 85251	
7. Nancy Sprunger	1294 Northwestern Longmont 80503	
8. Mark Wegner	Papillion, NE	- <u>Don't mess this up!!</u>
9. Danni	Scottsdale AZ 85242	
10. Charles Money	1830 N. Ridge Ln. EP, CO	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. <i>Jenny Blockman</i>	1585 Saint Paul St. Denver, Co. 80206	<i>Please do not Allow This Mountain Town, To Become a laughing Stock in the mountain Community</i>
2. <i>Cristina Maguire</i>	1001 Ramhorn Dr. Estes	
3. <i>ANDY MAGUIRE</i>	1001 RAMSHORN DR	
4. <i>TARA Sonnenberg</i>	1112 Giant Track Rd EP, CO	<i>POLLUTION !! STOP THIS NOW!</i>
5. <i>Michael T. Egan</i>	135 TIMBER LAKE	
6. <i>Joe Pullen</i>	500 Elm Ave Estes Park, CO 80517	
7. <i>Emily Pullen</i>	500 Elm Ave ESTES PARK CO 80517	
8. <i>Gary Hall</i> <i>[Signature]</i>	731 Eagle Lane Estes Park Co 80517	
9. <i>Melanie Hall</i>	731 Eagle Ln EP CO 80517	
10. <i>Karen Kimura</i>	12 Second Street Crested Butte, CO 81224	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Dale Vrobee	1141 KORAL COURT ESTES PARK, CO 80517	LAZY B RANCH AND WRANGLERS DEVELOPMENT PLAN IS OUTRAGEOUS!! PLEASE VOTE NO ON THEIR DEVELOPMENT PLAN.
2. Carol Friedrich	Time share owner 3 wks at Ram's Horn Des Moines IA	Gorgeous area, love the elk that hangs out here. Hate to see more development.
3. John Fairchild	Time Share - 3 weeks at Ram's Horn	Don't clutter the area - we will stop coming.
4. Dorene Herschen	5699 Mango Ln. Hilliard, OH 43026	Love neighborhood as is. Wildlife would be affected -
5. Mark A. Howard	Use Ram's Horn for getaways 4405 W - 37th Ave DENVER CO 80212	enjoy watching elk, quiet, etc.
6. Anne Kundtz	14805 Henderson Rd Boulder CO 80510	Leave the Rock alone!
7. Mary Ann Kundtz	1705 Ptarmigan Trail Mary Ann Kundtz E.P. CO	
8. Chassidy Glaze	603 Aspen Ave. C3 Estes Park	Parking at this great EP establishment is hard enough already - don't make it harder to enjoy local culture!
9. Jon Yagla	911 S. 7th Ave Iowa City, IA 52240	
10. Lindsay Anson	2780 Fall River Rd. Estes Park, CO 80517	Don't let a new business destroy a staple in our community!!

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | | Name | Address | Additional Comments |
|-----|-------------------------|--------------------------|--|
| 1. | Pam Verdigan | 533 Grand Estates Dr. | |
| 2. | Carlos A. Rojas Morales | 1835 61st Hawk Ct E.P. | |
| 3. | Gerardo Rojas Duarte | 950 Old Ranger Dr. | |
| 4. | [Signature] | P.O. 1074 Estes Park, Co | |
| 5. | MARILYN K. ANDERSON | 1703 MILLS DRIVE | we will lose almost 6' of our property just for even more TRAFFIC in our <u>neighborhood</u> ! |
| 6. | OTIS ANDERSON | 1703 MILLS DRIVE | |
| 7. | Burt Anderson | | |
| 8. | 1703 Mills Dr, | | |
| 9. | | | |
| 10. | | | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Justin Kearney	1055 Morgan St	
2.	Jolene Grady	153 Davis	
3.	Tommy Elleg	1609 High Dr.	
4.	Edwin Hernandez	185 Virginia Ln	
5.	Mitchell R Cola	385 Riverside Dr	
6.	Mary K McSice	1510 Raven Ct. Unit D	
7.	Risa Jolly	645 S. Saint Vrain Ave	
8.	Alfred	567 Little Bear Cr M.	
9.	Larry Jure	1915 Dry Gulch rd. EP	
10.	JOSEPH SNOW	410 COLUMBINE AVENUE EP	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Beverly Cooper	Fall River	too much work many unknowns
2. Randy + Teresa Hinkle	Blackhawk Lodge 1750 Fall River Rd	
3. D. G. Lerner	600 Moccasin Cir Dr. Estes Pk Co. 80517	
4.		
5.		
6.		
7.		
8.		
9.		
10.		

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Danny Fleming Danny Fleming	2730 Wildwood Dr.	
2. Gene Daniels Gene Daniels	560 Ponderosa Dr.	Estes Park Colo 80517
3. KAREN DOBOS	37 MEADOWVIEW DR	ESTES PARK, CO 80517
4. Amber Daniels	560 Ponderosa Dr.	Estes Park, CO. 80517
5. MICHAEL KOC	837 Ponderosa Lane	Estes PK., CO 80517
6. Lisa Koc	837 Ponderosa Lane	Estes Park Co 80517
7. Billy Miller	541 Lone Pine	80517
8. Taylor J Phillips		Estes Park
9. Laura Holden	1220 Big Thompson	Ave EP, CO 80517
10. Joe	1220 Big Thompson	Ave EP, CO 80517

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | Name | Address | Additional Comments |
|---------------------|-------------------------------|---------------------|
| 1. Michael Kingston | 2401 Larkspur ave | — |
| 2. Jesse Ryan | 6771 Hawk 43
Glen Haven CO | |
| 3. G. H. Higley | 540 McGregor | — |
| 4. Rev. Don Thomson | 1721 Olympian Ln. | — |
| 5. Suzanne Mayo | 265 Lookout St. | |
| 6. Judy Seider | 3409 LONGVIEW DRIVE | — |
| 7. Kenneth Arnold | 750 South Lane | |
| 8. Claudia Connelly | 508 GRAND ESTATES DRIVE | |
| 9. Kari Hagan | 1580 Fall River Rd. | |
| 10. Mike W. Hall | 1160 FALL R. VER RD. | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name

Address

Additional Comments

1. *Mark Easton* 2085 Middle High Drive
EP

2. *LaShelle Lyman* 2085 Middle High Dr
Estes Park

3. *Ale Moxe* 2880 S. Locust
Denver 80222

4. *Cheryl Samuels* ~~815 Riverside Dr~~
Estes Park, CO

5. *Pat Cohen* 2324 Carnegie Dr
EP, CO 80517

6. *Manny Cohen* 2324 Carnegie Dr
EP, CO 80517

7. *Mary Robinson* Estes Park

8. *th* 1231 Chasm Dr.
Estes Park CO 80517

9. *Erik Dalton* 427 W Colorado Ave
Telluride CO 81435

10. *Maggie Basson* 427 W Colorado Ave
TELLURIDE, CO 81435

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

- | | Name | Address | Additional Comments |
|-----|-------------------|-------------------|---------------------|
| 1. | Alissa Anderson | 1008 Hiteaway Ln. | Estes Park |
| 2. | B Wens | 2270 CARK SPUR AV | |
| 3. | N. Almond | 551 Pawnee Dr. | Estes Park |
| 4. | Laura Gamble | 670 Pinewood Dr. | Estes Park |
| 5. | Laura Larson | 251 Haugen St | Allenspark |
| 6. | Nannette Chisholm | 2750 Notovich Rd | EP |
| 7. | | | |
| 8. | | | |
| 9. | | | |
| 10. | | | |

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Elissa Martin		
2.	Herdi Thomas		
3.	Lay Rosen Thal		
4.	Lizzie Adams	2030 S. Sharon Ct, Estes	
5.	Candice Mohr	Estes Park	
6.	Kimberly S. Mueuch	1301 Meadow Lane EP Co	
7.	Pamela Seaver		
8.	Marlene R. Kneiss		
9.	Evelyn Thelcke		
10.	Stacey Adams	CrossFit Estes Park	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Ken Thomas	1755 Highway 66	I never was notified about Lazy B Ranch intentions,
2. Adam Becker	1755 Highway 66	
3. Perry Egert	1675 Hwy 66	<u>No!</u>
4.		
5.		
6.		
7.		
8.		
9.		
10.		

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. beatriz salazar	512 St. Vrain Lane	e.p., CO 80517
2. John Guffey	561 Chapin Lane	Estes Park, CO 80517
3. Susan Amico	POB 254 allenspark CO	80510
4. Burt Bowles	2750 NOTAICH RD	ESTES PARK CO 80517
5. Jimmy Friskey	2750 Notach Rd	Estes Park, CO 80517
6. Jacques Faurie	Box 3551	Estes Park, CO 80517
7. DAN BONDI	2750 NOTAICH RD	EP CO
8. Hulbert Smith	2750 NOTAICH RD	EP CO 80517
9. Matt Bynum	2750 Notach Rd	EP, CO 80517
10. Jeff Liddle	2750 Notach Rd	EP CO 80517

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Lonnie Eskine	1960 Baldpate Ct Estes Park CO 80517	
2. R. THAD Quesad	2750 NOTIAH RD. E.P. CO 80517	
3. Meg Tokunaga-Scanlon	2750 Notiah Rd EP, CO 80517	
4. Juan Torres	2750 Notiah Rd. EP, CO 80517	
5. Catherine Parker	2750 Notiah Rd EP CO 80517	
6. Mark Jacob	2750 Notiah Rd EP CO 80517	
7. Claire Oliphant	2750 Notiah Rd	
8. Dan Hoffmeyer	EP CO 80517	
9. Ryan R. Baker	580 SCOTT AVE EP CO 80517	
10. Michael Petri	4111A Stanley Ave, EP, CO 80517	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Graham	Estes Park	
2. Anne VOGT	P.O. 922 Estes Park 80517	
3. JANICE CURNY	PO BOX 105 EP CO 80517	
4. Jeannie Bass	5261 Westminster Dr, St Marys, FL 33919	
5. Kim Carson	314 BIG HORN DR E. P.	
6. alex wessel	PO BOX 605 EP	that space can be used for many other purposes that space
7. CHRIS KRAMER	430 Big Horn Dr	
8. Becky Poore	2750 Notaihan Rd. Estes Park	
9. Brigid Scanlon	2750 Notaihan Rd. Estes Park	
10. Erica Acosta	512 St. Vrain Lane Estes Park CO	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Derek K. Van Artsdalen	507 St. Vrain Ln. Estes Park, CO	
2. Greg Yager	Box 4014 EP CO 80517	Don't do it !!!
3. Eli Roehl	P.O. Box 2357 E.P. CO 80517	"
4. Kurt Johnson	1386 Fall River Rd. EP, CO	
5. Bria Quaintance	3255 Fish Creek Rd. Estes Park CO 80517	
6. Nancy Bell	1881a Fall River Rd Estes Park, CO 80517	
7. Robert Stewart	863 Turquoise Trail Estes Park CO	
8. Sue Hing Siegrist	863 Turquoise Trail Estes Park, CO	
9. Erica Querns	1551 S. St. Vrain Ave Estes Park, CO	
10. Lindsey Lewis	HC 61 Box 33109 Estes Park, CO	

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Jason P Seaver Jason P Seaver	2264 Eagle Cliff Estes Park, CO	
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Alison Iqbal	1702 Ptarmigan Trail ESTES PARK, CO	
2. Sandra Iqbal		
3. Ashley Prow	202 8th Ave Longmont	
4. Coley Gieger	" "	
5. Allie Johnson	12150 Washington Center Pkwy THORNTON, CO	
6. John Winter-ton	" "	
7. Patrick Thornburg	2601 Baker Dr. Estes Park, CO 80517	
8. Pete Maxwell	553 W. Elkhorn	
9. Dana Maxwell	" "	
10. WADE TRAPP	307 Derbyshire Sumner IL 62226	→ A signature for transparency and all parties with a voice before a decision is made.

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

Name	Address	Additional Comments
1. Meryl Royce	1707 Mills Dr.	This will take my parking space I will not have anywhere to park my car.
2. SHIVA SHRESTHA	184 E ELK HORN	
3. Shiva Shrestha	8800 Cottonail Rd,	Mountain towns like estes need to stay small, Historical in nature
4. Brad Greer	555 Prospect Ave	
5. Charles Greer		
6. Zach Greer		
7. Sami Smith	208 Riverside Est 80517	" "
8. Shiva Shrestha	2307 Greeley Dr Loveland CO 80538	
9. Bri Reng	1735 Prospect Mt. Drive	
10. Salvatore		Estes Park is about history taking the Rock INN will take from our historic community

KEEP TOUR BUSES OUT OF ESTES PARK NEIGHBORHOODS

We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.

	Name	Address	Additional Comments
1.	Joe Delaney	9985 Highst	
2.	Mike Kelly	1707 Mills Dr.	
3.	STACY GEIST	218 2ND AVE	
4.			
5.			
6.			
7.			
8.			

change.org
The Rock Inn

Recipient: planning@estes.org

Letter: Greetings,

Keep Tour Buses Out Of Estes Park Neighborhoods

Comments

Name	Location	Date	Comment
Robin Brunk	Longmont, CO	2016-04-01	I work in Estes and frequent this establishment often....and think it's a shame you may put Local people out of a job...Take up a collection to get the Water main...instead of allowing some non local person to take over
Emily Potter	Strasburg, CO	2016-04-01	I stay in this area every year and we always visit Rock Inn one of the few great gems in Estes. Something like this in this area is a terrible idea especially given the very poor planning.
Jean Patterson	Fort Hood, TX	2016-04-01	I am a supporter of the Rock Inn's rights.
Donna Elston	Estes Park, CO	2016-04-01	There isn't enough room in Estes for the buses that already frequent our town in the summer months....I would really like the town to start prioritizing starting with us homeless locals that keep this town running in the first place.
Allison Rodgers	Estes Park, CO	2016-04-01	Stop trying to ruin my home!!! Between this and the loop...there is a reason that people visit Estes and there is a reason people live in Estes. Stop destroying it! I support the Rock Inn
Nicole Smith	Fort Collins, CO	2016-04-01	I used to live in Estes and think poorly planned development plan would only add more headaches to an already busy town. The Rock Inn is one of those local spots that many people frequent year after year and this kind of development would hinder not only the Rock Inn but likely the Dunraven Inn as well as access to the other businesses on Route 66.
suzi greenfield	Loveland, CO	2016-04-01	As a 35 plus year resident of Estes Park and a frequent visitor to the Rock Inn in opposed to the stupid plans this newcomer wants to do that will affect so many in a harmful way
Anne Cooper	Loveland, CO	2016-04-01	The Rock is a historical place that already lacks parking. This is a busy establishment year round and they need all the parking they can get. Please don't take that away from them.
Kurt Friederich	Telluride, CO	2016-04-01	While I lived in Estes Park I frequently visited the Rock Inn and lived in the immediate area, though not on Mills Dr. Eliminating the parking in front of the Rock Inn for a turn lane would create an unnecessarily dangerous situation at the entrance of the restaurant and inconvenience the restaurant and its patrons. Why compromise an established, successful, popular, and locally owned business for another that is not established or proven in the town? Additionally, though I did not live on Mills Dr., I frequently visited friends who lived on the street and increasing traffic on the road would eliminate the quiet nature of the neighborhood in my opinion.
kate ellard	Boulder, CO	2016-04-02	This new business idea seems to lack much in the way of planning. So why should ep planning dept quickly approve such major changes to an historic area? Focus your efforts on changing the code for signage for well established businesses downtown. Let this new business prove itself for 3 years before you go approving major changes and exceptions
Julie Akers	Omaha, NE	2016-04-02	Love the Rock Inn - it's already difficult to find parking during tourist season and on weekends year round. Please do not destroy a thriving business.
Jackie Welch	Canton, OH	2016-04-02	I'm signing because the Rock Inn is an amazing place for locals and visitors!
Brad Klein	Estes Park, CO	2016-04-02	I have a business up the street from the Rock Inn. We don't need more traffic on that road.
Judie Phillips	Salem, IL	2016-04-02	My daughter lives there and I am familiar with this Inn. I would hate to see it ruined or left with no parking. I know it's busy during tourist season, but it's also a lot of people's home.

Name	Location	Date	Comment
Vicki Papineau	Estes Park, CO	2016-04-02	This area is zoned for housing! Unsafe traffic, intrusive lighting, noise and air pollution would result next to RMNP and in a residential area.
Pat Cleeland	Estes Park, CO	2016-04-02	City planners should protect small businesses. The Rock Inn is a gem!
Amanda Mills	Livermore, CO	2016-04-02	I've been coming to Estes since I was a child and I hate what is happening to it. When I first moved to Colorado permanently, we lived in Drake and the Rock Inn was our regular place. Keep this place and this town from turning into the next Vail or Breck. Keep the local places local.
Jill Schladweiler	Estes Park, CO	2016-04-02	Don't destroy my neighborhood, don't build what you don't need and Estes, don't approve business plans that lack an actual plan!
Julia Underwood	Wichita, KS	2016-04-02	The Rock Inn by far is the best and most popular restaurant in Estes Park. Seems like there would be a better solution. Don't bring back the loop idea either. We have been homeowners since 1920s and am sure concerned about recent planning efforts in our town.
Mike Holmes	Estes Park, CO	2016-04-02	This seems to me to be the typical Estes Park planning or lack thereof. I loved the Lazy-B but this is not the way to bring it back, by destroying local businesses and neighborhoods.
Kim Carlson	Estes Park, CO	2016-04-02	I can't believe how much this town is selling out. From hurting great small business and not worrying about keeping workers in housing. Our greed is going to ruin us.
Stewart Card	Des Moines, IA	2016-04-02	Our summer residence is just up the road on Eagle Cliff. 66 is in no way suitable for continuous bus traffic nor is the area suitable for that amount of noise. The Rock Inn and its parking area should not be infringed upon
Amy Hathaway	Denver, CO	2016-04-02	We have been visiting Estes for years and never miss stopping in at The Rock. Great food, great music and great people. We always feel welcome. We don't want to see a single thing change! It is our home away from home.
Lois Scott	Estes Park, CO	2016-04-02	I like the idea of a chuckwagon in Estes Park but see no reason to take away the Rock Inn parking in front or cause the Mills Drive neighborhood so many problems.
Mary Lou Harger	Estes Park, CO	2016-04-02	This plan will do so much harm to the residents of Estes park. It is ill conceived and badly planned. Losing the Rock Inn would be an abomination. Noise and air pollution would be unacceptable
Kim Cavanagh	Broomfield, CO	2016-04-02	I have a vacation home on Eagle Cliff just down the road from the Rock Inn. My whole family enjoy eating at the Rock Inn.
Monica Sigler	Estes Park, CO	2016-04-02	This whole thing is rigged, I also live across the street. It's zoned accommodations. We need a camp ground or housing a lot worse than a 2 story chuckwagon place. I personally don't like to tell people what to do with their land. But they bought this 9 years ago knowing the zoning. This is a quiet peaceful side of town where I can actually hear the river on some evening. And watch meteor showers because there isn't a lot of light pollution. As a 40 + year resident I'm shocked at our towns sell out. I miss our town fathers who really cared about not only the town but the residents. By the way how did they sneak that city zoning in. The county wouldn't allow this
Michael Taylor	Fort Collins, CO	2016-04-02	It's the right thing to do
Mike Banfield	Overland Park, KS	2016-04-02	I love the Rock. We travel from Kansas every year To Estes and always go to the Rock.
Jake Virant	Estes Park, CO	2016-04-02	Who yo dadd-ay?

Name	Location	Date	Comment
Bill Niles	Longmont, CO	2016-04-02	We lived in Estes Park for 6 years and know what this would do to the Rock Inn. It would also be terribly unsafe. If Elk Meadow wants to do this they should use their own property, they have plenty of space.
Thomas Sopko	glen haven, CO	2016-04-02	Quit messing with everything. Leave something for the people who live here.
Walt Banfield	Estes Park, CO	2016-04-02	If the planning board is pro business, then protect the Rock Inn a much loved, year round, locally-owned concern.
Sandy Grice	Glen Haven, CO	2016-04-02	The development of this area is unacceptable and over-reaching. The Rock Inn front parking and Mills Drive should be priority, and the newcomer should respect that.
Jason Lykins	Estes Park, CO	2016-04-02	I do not believe one entity should destroy the livelihood and peace of a community for thier own profit. Elk Meadows Campground currently has the access and capicity to accommodate the tour buses they propose to have. There is no need to impact multiple businesses and community members in a negative way which the proposed action by Elk Meadows would clearly have
kevin coughlan	jackson, WY	2016-04-02	the same greed is happening here in Jackson Hole!
Jay Roemer	Steamboat Springs, CO	2016-04-02	I agree with Kurt and Amy's comments that I just read here. And you can kiss my ass if you disagree.
Kelly Frazier	Mobile, AL	2016-04-02	I lived in Estes Park on Mills Drive at a cabin just across the street from the restaurant and frequented it often. Estes is known for its quaint, mom-and-pop charm and small businesses. No amount of corporate money should be able to buy out the character and impact the peace and livelihood of residents or business owners.
Dana Ostos	Corpus Christi, TX	2016-04-02	A tour bus turning lane would be very dangerous and would negatively affect the business at the Rock Inn. We love this neighborhood. Please make other plans
Stefanie Miller	Louisville, CO	2016-04-02	I love the Rock Inn and Estes park!
Amy Fox	Estes Park, CO	2016-04-02	Really hating this who,e idea....
Will Monks	Estes Park, CO	2016-04-02	I support the views of the Rock Inn
Julie Guzzetta	Arvada, CO	2016-04-02	Too close to Rocky Mountain NP. Food cooking will attract bears and increase air pollution.
Linda Langer	Estes Park, CO	2016-04-02	I don't want the elimination of the parking and porch of Rock Inn and the encroachment of this paving into Rock Inn space.
Sena Krula	Estes Park, CO	2016-04-02	I hate seeing this town just become for profit and not caring about the people who live there currently. I was born and raised here and at this rate, I won't be coming back to support this and raise a family there like I always thought I would.
robert anderegg	Wellsboro, PA	2016-04-02	This is wrong.
Kimberly Card	Des Moines, IA	2016-04-02	I own a home with my family on Eagle Cliff and The Rock Inn is by far our favorite drinking and dining establishment in Estes. During a recent 9 day stay, we ate there 5 nights. I can guarantee we will not be visiting a chuck wagon tent to eat BBQ more than one time in a season. What a shame to take a local gem and potentially destroy it in the name of 'progress'. As someone who lives off this road, I'm very concerned about the of the impact the volume of traffic flowing in and out of this venue around dinner time. Please don't let this happen.
Maureen Andersen	Denver, CO	2016-04-02	I have a 2nd home in Estes Park & spend alot of time, money & bring alot of guests to the Rock Inn

Name	Location	Date	Comment
William McCauley	Lawrence, KS	2016-04-02	Every time our family visits the Estes Park, we ALWAYS visit the rock inn! Great food, people and music, the places rocks, even on bluegrass nite. The town leadership would be fools to ruin it by taking the front parking for tour buse turn lane.
Chris Banfield	Fort Collins, CO	2016-04-02	The Rock Inn is a special place in Estes
Jennifer Cope	Denver, CO	2016-04-02	I love rock inn! Don't let Estes change!
Kaci Yoh	Estes Park, CO	2016-04-02	The current development plan takes away 20-25% of the parking for an existing, proven business supporting year-round employees. Let's support The Rock Inn who in turn supports local musicians and community businesses (Kind Coffee, Healthy B Attitudes Tea, and the Vegetable Peddler to name a few) and encourage the planning committee to explore other options. Because it is worth repeating: The Rock Inn currently provides year-round employment to sustain 26 residents of Estes Park (who already have a place to live). There are existing venues in town to support this venture that do not have perceived access issues as well as a current entrance to the proposed venue that do not require disruption to a year-round residential neighborhood and business.
Matt Cohen	Estes Park, CO	2016-04-02	I don't need hear yodeling within 50 ft of where I sleep.
Pete Noto	Carmel-by-the-Sea, CA	2016-04-02	If Estes Park is to retain the charm that makes it such a wonderful town, it MUST protect gems such as The Rock INN at all costs.
Dan Fuller	drake, CO	2016-04-02	The Rock Inn is a Landmark.....please don't mess with it!
Jim Day	Lawrence, KS	2016-04-02	I am a frequent visitor to Estes and The Rock Inn. I can't see how this can be a good thing.
Bipin Pokharel	Estes Park, CO	2016-04-02	Save the Rock Inn!
Marc Buehler	Estes Park, CO	2016-04-02	As a Hwy 66 Business owner - this is CRAZY. Come on Planning Board - wake up here. The last thin we need is more buses trying to access this small road. I aslo am concerned about taking property that has been used for DECADES even though it might be right of way areas, without more discussion and thought.
Dina Santi	Littleton, CO	2016-04-02	The park doesn't have the right to over run small businesses in Estes.vthe rock in brins slot of money to Estes. Respect
Rick Keith	Key West, FL	2016-04-02	No business has the right to disrupt or impede the on anyones quality of life
bruce darby	Key West, FL	2016-04-02	estes park would be very short sighted to allow this sort of side show circus nonsense in that very special part of town by the park
bruce darby	Key West, FL	2016-04-02	This would have a vastly negative impact on The Rock Inn which has been a pillar of the community YEAR ROUND for almost 80 years. These enterprises that seek only to skim the cream off the top of the tourist season with no regard for the year round community have no place in the long range success of this very special town.
Keith Bechard	Estes Park, CO	2016-04-02	It is ludicrous that the city of Estes Park would jeopardize an existing, successful business for some out-of-towers flight of fancy.
Nathan Meyers	New York, NY	2016-04-02	Frequent visitor to Estes Park and the Inn, this is truly idiotic what they propose.
Rich Kurtzman	Fort Collins, CO	2016-04-02	NO TOUR BUSES IN PARADISE (ESTES).
Tiffany Banfield	Fort Collins, CO	2016-04-02	It's a terrible idea
Ashley Buehler	Estes Park, CO	2016-04-02	We own Idlewilde by the River and it would affect our business and the livelihood of those around us
Linda Hamilton	Fort Collins, CO	2016-04-02	I care about Estes Park, Rocky Mountain National Park

Name	Location	Date	Comment
Bryan Gillam	Estes Park, CO	2016-04-02	The proposed location for the chuck wagon space does not fit the area nor the current zoning. There are many other options available in the town that are zoned commercial currently and have a more fitting "western" feel than the proposed lot and adjoining RV park
Heather MacLennan	West Des Moines, IA	2016-04-02	The Rock's entrance is an intrugal part of their ability to conduct business. And if 66 is widened without sidewalks and proper draining, that would lead to dangerous conditions for the tourists of Estes that enjoy viewing the wildlife. With the added noise, wildlife may also choose not to come down into that area, which would completely change their environment and the ability of residents or tourists to enjoy. Find a better way to route traffic that does not upset the delicate balance of what that neighborhood is outside of the tourist season.
Heather Mrozek	Golden, CO	2016-04-02	The Rock Inn is a unique and special part of Estes Park, and has been for many years. My husband's grandparents visited the Rock Inn on their honeymoon in the 1940s. My husband and I met each other by the fire 8 years ago, and continue to enjoy the Rock Inn whenever we are in town. We love that it's located close to RMNP, the quiet and peaceful setting, the history of the building and the warm, friendly atmosphere. The plentiful parking and the fact that it's NOT in the midst of the busy downtown area are also a huge part of what makes the Rock Inn a great place. The idea of removing their parking lot, which would absolutely have a negative affect on this long-established business, makes zero sense. The fact that it would be done for a brand-new, unestablished, 100% seasonal business, that honestly sounds like the human equivalent of a cattle feed lot and would make no contribution to the year-round community, makes it clear in my mind that the entire venture is a mistake. Please don't.
Roberta Browning	Edwardsville, IL	2016-04-02	I use to live off Mills Drive and when I visit Estes Park I make sure to visit the Rock Inn. Allowing busses and encroaching on the already limited parking for this busy business is in no way acceptable. I understand Estes is growing but, the enjoyment of the area and its patrons shouldn't be disturbed because of it. At what cost will you go to keep pushing more and more people into a small space?
Molly Hamsher	Steamboat Springs, CO	2016-04-02	Yes Estes Park is a destination; but it is also someone's home. Respect those people who make the city run by respecting their neighborhood.
Allison Skapin	Estes Park, CO	2016-04-02	Potentially destroying a well-established business that has historical ties to the community, for an idea, a maybe, doesn't make sense. Especially if you have to create more havoc and chaos for those who live and work in that area and our peaceful park area. A little more thought needs to go into this before decisions are made and a new plan should be developed.
Gail Ross	Clifton Heights, PA	2016-04-02	We visit The Rock Inn often and feel like family. It would be a crime to disturb the beauty of the area with traffic and noise.
Peggy Welsh	Alexandria, VA	2016-04-02	The Rock Inn is my favorite place when I visit Estes, which is often.
Adam Aldridge	Estes Park, CO	2016-04-02	This primeval.
Sydney Torphy	South Harmonville, TN	2016-04-02	Former resident of Mills Drive and employee of Rock Inn. My family has a timeshare at Rams Horn and recognize the noise pollution this would cause during our stays.
Linda Novak	Omaha, NE	2016-04-02	Fond memories, still enjoy going there. Do not need more tour buses!!!! Rock Inn has long history in EP and this would be disastrous.

Name	Location	Date	Comment
Melissa Gamber	Estes Park, CO	2016-04-02	I grew up in Estes and lived near to the Rock. We were frequent regulars during our time there and I still make it a stop nearly every time I head up into town. 66 Spur isn't in a state to handle this kind of traffic and disruption to the neighborhoods. There are plenty of suitable locations (Elkhorn Lodge?) for this sort of establishment without harming locals, visitors, and our small businesses.
Karen Glogau	Tallahassee, FL	2016-04-02	Love Estes the way it is :)
debora Trout	Lyons, CO	2016-04-02	I hate to see this happen to a neighborhood and local business.
john stephens	Estes Park, CO	2016-04-02	I don't want bus express lane & losing Rock Inn front parking lot. Why is EstesPark aggressively promoting this type of stupid tourism promotion at the expense of residents & worsening the current traffic situation, which is already bad?
John Meyer	Estes Park, CO	2016-04-02	The Rock is awesome and needs the space for parking
Dinesh Shakya	Denver, CO	2016-04-02	Keep Estes park classi and clean. Thank you
Maddie Banfield	Fort Collins, CO	2016-04-02	I grew up at the rock inn and never want to see this happen! Save Estes and the rock!!!
Chris Kennison	Fort Collins, CO	2016-04-02	Adding traffic related to the projected 750 audience members they hope to attract will ruin this quiet neighborhood.
Steve Jonker	Lyons, CO	2016-04-02	They don't need the turn around. They need to find other options.
Conor Brown	Fayetteville, AR	2016-04-02	I have been a seasonal employee in Estes park for 12 years and a visitor for much longer. Long story short- while development, growth, and change are essential for any community, not all growth is in the best interest of the town. While every situation has pros and cons, in this case Estes Park would be better suited exploring different avenues
Barb Davis	Estes Park, CO	2016-04-02	The Rock Inn is a historical treasure !!!
Mark Owen	Estes Park, CO	2016-04-02	It is fundamentally wrong to take away from one established and we'll loved business to speculate on another. There is no reason not use the existing RV/Campground entrance to handle the expected increase in traffic. It easily handles motor homes and buses already.
Jenna Murphy	Hau'ula, HI	2016-04-02	I am from estes and currently live where your buses ruin unique experiences (in Hawaii). There should be no tour buses at all in my opinion
Star Johnson	Basehor, KS	2016-04-02	This will ruin Estes Park.
Allison Ditto	Woodway, TX	2016-04-02	Estes Park is a beautiful, unique place. Cluttering it with tour buses will take away the quiet beauty. Keep Estes the way it is!
Susie Alexander	Spring, TX	2016-04-02	I don't want the quaint village feel of Estes Park ruined.
Donna Chenoweth	Jacksonville, IL	2016-04-02	Enos Mills would be appalled!
Tyler Goodro	Loveland, CO	2016-04-02	This is one of the dumbest town suggestions I have ever heard.
John Armstrong	Peoria, IL	2016-04-02	I believe the proposed plan is NOT good for the Estes area.

Name	Location	Date	Comment
Mary Banfield	Estes Park, CO	2016-04-02	<p>Like so many, we began visiting Estes 30 years ago and brought our kids here for summer vacation to enjoy the mountain experience.</p> <p>20 years ago we moved Parker, CO, only to see the charm of that once small town ruined by mass development.</p> <p>10 years ago we had the good fortune to move to Estes Park. Our dream of living in a mountain town came true. We immediately found a community of mountain loving people at the Rock Inn. We have watched it grow and succeed over the years. Family and friends visiting from out of town look forward to going to the Rock as part of their Estes experience.</p> <p>I attended the public meeting last week to hear the Lazy B presentation. It was disturbing on so many levels and they lost control of the presentation within minutes. The double talk and pandering was disingenuous. Asked why the existing entrance to the Elk Meadow RV Park couldn't be used, we were told that the tour buses arriving would interfere with the RV's arriving at the same time. How is it okay for the Planning Board to agree that the owner should have no consequence to their planned development, yet agree to impact a long established, locally owned successful business? Why has this project been so fast-tracked when other businesses have faced years of red tape? Why is an exception to the current zoning, which will so negatively impact the neighboring businesses and residents, be approved when Estes already has the albatross of an Event Center which was intended for just such "special events" sitting unused? All the parking and infrastructure is readily available there. Oh, wait, I forgot. The greedy out-of-town developer wants to profit off the land he owns without impacting his poorly rated RV park.</p> <p>We were told at this meeting that Estes wants a "Western Cowboy" identity. I couldn't disagree more! We are a mountain destination. Everything in town is named for our mountain heritage. These chuck wagon western themed enterprises have history of bankruptcy and failure. When these come-lately, inexperienced owners fail, it will be too late. The character of the area will be forever marred, the neighboring businesses lost and the lives of the residents on Mills Dr (yes, named for Enoch Mills, I believe, not Roy Rogers), forever changed.</p> <p>I implore the Estes Park Planning Board to take a step back and reconsider. Will Estes Park grow and develop? Of course, it will. But let's be smart about it and retain the charm that our tourists come to experience. Becoming another Branson is not an aspiration I have any desire to see.</p> <p>Clearly, I needed to vent. Thanks for your consideration.</p>
John Dotson	Carmel, CA	2016-04-02	Oppose expansion of machinery at this location.
Elizabeth Adams	Estes Park, CO	2016-04-02	I am opposed to the Lazy B. For the folks impacted close to the site as well as my business which is in the same area. Also, because I do not resonate with this for the evolution of Estes Park. I have lived here for 20 years and this feels like it down levels the beauty of our Mountain Home Town.
Edee Nuetzel	Estes Park, CO	2016-04-02	I feel the development of this area would be detrimental to the beauty and accessibility of the present area.
Kim Munoz	Spring, TX	2016-04-02	do not want tour buses in RMNP this would I want to eliminate the Rock Inn
Richard Snyder	New York, NY	2016-04-02	Tour buses are NOT wholesome

Name	Location	Date	Comment
Rebecca Caldwell	Estes Park, CO	2016-04-02	My family and I are year round residents that live near the Rock Inn. We love to bike into town with our 2 small children in the summer, and increasing the traffic on this road, especially tour buses who often don't take care to mind foot and bike traffic worries me as to our safety. The Rock Inn is a successful business and staple of Estes and every night you can drive by and see that each of those parking spots threatened to be taken away are in use. Let's support our local, year round businesses and employees and make smart decisions for Estes. There has got to be a better solution, let's find it.
Dawn Hemstreet	Salem, OR	2016-04-02	I was a long time resident of Estes Park and the LAST thing hwy 66 needs is a turn out for a chuck wagon tourist trap!!! The reason people live and visit us Estes Park is the grandeur of the scenery. Please don't encourage development that will take away from that. There are enough tourist opportunities for the millions that visit.
Ron Thomas	Estes Park, CO	2016-04-02	Once again another carpetbagger with dreams of recreating some 1950's fantasy that never existed wants to come and change the community. What is really disturbing is the town's willingness to be bribed by a mere water line into allowing this.
Patricia Loos	Estes Park, CO	2016-04-02	I've lived in Estes Park for over twenty years and fully agree this is in no way good for the Rock or for the towns people in that area.
Maisie Greer	Estes Park, CO	2016-04-02	Can we not find a better use of extra cash than to widen a road in a quiet neighborhood?
Gale More	Castle Rock, CO	2016-04-02	I believe there are better and less impactful solutions to this traffic problem.
sybil barnes	Estes Park, CO	2016-04-02	The Lazy B supporters should use the campground entrance and existing buildings for a few years to see if there is really a need/demand for this venue. Cowboy Music was a thing at one time but I don't think it is an attraction in today's world. The Rock Inn already has a parking problem. Maybe they should ask the campground owners if diners could park in that space. And there is way too much traffic going to the Y and Windcliff on this stretch of road. Plus, how does this impact the accessibility of the RMNP satellite fire station or access to the utility area housing and offices of RMNP? Let's keep development on the east side of town where there are already several empty buildings from "great ideas" of the past.
Kimberly Hutton	Lewiston, NY	2016-04-02	Let's not spoil this beautiful area!
Barry Knolton	Estes Park, CO	2016-04-02	I am against and vote NO on LAZY B Ranch & Wranglers Development Plan. This is not in the best interest of Estes Park as a community.
Myrna Goff	Estes Park, CO	2016-04-02	We have to take care of our own town and we have to protect our neighborhoods. It's bad enough that so many vacation rentals are taking over homes in family neighborhood. When I could not be in Estes Park my house was left empty and yes, it was a risk because it was broken into several times but neighborhood kids. But I would never have ever considered renting it out to vacationers for a shameful amount of money. That's what hotels, motels and time shares are for! All of this GREED needs to be stopped!
Warren Musselman	Lyons, CO	2016-04-02	The Rock Inn is a landmark that has been there for over 60 years. The building and its parking lot have been a fixture of the Estes scene whether as a music venue, steakhouse, or bar. When is Estes going to say enough is enough to the tourist economy?
Barb Artz	Estes Park, CO	2016-04-02	The Rock is a great little spot that locals can still "feel local" without all the tourism hype!

Name	Location	Date	Comment
Erik Ofstedahl	Lyons, CO	2016-04-02	West Estes is a home away from home for me. It is a place left untouched by certain elements of society that often I need a break from. These new plans would most definitely bring those things I am getting a break from, to the door step of where I find sanctuary.
Dianna Duclos	Topeka, KS	2016-04-03	Estes should stay exactly as it is!
Josie Neuzil	Estes Park, CO	2016-04-03	This would change the entire feel and business of the Rock Inn and I don't see why a turning lane is needed on that road, of all roads. The money could be better spent on other projects to ease traffic jams/issues
Sally Jane Robertson	Estes Park, CO	2016-04-03	As a small lodging business in Estes park and a 25 yr resident of Estes , I stand with the issues the rock inn owners stated. The small 2 lane road is no place for bus traffic. The existing business atmosphere and operation will be negatively impacted . The city does not currently have the infrastructure to support a large facility like the one planned. It would also impact local residents living in that area with noise and overcrowding and impede the already overloaded traffic flow I say no
Janann Eldredge	Denver, CO	2016-04-03	The new business is out of scale for the size of the town.
Christopher Solis	Estes Park, CO	2016-04-03	I am signing this petition for multiple reasons. The best music in town already resides at the Rock Inn, and parking is tight there to begin with. I have lived within a mile of the proposed changes for two years, and increasing the tour bus traffic on Moraine Avenue is a nightmare I don't care to endure. The driving force behind the resurrection of Lazy B is a stage mom, looking for an outlet for her 10 year old fiddle playing son. I understand the desire, and wish the kid well in life and his musical career. However, this is another example of money wielding influence in our town. Essentially hamstringing the best music venue in town so your little boy can be famous one day is the ultimate insult to those of us that try so hard to work, live, and perform here.
Ruth Slade	Pierce, CO	2016-04-03	Ex parkie, loves this place. Cool atmosphere and a short walk for us. Keeps us safe and allows us to meet and collaborate over good food and cold beer.
Stephanie Scrutchins	Drake, CO	2016-04-03	A fencyman came in where I work and asked for support for an entertainment venue that sounded harmless. This is much more impactful than was described.
Kelly Morrissey	Mount Pleasant, MI	2016-04-03	The Rock Inn provides a special place for many people, locals and visitors alike to connect and enjoy each other's company in a small town, fun setting. Since moving away, it is one of the things I miss the most about Estes Park, and it appalls me that an out of town developer could completely ruin that through selfish, poorly planned and backwards thinking development.
Keven Owens	Campo, CA	2016-04-03	As a former resident of Estes Park, I am signing this to keep the tour busses out. There is no need to have those monstrosities driving through town.
Catherine Peacock	Sacramento, CA	2016-04-03	I love Estes Park. Buses can add so much noise and pollution to sully this natural wonder.

Name	Location	Date	Comment
Bronson MacDonald	Estes Park, CO	2016-04-03	I believe in establishing a new business but not harming a pre-established businesses that provide jobs to many local residents, feed many locals and is a place for the community to join in festive moments to a wonderful date night location! I was there tonight and had a romantic beautiful dinner with my husband and we also had a wonderful conversation with one of the owners. We can't let a new business be greedy and change the face of another business for their tour buses. Shame on them!
Sonya Perez	Kansas City, KS	2016-04-03	Of the residential area that will be disrupted!
Dave Rusk	Estes Park, CO	2016-04-03	I'm signing because I do not want to see an increase in traffic.
Lauren Molle	Estes Park, CO	2016-04-03	I love the Rock Inn and I don't want to see it get hurt by this stupid tourist trap of an idea.
Sheryl Ponzer	Estes Park, CO	2016-04-03	I love Estes Park and I support it and the people in it!
Andria Amen	Estes Park, CO	2016-04-03	The turning lane would create incredible hardship for The Rock Inn and is completely unnecessary.
Holly Charboneau	Drake, CO	2016-04-03	Please do not allow this travesty to happen to an Estes Park locally owned business. This is not in the best interest of the residents or patrons of the Rock Inn.
Kitty Gk	Dorval, Canada	2016-04-03	I am a Canadian resident and visit my favorite restaurant rock inn whenever I visit Estes. I would be devastated if they would shut it down
Craig Adams	Estes Park, CO	2016-04-03	there is already an existing drive that can be used.
Marcus Hake	Fountain, CO	2016-04-03	I'm signing because the Rock Inn was my favorite memory from Estes. It's such an important piece if the town and should be left alone.
Sean Nunan	East Longmeadow, MA	2016-04-03	Former employee of The Rock Inn. If anything should be proposed it should be more parking. Anyone who's been around Estes in the summer especially on a Thursday or Friday or when Chain Station is in town knows how packed The Rock gets. Adding a bus lane would be a terrible mistake!
Shari Kleist	Estes Park, CO	2016-04-03	It is just as important to cherish the old as to accommodate the needs of developers. The people who keep Estes going are the ones who remember family visits year after year. They don't want to see their memories dissappear.
Daniel Casso	Lakewood, CO	2016-04-03	I'm signing because local, established businesses should not be harmed or changed in the name of tourism expansion.
Anne Cridler	Guadalupe, CA	2016-04-03	We don't want tour buses in peaceful neighborhoods.
Brenda Longacre	Estes Park, CO	2016-04-03	This is an historic venue, with stories dating at least as far back as the flood of '76. Leave it be.
Michael foster	Fort Collins, CO	2016-04-03	Because I don't want to see that!
Gina Paige	Mansfield, TX	2016-04-03	We have owned property on High Drive for 50+ years and are greatly disturbed by this proposed establishment. 1) The Rock Inn has stood the test of time and is one of the few cornerstone businesses left in Estes Park. This must not be allowed to happen to them! 2) The traffic on the Y road has one way in and one way out. The additional cars and tour buses will only make this situation louder and more dangerous for those in the area who have thrived on peace and quiet and restoration that is the sanctuary of Estes Park. 3) The beauty of the nighttime sky will be eliminated by the imposing lights of a vast parking lot. 4) No, no, no!
Cathy Lewis	Estes Park, CO	2016-04-03	The introduction of large numbers of tour busses in that area would be horrifying for both locals and tourists using the corridor. Additionally, it would be unjustifiably detrimental to longtime, well established restaurant, The Rock Inn.

Name	Location	Date	Comment
JoAnn Stegura	Clear Lake, MN	2016-04-03	We love the Rock Inn. It is so quaint, and everyone is so friendly. Parking is at a minimum during July when we visit. That says a lot for the popularity of the business. Please don't let them destroy the ambience.
JoAnn Stegura	Clear Lake, MN	2016-04-03	Love the Rock Inn! It's out of town enough to be quaint. Parking can be difficult in the summer when we visit. Please don't destroy the ambience.
CYNTHIA DOHENY	Tallahassee, FL	2016-04-03	I oppose the Lazy B Ranch and Wranglers Development Plan, because it would pose an unreasonable hardship for the Rock Inn and would disrupt the serenity of the adjacent neighborhood.
Belle Morris	Estes Park, CO	2016-04-03	Tour buses negatively impact our traffic downtown Estes Park as well as business parking. Tour buses can drop off customers and park at the Fairgrounds. Estes Park has an effective shuttle service that offers options to passengers. There is no reason the Rock Inn needs to be impacted this way by this poor proposal. Take the shuttle!!
Jason Martinez	Estes Park, CO	2016-04-03	<p>I am signing this petition because yes I am new resident to Estes Park for a little over a year and have met some wonderful residents of this great town that live in that neighborhood. I am an individual with an extensive background with Hilton Corp in marketing and operations and can see this addition to be a complete catastrophe to the town and its returning supporting clientele. This town is somehow showing the fact that they want to bring in new business but to destroy another local business that has been around for years? That is not right!! Is this town going to sacrifice the sorted topic of coin to make its residents upset and cause a lack of trust to a place they call home? I have thought this through and through and cannot see this working as a successful business as there is a business plan that seems like it was put together by a 5yr old. I am completely against this proposal and hope this town that I now call home will have the same opposition.</p> <p>Last question: WHO on earth would pay \$40 for brisket, beans, a biscuit and a swing your partner doseedo band for 2 hours and the END? NOBODY!!!!</p>
Miki Wollett	Estes Park, CO	2016-04-03	This would take away from the rock inn and the quiet are and neighborhood.
Jeanette Terry	Kansas City, KS	2016-04-03	I have a Good friend Michelle Thomas who frequents this business, and I have heard nothing but good things!!!!!!:) This is a local business that has been in the community for years. I think it would be a big mistake to take away a business that has become the glue and fabric of th neighborhood.
Anna Haug	Estes Park, CO	2016-04-03	Mills Drive is the road I take to get to my home located in the edge of the National Park. This would disrupt the current limited flow of traffic in this area as well as hurt the parking for patrons of the Rock Inn which is always packed on week-ends.
Lawrence Sage	Estes Park, CO	2016-04-03	This project impacts the neighborhood where good friends of mine live as well as it affecting the Rock Inn.
Garth Lewis	Estes Park, CO	2016-04-03	I do not want to see buses in residential areas. I want to see the Rock Inn have more parking, not less. I want the development in Estes Park to reflect much needed housing, not for- profit tourist attractions.
Kristi Noyes	Estes Park, CO	2016-04-03	I own a home on Mills Drive. The proposed development would change the fabric of the Mills Drive neighborhood, for the worse.
Patty Risley	El Paso, IL	2016-04-04	<p>I love Estes the way it is. My Parents lived there and I did also, my family has been coming to</p> <p>Estes since 1965. I completely disagree with the greed that is driving the changes in town. Very sad to see.</p>

Name	Location	Date	Comment
Jennifer Diefenbach	Fort Lauderdale, FL	2016-04-04	I urge the Estes Park Planning Board to vote No on this plan. I've never been to Estes but my cousin grew up going to the Rock Inn and the pictures she posts of Estes show me a town of untrammled beauty that I would love to visit.
Shannon Rice	Dallas, TX	2016-04-04	Estes Park is such a beautiful and peaceful place. I certainly don't want it ruined by this garbage.
Samuel Lawrence	Estes Park, CO	2016-04-04	If it's not broken dont fix it.
James Shuler	Estes Park, CO	2016-04-04	This venue will be in front of our property disturbing our peace and degrading the property values of the entire hillside with light and noise pollution every night. What could you possibly be thinking?
Heather Stone	Estes Park, CO	2016-04-04	No, don't do it! There is an event center that is virtually empty most of the time. Stop coming to our town and over selling it at every turn. It's our town. Knock it off!!!!
Molly Vetter	Redondo Beach, CA	2016-04-04	This isn't the kind of development that we love visiting Estes Park to see.
beckie greer	estes park, CO	2016-04-04	i do not want that development off of spur 66 and impacting our awesome local restaurant that does so much for our community...
Sharlyn Clark	High Springs, FL	2016-04-04	I owned a home near The Rock and would not have liked this type of change in my neighborhood.
Lisa Innes	Estes Park, CO	2016-04-04	I love Estes Park
Lynn Stepaniak	Estes Park, CO	2016-04-04	The town administrators need to realize that bigger is NOT better.
Pam Demke	Worth, IL	2016-04-04	We have been visiting Estes Park for over 30 years, and the past 7 have made The Rock Inn one of our favorites, I think it would be horrible to screw up a good thing. A tour bus lane would really ruin things.
Colleen Bair	Estes Park, CO	2016-04-04	We have enough traffic issues in this town. Horrible, horrible idea.
Dina Lininger	Pagosa Springs, CO	2016-04-04	The Rock is an icon!
Mark Eaton	Olathe, KS	2016-04-04	I am signing this petition as someone whose family travels to Estes Park, staying at the YMCA of the Rockies at least 4 times a year/ minimum of one week with each visit.
Suzanne Riley	Estes Park, CO	2016-04-04	I have lived in Estes Park since 1970 and the Rock is s fond landmark.
Linda Wagner	Estes Park, CO	2016-04-04	We can't even get a loop to divert traffic but we can destroy a neighborhood and decimate the front of The Rock Inn for a development plan for tour buses? Eminent domain does not apply here. Please reconsider the damage you will do to the summer businesses, residents and neighborhood if you move forward with this development.
Amy Donahue	Durango, CO	2016-04-04	I'm signing because I grew up on Eagle Cliff and return to visit my parents there as often as possible. The Rock Inn is a landmark of not only that side of town, but Estes Park in general. To make changes that would affect that area in such a huge and negative way speaks to negligence and a lack of care for the local community.
Keith Hammond	ESTES PARK, CO	2016-04-04	This idea is crazy
joshua mcclelland	Crowley, LA	2016-04-04	I signed the petition
Meghann Tornquist	Estes Park, CO	2016-04-04	They need to re-think their plan for the roads and parking. I'm not fully against them bring back the Lazy B, but those plans just seem silly. Nevermind that some of the main highways and roads around town should be fixed from flood damage that happened in 2013 before they start doing anything else.
Tori Parker	Fenton, MO	2016-04-04	I'm a big fan of the area.
Rick Zuba	Estes Park, CO	2016-04-05	I don't like changes proposed.

Name	Location	Date	Comment
Gail Ellis	Estes Park, CO	2016-04-05	It is unthinkable to take the parking area from The Rock Inn. Already they more customers than parking thus it blocks both sides of the road. While there is plenty of unused space at the Elk meadow entrance, I find it hard to believe this is even being considered. Trustees please consider carefully what these decisions mean for the businesses in our town.
Jennifer Reeme	Estes Park, CO	2016-04-05	The idea of this is unfathomable and just plain ignorant. Nor does it seem to be well thought out. I honestly cannot imagine traveling along Hwy 66 and coming upon the scene that is being described here. It sounds problematic and quite hazardous. I vote NO and leave the front lot as is for the folks that enjoy frequenting The Rock Inn, which is a genuine place to eat, listen to music and gather with friends on the patio. Jennifer Reeme
Kim Pruemer	Teutopolis, IL	2016-04-05	I used to work at the Rock Inn and live nearby Estes Park. I would hate for anything to bring down the beauty and the Business of this town. The Rock Inn brings talented musicians in and great food along with amazing company willing to accept anyone! To put any of these people in danger by expanding the road and taking over the parking lot is irresponsible. The noise of traffic would also ruin the atmosphere of the music and the surrounding quiet neighborhood. There does not seem to be many pros to letting an outside company do this.
Douglas Anderson	Denver, CO	2016-04-05	Estes Park is quaint and charming. To run tour buses, add lanes to roads and make it difficult for tourists is counterproductive.
Shayna Gallagher	Loveland, CO	2016-04-05	I grew up in Estes and have shared many memories with friends and family at The Rock Inn. To loose such a staple in our community would be a shame.
Thomas Booth	Estes Park, CO	2016-04-05	I don't want to see the character of the neighborhood changed.
Linda Bowling	Lamar, MO	2016-04-05	I don't want to see the Mills Drive neighborhood compromised.
virginia hampton	Estes Park, CO	2016-04-05	Elk Meadow should use their existing entrance on Hwy 66 & not create problems for their neighbors unnecessarily by widening Mills Drive. In addition, many many locals & tourists walk, run & ride their bikes on 66- to even think of not putting in sidewalks or proper drainage should be against the law.
Megan Nugent	Greeley, CO	2016-04-05	As a summer seasonal RMNP employee, the roads that this will be impacting are one of the only ways in and out of park housing. By developing where the new Lazy B wants to, it will create more traffic problems in an already congested area, not to mention ruin part of the atmosphere of the Rock Inn!
Conor Brown	Fayetteville, AR	2016-04-05	I have been enjoying people and music at the Rock Inn for over a decade. My wife also worked there and has very fond memories. The Rock has a special place in our hearts. We have shared so many memories individually and with friends and family. Family members have played at the Rock and the Owner is a staple in the community. For the locals (my wife was a local for a short stint and I consider myself one after many years of visiting and working) it is a gathering place. A place where you know your friends will be, where you can get delicious food and a good beer. For out of towners it's a unique mountain town tavern and is unlike any other place on Estes. Widening the road would be a devastation to the locals and visitors. There has to be another way.
Derek Harding	Estes Park, CO	2016-04-05	I think this is wrong and I love the rock!
Kristen Luetkemeyer	Estes Park, CO	2016-04-05	I used to live in Estes Park, including briefly up on Chiefs Head Road, and frequented the Rock Inn. I have such fond memories of the Rock Inn as community center. It's an important institution to the town and the park, and parking is already tight there. Please do not widen the road capacity in or direct more traffic to that area, and please do not remove from its parking capacity or push parking closer to the building.

Name	Location	Date	Comment
shirley mclaren	Estes Park, CO	2016-04-06	I feel they should see if they even make it for a few years before they talk about enlarging roads, new entrys, new bldg etc. i live out here and traffic is already bad with the Y. Also i do not believe they should be allowed to build a huge new bldg. right against our National Park. The old bldg. is certainly more like the original Lazy B and would not require all the changes. Rock Inn does not have enough parking now and they park all along the hwy.
Molly Cantrall	Vancleave, MS	2016-04-06	I spent last summer living in Estes and working in RMNP. It's a beautiful town, but gets so busy in the summer. We need to conserve neighborhood areas so that everyone can enjoy this great town, not just the tourists.
Brandon Anderson	Estes Park, CO	2016-04-06	I l9ve the Rock Inn and it's people, and I would absolutely hate to see this new place go up. I see it as a problem in stealing business from the rock and we already have chuck wagon dinners around town, we don't need one that's made for tour groups.
Amanda Farrior	bellevue, NE	2016-04-06	I used to live in Greeley. Love estes park, It is too beautiful to have tour buses up there. When I go to visit I dont want to be distracted by tour buses.
greg miles	austin, TX	2016-04-06	i don't believe our infrastructure can sustain the amount of traffic (buses) that is being proposed here - nor do i want that kind of traffic added to an already over stressed infrastructure. i also don't want access and parking decreased for The Rock Inn.
Mark Donahue	Estes Park, CO	2016-04-06	I have lived on the west end of Estes Park for over 35 years. The proposal on the table is so wrong in so many ways. First, it is not fair or ethical or morally right for the campground/chuckwagon people to be able to so grossly and negatively impact any one else in order for them to have personal financial gain if this thing might be successful. The Rock Inn is a long standing business venture on this end of town. The current owners are local residents invested in the Estes community. They have turned the Rock into a very comfortable tavern, gathering place where, on any given night, a wide variety of community members are enjoying a beverage, meal, friendship, music. It would horrendously impair their ability to continue this great legacy they are building if their parking lot is compromised and spur 66 comes basically to their door step. The C/C venture already has access off of the Spur, if it creates a logistical challenge for them, so be it. They can figure it out with the large parcel of land they own. They are not entitled to damage a neighboring business because it is more convenient for them. Maybe they could approach NPS for access from the north or east. Secondly, I have not seen the site plan for the chuck wagon, but I would assume they plan to front Mills Drive so the local residents can deal with the lights, noise, idling diesel buses, traffic and trash. I am sure they would put the dark side of the building towards the campers so as to protect their tourist dollars at the hardship of the local year round residents. Is it right to cater to out of town investors, here to harvest tourist dollars to be spent elsewhere and throw the owners of The Rock Inn, the west end residents and other tourists who would like to enjoy a meal and the ambiance of a casual mountain tavern under the bus? NO it is not right, fair or ethical in any body's world. As I write this, I guess I have come to the realization that I am not only opposed to the pillage of The Rock Inn's ability to continue to provide a great gathering place, but I am opposed to the whole idea of the chuckwagon period. Thank You for consideration of this most important decision which could potentially change the whole character of our neighborhood.


Name	Location	Date	Comment
Tia Sillers	Nashville, TN	2016-04-06	Elk Meadow already has a vast expanse of acreage and is often a significant eye sore to both 66 and the park entrance. The residential neighborhood really begins at Mills Drive and The Rock Inn is a true town institution and cornerstone of our neighborhood. Also, at this point, nothing should be allowed to be built without sidewalks . . . AND finally, Spur 66 isn't even within the town limits, so how can the town control this?
Jane Brown	Woodway, TX	2016-04-06	Visit Estes Park every to stay at the YMCA of the Rockies which is just down the road from the Rock Inn
mark selby	Nashville, TN	2016-04-06	I'm a home owner and part-time resident on Eagle Cliff Road. I absolutely oppose a turning lane at Mills Drive. The parking area at the Rock Inn is more important to many more people, both locals and tourists, than a turning lane for tour buses.
Amanda Lemmond	Lubbock, TX	2016-04-06	Please please do not infringe upon the parks and existing businesses! This entire chuck wagon event center idea is a mess.. Please, don't let this happen!
			The drainage (lack of) will end up damaging other people's properties, flood the meadows, and cause overgrazing in other areas, leading to water runoff from the melting snows causing all sorts of flooding and damages. We've had enough of that in Estes.
Thad Wright	Estes Park, CO	2016-04-07	I want this area left alone. We get too much heavy bus traffic on 66 as is.
Bob Nickless	Estes Park, CO	2016-04-07	Highway 66 has only one way out for thousands of people in an emergency, this will cause too much traffic congestion.
Donna Egan	Estes Park, CO	2016-04-07	Driving into town today, I followed a car with an Estes Park bumper sticker "Another Ho-hum day in paradise". I immediately became very cynical. Tour buses through residential areas just doesn't speak paradise. This neighborhood (or any neighborhood) should not be sacrificed. Especially when there are alternatives. I'm worried the new Estes Park bumper sticker will say PARADISE LOST.
Kathleen Gustafson	Homer, AK	2016-04-08	Prioritizing tour busses over local businesses and neighborhoods is a sure step to eliminating the reasons why visitors come to Estes Park in the first place. As a locally-owned business, The Rock Inn contributes more to the local economy than any tour company whose profits go out of state. Please support The Rock instead of a company that sees Estes Park as nothing more than a means to an end...their bottom line.
Violet Morissette	Braham, MN	2016-04-08	I have e wonderful memories of visits to Estes Park and THAT is the Town I want to share with my children and grandchildren.
Malinda Stephens	Estes Park, CO	2016-04-09	I believe this would cause harm to the neighborhood and a long established business which is one of our favorite places in Estes Park!
Gayle Sandham	Denver, CO	2016-04-10	I love my many visits to Estes, my favorite mountain town, and I believe in sensible development, not catering to special interests or risky, unproven concepts. Estes is a mountain town, not the OK corral.

Name	Location	Date	Comment
Sheryl Kenner	Leland, NC	2016-04-10	<p>Seven years ago, after spending 30 years at a desk, I retired. One of my dreams was to visit States and landmarks I had only read about. A few weeks into retirement I set out on a solo cross country road trip. It was amazing, I met wonderful people and sites, however one of my most memorable visit was to Estes Park and the Rock Inn. Sitting at the bar enjoying dinner and a local brew I had the opportunity to talk with the young owners, and many locals. I was so impressed how much the owner loved Estes Park and all the wonderful people that lived in this fine community. To her credit my visit to Estes Park lasted 5 Days. I have now visited 3 times. While planning another trip, I became aware of Estes Park Planning Board potentially changing the face of Rock Inn. So sad that a community would do something so terrible to these young people who's whole life is devoted to their community, and to the visitors of Estes Park. Please do not go forward with any plan that hurts those who love their community the most!</p>
Mike Egan	Estes Park, CO	2016-04-11	<p>This proposal is total fantasy. There are 17 Development Proposals currently under consideration by the Estes Park Planning Commission. This is the only one requiring a "Special Review", I assume this is because what is being proposed is not in compliance with the Estes Valley Comprehensive plan for this area of Spur 66. The Elk Meadow Campground is zoned as "Accommodations". The Comprehensive Plan calls for this area to evolve into much needed affordable housing. The Lazy-B Proposal will construct a 17,910 sq. ft. commercial building on the property. Do we really need another Events Center which will sit vacant most of the year?</p> <p>In addition to being non compliant with the current Comprehensive Plan and requesting multiple waivers of construction standards, this proposal will impose considerable hardships on its neighbors. A proposed turning Lane in front of the Rock Inn will eliminate at least 16 parking spaces for this very busy, locally owned business. The street widening proposed for Mills Drive will adversely impact parking and driveway utilization for all residents. All this for a highly speculative business venture? Several smaller scale Chuckwagons have failed in recent years in Estes Park.</p> <p>The Planning Commission should reject this proposal as being non-compliant with the existing Comprehensive Plan. If the Commission chooses to proceed with approval, they should reconsider the turn lane and Mills Drive widening component. The Lazy-B can easily use the existing entrance to The Elk Meadow Campground for this project, thereby eliminating most of the hardships to neighboring properties. They chose the Mills Drive route because of a scheduling conflict with RVs that also use this entrance.</p> <p>Since this is a Special Review Project, the Planning Commission will have wide discretion in making its decision. It is clearly stated in Section 3.5 of the Estes Park Development Code that "The Application for the proposed special review use mitigates, to the maximum extent feasible, potential adverse impacts on nearby land uses, public facilities and services, and the environment". The State Highway Access Code also requires in Section 3.11 that "turn lanes not knowingly cause a hardship to an adjacent property".</p>
Dustin Fasching	Los Angeles, CA	2016-04-12	I'm a friend of Estes.
Andrea Rothwell	North Fort Myers, FL	2016-04-12	Sometimes what seems like a good idea ruins the very thing people come to a place for. They are coming for the magic and beauty and charm of Estes. Not a street full of noisy dirty tour busses.

Name	Location	Date	Comment
Jason Mezills	Los Angeles, CA	2016-04-12	my family goes back through generations of those who loved and continue to enjoy the peaceful serenity of Estes Park. Please see that it is kept for the next
Raphael haber	Estes Park, CO	2016-04-12	<p>While I may not like the bullying going on over this issue and the out right refusal by some to compromise is alarming, I can't say I support an entrance into this proposed business on Mills Drive specifically because National Park Emergency Services are located on this street and the National Park has released a letter indicating this is a concern for them.</p> <p>I have no issues with this business being located in this specific spot on that side of town, but I don't think The Rock Inn and Mills Dr. residents should have to sacrifice their quaint neighborhood to benefit a large events center that really should have access to Highway 66 through the RV park.</p> <p>I firmly believe there is a compromise to be found here that benefits both parties, but I disagree with the Mills Dr. proposal as thus far presented.</p>
Patrick Brownson	Denver, CO	2016-04-12	It negatively affects my friend who lives there.

Petitioning planning@estes.org

Keep Tour Buses Out Of Estes Park Neighborhoods

 [The Rock Inn](#)



We are urging the Estes Park Planning Board and the Town Trustees to Vote No on the Lazy B Ranch and Wranglers Development Plan. Elk Meadow should use their existing entrance on Highway 66 to avoid the destruction of the quiet and dark neighborhood on Mills Drive. According to the State Highway Access Code on right-hand turn lanes 'the applicant must show that the additional access would not knowingly cause a hardship to an adjacent property.' The tour bus turning lane proposed by out-of-town developers that would eliminate the 79 year old Rock Inn parking lot and move traffic to mere feet from the front porch is an absolutely unacceptable hardship. In addition, their request to widen 66 and Mills Drive without building sidewalks or providing proper drainage is completely primeval.


This petition will be delivered to:
planning@estes.org

[Read the letter](#)

Sign this petition

600 supporters

300 needed to reach 1,000

 Every sign signed this petition

 Share with Facebook friends

Sign

- ☒ Keep me updated on this campaign and others from The Rock Inn
- ☒ Display my name and comment on this petition

By signing, you accept Change.org's [terms of service](#) and [privacy policy](#), and agree to receive occasional emails about campaigns on Change.org. You can unsubscribe at any time.



Signatures

Name	Location	Date
Blaine Smith	Blaine Smith	2016-04-01
Robin Brunk	Longmont, CO, United States	2016-04-01
Emily Potter	Strasburg, CO, United States	2016-04-01
E.V. Mills	Estes Park, CO, United States	2016-04-01
Aaron Petrie	Estes Park, CO, United States	2016-04-01
Ruthanne Erickson	Estes Park, CO, United States	2016-04-01
Sarah Allely	Laporte, CO, United States	2016-04-01
Jean Patterson	Fort Hood, TX, United States	2016-04-01
Steve Ertl	Fort Collins, CO, United States	2016-04-01
maureen vetter	grand island, NE, United States	2016-04-01
Melissa Logan	Estes Park, CO, United States	2016-04-01
Donna Elston	Estes Park, CO, United States	2016-04-01
Amber Heine	Denver, CO, United States	2016-04-01
Craig Clark	Noblesville, IN, United States	2016-04-01
Susan Stoppkotte	Grand Island, NE, United States	2016-04-01
Nannette Chisholm	Estes Park, CO, United States	2016-04-01
Brian Kaepplinger	Estes Park, CO, United States	2016-04-01
Emily Gordon	Geneva, NY, United States	2016-04-01
Cory Johnson	Estes Park, CO, United States	2016-04-01
Megan Carruthers	Knoxville, IA, United States	2016-04-01
Allison Rodgers	Estes Park, CO, United States	2016-04-01
Nicole Smith	Fort Collins, CO, United States	2016-04-01
Suzi Greenfield	Loveland, CO, United States	2016-04-01
Lynn St.John	Loveland, CO, United States	2016-04-01
Barbara Ayres	Estes Park, CO, United States	2016-04-01
George Larkin	Estes Park, CO, United States	2016-04-01
Victoria Alexander Johnson	Estes Park, CO, United States	2016-04-01
Darci Tate-Nagel	Grundy Center, IA, United States	2016-04-01
Andi Anderson	Loveland, CO, United States	2016-04-01
Karen Anderson	Estes Park, CO, United States	2016-04-01

Name	Location	Date
Anne Cooper	Loveland, CO, United States	2016-04-01
Karen Hentges	Estes Park, CO, United States	2016-04-01
Kurt Friederich	Telluride, CO, United States	2016-04-01
Carie Essig	Fort Collins, CO, United States	2016-04-01
Edward DuBois	Estes Park, CO, United States	2016-04-01
Anne Patton	Estes Park, CO, United States	2016-04-01
Jessica Egan	Belchertown, MA, United States	2016-04-01
Edie Keller	Estes Park, CO, United States	2016-04-02
Elizabeth Evans	Fort Collins, CO, United States	2016-04-02
Micah Callough	Littleton, CO, United States	2016-04-02
Marykay Gillam	WEST DES MOINES, IA, United States	2016-04-02
Ken Kestel	Hawley, PA, United States	2016-04-02
Kate Ellard	Estes Park, CO, United States	2016-04-02
Julie Julie	Loveland, CO, United States	2016-04-02
Anne DuBois	Estes Park, CO, United States	2016-04-02
James OConnor	West Chester, PA, United States	2016-04-02
Ben Hays	Estes Park, CO, United States	2016-04-02
Andrew Rydell	Broomfield, CO, United States	2016-04-02
Jackie Welch	Chagrin Falls, OH, United States	2016-04-02
Brad Klein	Estes Park, CO, United States	2016-04-02
Judie Phillips	Salem, IL, United States	2016-04-02
Keely Conway	Estes Park, CO, United States	2016-04-02
Robin klein	Estes Park, CO, United States	2016-04-02
Paul Hladick	Estes Park, CO, United States	2016-04-02
Jared Fisher	Cheyenne, WY, United States	2016-04-02
Ryan Nevius	Estes Park, CO, United States	2016-04-02
Anthony Amato	Lone Tree, CO, United States	2016-04-02
Julie Monahan	Estes Park, CO, United States	2016-04-02
Diana Eldridge	Estes Park, CO, United States	2016-04-02
Dana Cramer	Iowa City, IA, United States	2016-04-02
Vicki Papineau	Estes Park, CO, United States	2016-04-02
Kari Pyle	Estes Park, CO, United States	2016-04-02

Name	Location	Date
Rachel Underwood	Jackson, MO, United States	2016-04-02
Alfredo Diaz	Estes Park, CO, United States	2016-04-02
Erin Axtell	Estes Park, CO, United States	2016-04-02
Pat Cleeland	Estes Park, CO, United States	2016-04-02
Amanda Mills	Livermore, CO, United States	2016-04-02
Shannon Faith	Estes Park, CO, United States	2016-04-02
Jill Schladweiler	Erie, CO, United States	2016-04-02
Julie Underwood	Estes Park, CO, United States	2016-04-02
Mike Holmes	Estes Park, CO, United States	2016-04-02
Kelly Murray	Estes Park, CO, United States	2016-04-02
Kim Carlson	Estes Park, CO, United States	2016-04-02
Stewart Card	Des Moines, IA, United States	2016-04-02
Amy Rydell	Broomfield, CO, United States	2016-04-02
Lois Scott	Estes Park, CO, United States	2016-04-02
Kelly Smith	Indianapolis, IN, United States	2016-04-02
Carol Linnig	Estes Park, CO, United States	2016-04-02
Mary Lou Harger	Estes Park, CO, United States	2016-04-02
Kim Cavanagh	Broomfield, CO, United States	2016-04-02
Monica Sigler	Estes Park, CO, United States	2016-04-02
Rebekah Scohy	Estes Park, CO, United States	2016-04-02
Suzanne Williams	Estes Park, CO, United States	2016-04-02
Aaron Freimark	Estes Park, CO, United States	2016-04-02
Brian Banfield	Broken Arrow, OK, United States	2016-04-02
Michael Taylor	Estes Park, CO, United States	2016-04-02
Mike Banfield	Overland Park, KS, United States	2016-04-02
Carla Anderson	Estes Park, CO, United States	2016-04-02
Jake Virant	Estes Park, CO, United States	2016-04-02
Sarah Bassow	Estes Park, CO, United States	2016-04-02
Kathy Gordon	Estes Park, CO, United States	2016-04-02
Bill Niles	Longmont, CO, United States	2016-04-02
Thomas Sopko	glen haven, CO, United States	2016-04-02
sharon nordic	fort collins, CO, United States	2016-04-02

Name	Location	Date
Gail Albers	Estes Park, CO, United States	2016-04-02
Bonnie McKain	Estes Park, CO, United States	2016-04-02
Jessica MacDonald	Estes Park, CO, United States	2016-04-02
Brittany Boone	Norman, OK, United States	2016-04-02
Walt Banfield	Estes Park, CO, United States	2016-04-02
Sandy Grice	Glen Haven, CO, United States	2016-04-02
Laura Grantham	Estes Park, CO, United States	2016-04-02
Morgan Richardson	Colorado Springs, CO, United States	2016-04-02
Stephanie Hulme	Loveland, CO, United States	2016-04-02
Jason Lykins	Estes Park, CO, United States	2016-04-02
kevin coughlan	jackson, WY, United States	2016-04-02
Misti Marcantonio	Estes Park, CO, United States	2016-04-02
Todd Greer	Estes Park, CO, United States	2016-04-02
Alice Miller	Estes Park, CO, United States	2016-04-02
Audra Michener	Estes Park, CO, United States	2016-04-02
Jay Roemer	Steamboat Springs, CO, United States	2016-04-02
Kelly Frazier	Mobile, AL, United States	2016-04-02
Dana Ostos	Estes Park, CO, United States	2016-04-02
Andrew Morgan	Estes Park, CO, United States	2016-04-02
Timothy Spencer	Lyons, CO, United States	2016-04-02
Stefanie Miller	Louisville, CO, United States	2016-04-02
nikki morris	Loveland, CO, United States	2016-04-02
Amy Fox	Estes Park, CO, United States	2016-04-02
Zackary Torres	Foley, AL, United States	2016-04-02
Jason Cox	Louisville, CO, United States	2016-04-02
Will Monks	Estes Park, CO, United States	2016-04-02
Julie Guzzetta	Estes Park, CO, United States	2016-04-02
Mary Lee Sonke	Roseville, CA, United States	2016-04-02
Linda Langer	Estes Park, CO, United States	2016-04-02
Joie Willuweit	Estes Park, CO, United States	2016-04-02
Cindy Best	West Des Moines, IA, United States	2016-04-02
Nicholas Money	Estes Park, CO, United States	2016-04-02

Name	Location	Date
Sena Krula	Estes Park, CO, United States	2016-04-02
Carissa Cooley	Laramie, WY, United States	2016-04-02
Kim Coffey	Estes Park, CO, United States	2016-04-02
Susan Dulmes	Sheboygan Falls, WI, United States	2016-04-02
ericca hirt	glen haven, CO, United States	2016-04-02
robert anderegg	Wellsboro, PA, United States	2016-04-02
Kashonna Shaw	Naperville, IL, United States	2016-04-02
Virginia Hutchison	Estes Park, CO, United States	2016-04-02
Kimberly Card	Des Moines, IA, United States	2016-04-02
Theresa Ward	Estes Park, CO, United States	2016-04-02
Maureen Andersen	Denver, CO, United States	2016-04-02
William McCauley	Lawrence, KS, United States	2016-04-02
Chris Banfield	Fort Collins, CO, United States	2016-04-02
Jerry Blackmore	Estes Park, CO, United States	2016-04-02
Kathy Bowers	Estes Park, CO, United States	2016-04-02
Meredith Russell	Boulder, CO, United States	2016-04-02
Kristen Berg	Glen Haven, CO, United States	2016-04-02
Sarah Tibbetts	Boulder, CO, United States	2016-04-02
Jennifer Cope	Denver, CO, United States	2016-04-02
Kaci Yoh	Estes Park, CO, United States	2016-04-02
Bonnie Fulford-Stewart	Estes Park,, CO, United States	2016-04-02
Louis Browning	Loveland, CO, United States	2016-04-02
Deanna Szuter	estes park, CO, United States Minor Outlying Islands	2016-04-02
Monica Koenig	Denver, CO, United States	2016-04-02
Matt Cohen	Estes Park, CO, United States	2016-04-02
Tristan Strecker	Denver, CO, United States	2016-04-02
Michelle Acers	Estes Park, CO, United States	2016-04-02
Ron Best	West Des Moines, IA, United States	2016-04-02
Jay Lykins	Estes Park, CO, United States	2016-04-02
Pete Noto	Carmel-by-the-Sea, CA, United States	2016-04-02
Sue Nuccio	Syracuse, NY, United States	2016-04-02

Name	Location	Date
Anne Gamble	Thornton, CO, United States	2016-04-02
Dan Fuller	drake, CO, United States	2016-04-02
Kathleen Fabry	Anaheim, CA, United States	2016-04-02
Tucker Stapleton	Denver, CO, United States	2016-04-02
Jon Pickett	Estes Park, CO, United States	2016-04-02
Jim Day	Lawrence, KS, United States	2016-04-02
Anabeth Cox	Drake, CO, United States	2016-04-02
John Laughlin	Estes Park, CO, United States	2016-04-02
Bipin Pokharel	Estes Park, CO, United States	2016-04-02
Ron Schneider	Estes Park, CO, United States	2016-04-02
sharon baldwin	Estes Park, CO, United States	2016-04-02
Marc Buehler	Estes Park, CO, United States	2016-04-02
Becky Weller	Estes Park, CO, United States	2016-04-02
Crystal Duclos	Topeka, KS, United States	2016-04-02
Dina Santi	Littleton, CO, United States	2016-04-02
Sue Darr	Omaha, NE, United States	2016-04-02
Barbara Fuller	Drake, CO, United States	2016-04-02
Rick Keith	Key West, FL, United States	2016-04-02
Gina Parillo	Bloomfield Hills, MI, United States	2016-04-02
bruce darby	Key West, FL, United States	2016-04-02
Margaret Mueller	Sidney, OH, United States	2016-04-02
Diana Walton	Fort Collins, CO, United States	2016-04-02
Keith Bechard	Estes Park, CO, United States	2016-04-02
Kim Haring	Greeley, CO, United States	2016-04-02
Holly Fishburn	Palatine, IL, United States	2016-04-02
Courtney Davis	Fort Collins, CO, United States	2016-04-02
Kathleen Spencer	Estes Park, CO, United States	2016-04-02
Nathan Meyers	Queens, NY, United States	2016-04-02
James Kocer	Estes Park, CO, United States	2016-04-02
Ann Johnson	Centennial, CO, United States	2016-04-02
Rich Kurtzman	Fort Collins, CO, United States	2016-04-02
Tiffany Banfield	Fort Collins, CO, United States	2016-04-02

Name	Location	Date
Ashley Buehler	Estes Park, CO, United States	2016-04-02
Jennifer Brice	Salem, OR, United States	2016-04-02
Kelley Stratton	McKinney, TX, United States	2016-04-02
Kathy Rogers	Estes Park, CO, United States	2016-04-02
Linda S Hamilton	Fort Collins, CO, United States	2016-04-02
Trina Nix	Frisco, TX, United States	2016-04-02
Kim Ford	Plano, TX, United States	2016-04-02
Donna Holmes	Estes Park, CO, United States	2016-04-02
Bryan Gillam	Estes Park, CO, United States	2016-04-02
Teri Franklin	McCleary, WA, United States	2016-04-02
Heather MacLennan	West Des Moines, IA, United States	2016-04-02
Mianne Williams	Neptune Beach, FL, United States	2016-04-02
Heather Mrozek	Golden, CO, United States	2016-04-02
Ken Yarbrough	Estes Park, CO, United States	2016-04-02
Matt Lofquist	Lubbock, TX, United States	2016-04-02
Roberta Andruska	Malta, ID, United States	2016-04-02
Megan Card	Pella, IA, United States	2016-04-02
Gina Knudsen	Grimes, IA, United States	2016-04-02
Ian McNeil	Portland, OR, United States	2016-04-02
Molly Hamsher	Steamboat Springs, CO, United States	2016-04-02
Beth Day	Urbandale, IA, United States	2016-04-02
Renee Johnson	Estes Park, CO, United States	2016-04-02
Amy Glenney	Lyons, CO, United States	2016-04-02
Keven Engelke	Denver, CO, United States	2016-04-02
Allison Skapin	Estes Park, CO, United States	2016-04-02
France's Rodgers	Clifton Heights, PA, United States	2016-04-02
Gail Ross	Clifton Heights, PA, United States	2016-04-02
Peggy Welsh	Alexandria, VA, United States	2016-04-02
Adam Aldridge	Estes Park, CO, United States	2016-04-02
Rio Roman	Estes Park, CO, United States	2016-04-02
Meredith Hudson	Milwaukee, WI, United States	2016-04-02
Alicia Cannon	Prospect Park, PA, United States	2016-04-02

Name	Location	Date
Becky Guyet	Key West, FL, United States	2016-04-02
Linda Novak	Omaha, NE, United States	2016-04-02
Melissa Gamber	Greeley, CO, United States	2016-04-02
Deborah Trout	Lyons, CO, United States	2016-04-02
Karen Glogau	Tallahassee, FL, United States	2016-04-02
Rachel Ryan	Estes Park, CO, United States	2016-04-02
Anita LoGiudice	Youngstown, OH, United States	2016-04-02
john stephens	Estes Park, CO, United States	2016-04-02
Spencer Hopllins	Denver, CO, United States	2016-04-02
Jack Cavanagh	Broomfield, CO, United States	2016-04-02
John Meyer	Estes Park, CO, United States	2016-04-02
craig frohbieter	Estes Park, CO, United States	2016-04-02
Dinesh Shakya	Denver, CO, United States	2016-04-02
Karen Kelly	Fort Collins, CO, United States	2016-04-02
Tiffany Ochoa	Denver, CO, United States	2016-04-02
Angie Draeger	Broken Arrow, OK, United States	2016-04-02
Maddie Banfield	Fort Collins, CO, United States	2016-04-02
Chris Kennison	Fort Collins, CO, United States	2016-04-02
Steve Jonker	Lyons, CO, United States	2016-04-02
Shane Clark	Belchertown, MA, United States	2016-04-02
Conor Brown	Fayetteville, AR, United States	2016-04-02
Joel York	Estes Park, CO, United States	2016-04-02
Barb Davis	Estes Park, CO, United States	2016-04-02
Mark Owen	Estes Park, CO, United States	2016-04-02
Talia Barrows	Philadelphia, PA, United States	2016-04-02
lynora sadler	Allenspark, CO, United States	2016-04-02
Jenna Murphy	Hau'ula, HI, United States	2016-04-02
David Pardo	Denver, CO, United States	2016-04-02
Sarah Gabelhouse	Estes Park, CO, United States	2016-04-02
Star Johnson	Basehor, KS, United States	2016-04-02
Marlene Hayek	Estes Park, CO, United States	2016-04-02
Allison Ditto	Woodway, TX, United States	2016-04-02

Name	Location	Date
Sharon Owen	Estes Park, CO, United States	2016-04-02
Susie Alexander	Spring, TX, United States	2016-04-02
Michaela Ferguson	Estes Park, CO, United States	2016-04-02
Noelle Denisi	Estes Park, CO, United States	2016-04-02
Donna Chenoweth	Jacksonville, IL, United States	2016-04-02
Terence Underwood	Jackson, MO, United States	2016-04-02
Tyler Goodro	Estes Park, CO, United States	2016-04-02
John Armstrong	Peoria, IL, United States	2016-04-02
Ellen Dacon	Mountain Home, AR, United States	2016-04-02
Mary Banfield	Estes Park, CO, United States	2016-04-02
Kim Borrell	Hastings, NE, United States	2016-04-02
Marilyn Herrmann	Estes Park, CO, United States	2016-04-02
Mary Banfield	Overland Park, KS, United States	2016-04-02
Alan Shadduck	Estes Park, CO, United States	2016-04-02
Janet Taylor	Estes Park, CO, United States	2016-04-02
Romy Paulson	Frisco, TX, United States	2016-04-02
John Dotson	Carmel-by-the-Sea, CA, United States	2016-04-02
Lizzie Adams	Estes Park, CO, United States	2016-04-02
Blossom Rountree	Tulsa, OK, United States	2016-04-02
Edee Nuetzel	Estes Park, CO, United States	2016-04-02
Peggy Donahue	Allenspark, CO, United States	2016-04-02
Kim Munoz	Spring, TX, United States	2016-04-02
Patricia Gildart	Estes Park, CO, United States	2016-04-02
Shari Hightower	Estes Park, CO, United States	2016-04-02
Jaime Ballard	Kirkwood, IL, United States	2016-04-02
Christopher Greenlee	Drake, CO, United States	2016-04-02
Josh Magid	Estes Park, CO, United States	2016-04-02
Cheryl Sarnwick	Estes Park, CO, United States	2016-04-02
Matthew Rees	San Francisco, CA, United States	2016-04-02
Shauna Duell	Estes Park, CO, United States	2016-04-02
Richard Snyder	New York, NY, United States	2016-04-02
Jennifer Wurgaft	Estes Park, CO, United States	2016-04-02

Name	Location	Date
anita hazeltine	Gainesville, FL, United States	2016-04-02
Rebecca Caldwell	Estes Park, CO, United States	2016-04-02
Doug Parker	Loveland, CO, United States	2016-04-02
Kelsey Drybread	Fort Collins, CO, United States	2016-04-02
Linda Griffin	Estes Park, CO, United States	2016-04-02
Derek Sutter	Fort Worth, TX, United States	2016-04-02
Rich Nagel	Los Angeles, CA, United States	2016-04-02
Diane Nugent	Estes Park, CO, United States	2016-04-02
Michael Grigsby	Estes Park, CO, United States	2016-04-02
Dawn Hemstreet	Salem, OR, United States	2016-04-02
Ron Thomas	Estes Park, CO, United States	2016-04-02
Leesa Cunningham	Bonner Springs, KS, United States	2016-04-02
Richard Hahn	Estes Park, CO, United States	2016-04-02
Megan Page	Estes Park, CO, United States	2016-04-02
Patricia Loos	Estes Park, CO, United States	2016-04-02
Kristan Harrenstein	Council Bluffs, IA, United States	2016-04-02
Scott Toulouse	Estes Park, CO, United States	2016-04-02
Emily Allerheiligen	Estes Park, CO, United States	2016-04-02
Maisie Greer	Estes Park, CO, United States	2016-04-02
Emily Thomas	Estes Park, CO, United States	2016-04-02
Gale More	Denver, CO, United States	2016-04-02
sybil barnes	Estes Park, CO, United States	2016-04-02
Sarah Fedorchak	Estes Park, CO, United States	2016-04-02
Tiffany Jennings	Basehor, KS, United States	2016-04-02
Paula Edwards	Estes Park, CO, United States	2016-04-02
Carrie Legros	Arvada, CO, United States	2016-04-02
Thomas Crews	Fort Collins, CO, United States	2016-04-02
Emily Holt	Bolton, MA, United States	2016-04-02
Kimberly Hutton	Lewiston, NY, United States	2016-04-02
Vicki Logsdon	Basehor, KS, United States	2016-04-02
Barry Knolton	Estes Park, CO, United States	2016-04-02
Susan Thelander	Estes Park, CO, United States	2016-04-02

Name	Location	Date
Scot Batesel	Basehor, KS, United States	2016-04-02
Myrna Goff	Estes Park, CO, United States	2016-04-02
Warren Musselman	Lyons, CO, United States	2016-04-02
Jeremy Borrell	Hastings, NE, United States	2016-04-02
Derrick Winston	Denver, CO, United States	2016-04-02
Barb Artz	Estes Park, CO, United States	2016-04-02
Erik Oftedahl	Lyons, CO, United States	2016-04-02
Samantha Peters	Estes Park, CO, United States	2016-04-02
Lisa Peters	Estes Park, CO, United States	2016-04-02
Jennifer Frailey	Estes Park, CO, United States	2016-04-03
Marsha Hobert	Glen Haven, CO, United States	2016-04-03
Shannon DeJaynes	Estes Park, CO, United States	2016-04-03
Dianna Duclos	Topeka, KS, United States	2016-04-03
Kimberly Saylor	Hampton, VA, United States	2016-04-03
mary schwanitz	ferndale, MI, United States	2016-04-03
Josie Neuzil	Dillon, CO, United States	2016-04-03
Sally Jane Robertson	Estes Park, CO, United States	2016-04-03
Bill Kenny	Philadelphia, PA, United States	2016-04-03
Janann Eldredge	Lenexa, KS, United States	2016-04-03
Lindsay Haley	Estes Park, CO, United States	2016-04-03
Joshua Like	Estes Park, CO, United States	2016-04-03
Christopher Solis	Estes Park, CO, United States	2016-04-03
Jessica Barber	Estes Park, CO, United States	2016-04-03
Eliza Pokojski	Estes Park, CO, United States	2016-04-03
Fred Doan	Estes Park, CO, United States	2016-04-03
Marina Boyle	Burlington, NC, United States	2016-04-03
Karen Wilbert	Estes Park, CO, United States	2016-04-03
Megan Guge	West Des Moines, IA, United States	2016-04-03
Christine Shane	Estes Park, CO, United States	2016-04-03
Kelly Dione	Cudahy, WI, United States	2016-04-03
Chandler Eaton	Springfield, MO, United States	2016-04-03
Thomas Wilbert	Estes Park, CO, United States	2016-04-03

Name	Location	Date
Katie Barnett	Ault, CO, United States	2016-04-03
Ruth Slade	Pierce, CO, United States	2016-04-03
Stef Scrutchins	Estes Park, CO, United States	2016-04-03
Christina Santagati	Estes Park, CO, United States	2016-04-03
Kelly Morrissey	Holland, MI, United States	2016-04-03
Keven Owens	Campo, CA, United States	2016-04-03
justus drake	Estes Park, CO, United States	2016-04-03
Samantha Demlow	West Bend, WI, United States	2016-04-03
Jaime Canavan	Estes Park, CO, United States	2016-04-03
Catherine Peacock	Sacramento, CA, United States	2016-04-03
Jerrica Miller	Minturn, CO, United States	2016-04-03
Bethany Runyon	Denver, CO, United States	2016-04-03
Bronson MacDonald	Estes Park, CO, United States	2016-04-03
Sonya Perez	Kansas City, KS, United States	2016-04-03
Emily Zalewski	Lyons, CO, United States	2016-04-03
Jimmy Kuch	Estes Park, CO, United States	2016-04-03
Jessa JOHNSON	Loveland, CO, United States	2016-04-03
Patti Dolezal	Estes Park, CO, United States	2016-04-03
Dave Rusk	Estes Park, CO, United States	2016-04-03
Lauren Molle	Estes Park, CO, United States	2016-04-03
Kevin Pula	Denver, CO, United States	2016-04-03
Renee Gallardo	Winnemucca, NV, United States	2016-04-03
Christine Kalencki	Estes Park, CO, United States	2016-04-03
James Putman	Estes Park, CO, United States	2016-04-03
Sheryl Ponzer	Estes Park, CO, United States	2016-04-03
Jesse Conejo	Estes Park, CO, United States	2016-04-03
alix Jensen	Fraser, CO, United States	2016-04-03
Lynne Sutherland	Los Altos, CA, United States	2016-04-03
Andria Amen	Estes Park, CO, United States	2016-04-03
Jennifer Grewe	Erie, CO, United States	2016-04-03
Aleksandar Kostadinov	Estes Park, CO, United States	2016-04-03
Holly Charboneau	Drake, CO, United States	2016-04-03

Name	Location	Date
Kitty Gk	Dorval, Canada	2016-04-03
Susan Taylor	Estes Park, CO, United States	2016-04-03
Antoinette Wallace	Albany, NY, United States	2016-04-03
Angelina Hodge	Liberty, MO, United States	2016-04-03
Tessa Burke	Chicago, IL, United States	2016-04-03
Craig Adams	Estes Park, CO, United States	2016-04-03
Brenda Loveall	Estes Park, CO, United States	2016-04-03
Niki Drake	Kenosha, WI, United States	2016-04-03
Dara Palmer	Philadelphia, PA, United States	2016-04-03
Jean Saul	Denver, CO, United States	2016-04-03
Marcus Hake	Fountain, CO, United States	2016-04-03
Sean Nunan	East Longmeadow, MA, United States	2016-04-03
Pamela Meylor	Estes Park, CO, United States	2016-04-03
Ricky Papineau	Estes Park, CO, United States	2016-04-03
Aaron Awtrey	Denver, CO, United States	2016-04-03
Bev Stein	Hastings, NE, United States	2016-04-03
Chelsea Ackerman	Lyons, CO, United States	2016-04-03
Brad Wiley	Lewisville, TX, United States	2016-04-03
Pat Yoh	Wauseon, OH, United States	2016-04-03
Sharon Kleist	Estes Park, CO, United States	2016-04-03
Daniel Casso	Arvada, CO, United States	2016-04-03
ben jackson	fort collins, CO, United States	2016-04-03
Kevin Soviak	Estes Park, CO, United States	2016-04-03
Anne Cridler	Guadalupe, CA, United States	2016-04-03
Maren Bosley	Estes Park, CO, United States	2016-04-03
Heather Johnson	Estes Park, CO, United States	2016-04-03
Brenda Longacre	Estes Park, CO, United States	2016-04-03
Jeff Legler	Estes Park, CO, United States	2016-04-03
kathie healy	MILWAUKIE, OR, United States	2016-04-03
Kenneth Gritzman	Estes Park, CO, United States	2016-04-03
Eric Senesac	Loveland, CO, United States	2016-04-03
Michael Foster	Fort Collins, CO, United States	2016-04-03

Name	Location	Date
Gina Paige	Estes Park, CO, United States	2016-04-03
Catherine Lewis	Estes Park, CO, United States	2016-04-03
JoAnn Stegura	Clear Lake, MN, United States	2016-04-03
Timothy Tyran	Bedford, TX, United States	2016-04-03
Megan Evans	Estes Park, CO, United States	2016-04-03
Scott Esser	Longmont, CO, United States	2016-04-03
Jeff Briggs	Estes Park, CO, United States	2016-04-03
Hilarie Splichal	Littleton, CO, United States	2016-04-03
Yvonne Odom	Bellvue, CO, United States	2016-04-03
CYNTHIA DOHENY	Tallahassee, FL, United States	2016-04-03
Belle Morris	Estes Park, CO, United States	2016-04-03
Herb Loveall	Estes Park, CO, United States	2016-04-03
Joe Heyen	Estes Park, CO, United States	2016-04-03
Julie Klett	Estes Park, CO, United States	2016-04-03
Jason Martinez	Estes Park, CO, United States	2016-04-03
Michelle Hurni	Estes Park, CO, United States	2016-04-03
Miki Wollett	Estes Park, CO, United States	2016-04-03
Kim Minnick	Katy, TX, United States	2016-04-03
Nancy Elgin	Estes Park, CO, United States	2016-04-03
Jeanette Terry	Kansas City, KS, United States	2016-04-03
Anna Haug	Estes Park, CO, United States	2016-04-03
Liz DeCleene	Estes Park, CO, United States	2016-04-03
Nancy Houlihan	Estes Park, CO, United States	2016-04-03
Lawrence Sage	Estes Park, CO, United States	2016-04-03
Garth Lewis	Estes Park, CO, United States	2016-04-03
Mike Poland	Littleton, CO, United States	2016-04-03
Kristi Noyes	Estes Park, CO, United States	2016-04-03
Ryan Cornell	Estes Park, CO, United States	2016-04-04
Scott Paige	Estes Park, CO, United States	2016-04-04
James Paige	Estes Park, CO, United States	2016-04-04
Sandy Chockla	Estes Park, CO, United States	2016-04-04
Jan Swaney	Estes Park, CO, United States	2016-04-04

Name	Location	Date
Samantha Myers	La Salle, CO, United States	2016-04-04
Patty Risley	El Paso, IL, United States	2016-04-04
Lydia Wiley	Olathe, KS, United States	2016-04-04
Chelsea young	Estes Park, CO, United States	2016-04-04
Jennifer Diefenbach	Fort Lauderdale, FL, United States	2016-04-04
Eli Ertl	Estes Park, CO, United States	2016-04-04
Larissa Gamber	Kissimmee, FL, United States	2016-04-04
Shannon Rice	Dallas, TX, United States	2016-04-04
Samuel Lawrence	Estes Park, CO, United States	2016-04-04
Shuler Susan	Bennettsville, SC, United States	2016-04-04
James Shuler	Estes Park, CO, United States	2016-04-04
Denise Stookesberry	Glen Haven, CO, United States	2016-04-04
Mary Ross	Dallas, TX, United States	2016-04-04
Heather Stone	Estes Park, CO, United States	2016-04-04
Molly Vetter	Redondo Beach, CA, United States	2016-04-04
Jordanne Bradley	Erie, CO, United States	2016-04-04
beckie greer	estes park, CO, United States	2016-04-04
Brian Faith	Estes Park, CO, United States	2016-04-04
Pamela Wallace	Estes Park, CO, United States	2016-04-04
Renee Sniegocki	Gatlinburg, TN, United States	2016-04-04
Sharlyn Clark	High Springs, FL, United States	2016-04-04
Marcia Tavel	Estes Park, CO, United States	2016-04-04
Patrick Vernon	Albuquerque, NM, United States	2016-04-04
Lisa Innes	Estes Park, CO, United States	2016-04-04
Lynn Stepaniak	Estes Park, CO, United States	2016-04-04
Louis Orenstein	Boulder, CO, United States	2016-04-04
Cynthia Basch	Estes Park, CO, United States	2016-04-04
richard herzfeldt	Estes Park, CO, United States	2016-04-04
Pamela Demke	Worth, IL, United States	2016-04-04
Nancy Wilson	Estes Park, CO, United States	2016-04-04
Colleen Bair	Estes Park, CO, United States	2016-04-04
Dina Lininger	Estes Park, CO, United States	2016-04-04

Name	Location	Date
Mark Eaton	Olathe, KS, United States	2016-04-04
John Calden	Estes Park, CO, United States	2016-04-04
Laura Case	Estes Park, CO, United States	2016-04-04
Jann Meadows	Estes Park, CO, United States	2016-04-04
Lauren Stepaniak	Estes Park, CO, United States	2016-04-04
Suzanne Riley	Estes Park, CO, United States	2016-04-04
Linda Wagner	Estes Park, CO, United States	2016-04-04
Julie Cuklanz	Estes Park, CO, United States	2016-04-04
Amy Donahue	Durango, CO, United States	2016-04-04
Breeyan Sloan	Estes Park, CO, United States	2016-04-04
Katie Bernacchi	Estes Park, CO, United States	2016-04-04
Keith Hammond	Estes Park, CO, United States	2016-04-04
Kim Floyd	Missoula, MT, United States	2016-04-04
Colin Dowling	Allenspark, CO, United States	2016-04-04
Lynn Lykins	Estes Park, CO, United States	2016-04-04
steve klett	Estes Park, CO, United States	2016-04-04
Jennifer Hood	Fort Collins, CO, United States	2016-04-04
Joshua McClelland	Estes Park, CO, United States	2016-04-04
Meghann Tornquist	Estes Park, CO, United States	2016-04-04
Leah Ruddick	Estes Park, CO, United States	2016-04-04
Tori Parker	Fenton, MO, United States	2016-04-04
Beth DeWitt	Estes Park, CO, United States	2016-04-04
Matthew DeWitt	Estes Park, CO, United States	2016-04-04
Shara Musick	Estes Park, CO, United States	2016-04-04
Rick Zuba	Estes Park, CO, United States	2016-04-05
Jessica Kaplan	Fleming Island, FL, United States	2016-04-05
Alissa Anderson	Estes Park, CO, United States	2016-04-05
Beth Godwi	Gainesville, FL, United States	2016-04-05
Diane Calden	Estes Park, CO, United States	2016-04-05
Toni Brese	Estes Park, CO, United States	2016-04-05
Gail Ellis	Estes Park, CO, United States	2016-04-05
Devon Oline	Boulder, CO, United States	2016-04-05

Name	Location	Date
Lisa Slepetski	Moose Pass, AK, United States	2016-04-05
Christine Smith	Estes Park, CO, United States	2016-04-05
Jennifer Reeme	Estes Park, CO, United States	2016-04-05
Megan Cohen	West Des Moines, IA, United States	2016-04-05
Kim Pruemer	Teutopolis, IL, United States	2016-04-05
Stacey Jacobs	Estes Park, CO, United States	2016-04-05
Julie Cardenas	Denver, CO, United States	2016-04-05
Sherry K Rytting	Estes Park, CO, United States	2016-04-05
Shayna Gallagher	Loveland, CO, United States	2016-04-05
Brenda Schreiner	Estes Park, CO, United States	2016-04-05
Teresa Buttler	Erie, CO, United States	2016-04-05
Thomas Booth	Estes Park, CO, United States	2016-04-05
Linda Bowling	Lamar, MO, United States	2016-04-05
Margaret Sanders	Batavia, IL, United States	2016-04-05
virginia hampton	Estes Park, CO, United States	2016-04-05
Megan Nugent	Greeley, CO, United States	2016-04-05
Scott Annin	Fullerton, CA, United States	2016-04-05
Kristen Zumdom	Estes Park, CO, United States	2016-04-05
Karen Davis	Estes Park, CO, United States	2016-04-05
Pat Hammond	Estes Park, CO, United States	2016-04-05
Rachel Barnes	Denver, CO, United States	2016-04-05
Becky Gruhl	Estes Park, CO, United States	2016-04-05
Derek Harding	Estes Park, CO, United States	2016-04-05
Rhonda Harding	Estes Park, CO, United States	2016-04-05
Kristen Luetkemeier	Grand Canyon, AZ, United States	2016-04-05
Mark Williams	Miami, FL, United States	2016-04-06
bill walters	Estes Park, CO, United States	2016-04-06
Marcus Dougan	Longmont, CO, United States	2016-04-06
Kelly Dougan	Longmont, CO, United States	2016-04-06
Courtney Strother	Grand Junction, CO, United States	2016-04-06
Kimberly West	Estes Park, CO, United States	2016-04-06
Kevin Runde	Saint Charles, MO, United States	2016-04-06

Name	Location	Date
shirley mclaren	Estes Park, CO, United States	2016-04-06
Thomas Kapr	Keystone, SD, United States	2016-04-06
Cathy Scarborough	Ocracoke, NC, United States	2016-04-06
Molly Cantrall	Vancleave, MS, United States	2016-04-06
Amy Hansen	Amery, WI, United States	2016-04-06
Erin Ries	Ness City, KS, United States	2016-04-06
Brandon Anderson	Estes Park, CO, United States	2016-04-06
Amanda Farrior	Crestview, FL, United States	2016-04-06
Narda Byczek	Loveland, CO, United States	2016-04-06
Kaleigh Smith	Estes Park, CO, United States	2016-04-06
greg miles	Estes Park, CO, United States	2016-04-06
Mark Donahue	Estes Park, CO, United States	2016-04-06
Tia Sillers	Nashville, TN, United States	2016-04-06
Ambree Zuba	Estes Park, CO, United States	2016-04-06
Jane Brown	Woodway, TX, United States	2016-04-06
mark selby	Nashville, TN, United States	2016-04-06
Amanda Smith	Estes Park, CO, United States	2016-04-06
Todd Hart	Hutto, TX, United States	2016-04-06
Jennifer Perry	Birmingham, AL, United States	2016-04-07
Kelli Cox	Moravia, IA, United States	2016-04-07
Ruth Rehm	Estes Park, CO, United States	2016-04-07
Thad Wright	Estes Park, CO, United States	2016-04-07
Bob Nickless	Estes Park, CO, United States	2016-04-07
Jenifer Regan	Estes Park, CO, United States	2016-04-07
Rhonda Mickelson	Estes Park, CO, United States	2016-04-07
Donna Egan	Estes Park, CO, United States	2016-04-07
Ashley Muilenburg	Urbandale, IA, United States	2016-04-07
Kathleen Gustafson	Homer, AK, United States	2016-04-08
Robert Warren	Estes Park, CO, United States	2016-04-08
Carole Fixter	Estes Park, CO, United States	2016-04-08
Violet Morisette	Braham, MN, United States	2016-04-08
Greg Nichols	Longmont, CO, United States	2016-04-08

Name	Location	Date
Eleanor Roehl	Estes Park, CO, United States	2016-04-08
Patrick McCartney	ozark, AR, United States	2016-04-09
Cass Keninger	Independence, IA, United States	2016-04-09
Andrea Gohl	Las Cruces, NM, United States	2016-04-09
Justin DuBois	Estes Park, CO, United States	2016-04-09
Malinda Stephens	Estes Park, CO, United States	2016-04-09
Jon-Paul Gallois	Estes Park, CO, United States	2016-04-10
Phyllis Star White	Wellington, CO, United States	2016-04-10
Gayle Sandham	Denver, CO, United States	2016-04-10
Sheryl Kenner	Leland, NC, United States	2016-04-10
Brett Hodges	Stilwell, KS, United States	2016-04-11
Herb Mignery	Loveland, CO, United States	2016-04-11
Amy Eldred	Lincoln, NE, United States	2016-04-11
Mike Egan	Estes Park, CO, United States	2016-04-11
Diane Pence	Estes Park, CO, United States	2016-04-11
Ashley Goedken	Estes Park, CO, United States	2016-04-11
Mary Frankel	Estes Park, CO, United States	2016-04-12
Pepper Papineau	York, NE, United States	2016-04-12
Dustin Fasching	Los Angeles, CA, United States	2016-04-12
Andrea Rothwell	North Fort Myers, FL, United States	2016-04-12
Jason Mezilis	Los Angeles, CA, United States	2016-04-12
Keith Berkes	Los Angeles, CA, United States	2016-04-12
Susan Hora	Aurora, CO, United States	2016-04-12
Chris Parsons	Salt Lake City, UT, United States	2016-04-12
Raphael haber	Estes Park, CO, United States	2016-04-12
Jessica Littlefield	Los Angeles, CA, United States	2016-04-12

To: Estes Valley Planning Commission Members, Mayor and Estes Park Town Board



The intent of A-Accommodation zoning is first and foremost accommodation. The proposed Lazy B does not fit any of the examples of specific uses for this zoning (13.2.C.1.b) nor does it fit the zoning's broader definition (13.2.C.1a).

The proposed Lazy B would offer an hour long chuckwagon supper followed by an hour long show each night from 6-8pm. The proposed site for the Lazy B is on land zoned AAccommodation. To see if this proposal is allowed you must look at table 5.1 in chapter 5 of the Estes Valley Development Code. The proposal is for dinner and entertainment, so seeing if a restaurant is allowed is a good place to start. The table states a restaurant would be allowed only if it's less than 25% of a building used for accommodation such as a hotel. So, if defined as a restaurant this proposal would not be allowed. However, the Lazy B would also provide entertainment. So perhaps it would be allowed as an entertainment venue. The table states that an indoor entertainment venue would be allowed only after special review.

So this is where we are; in the process of a special review.

However, chapter 13.2-C states "When a specific use example is provided, the example should satisfy both the broader classification's general definition as well as the definition of the specific use". Which means that although the Lazy B proposal is allowed under special review as a Major Event, it must still satisfy the broader classification's general definition. Which is as follows quoted from chapter 13.2.C.1a-

A Accommodation "General Definition : Visitor-serving facilities that provide temporary lodging in guest rooms or guest units for compensation, and with an average length of stay of less than thirty (30) days. High-intensity accommodations generally serve a larger number of guests than low-intensity accommodations."

As you can see the proposed Lazy B development proposal does not fit this broader classification. Therefore is not allowed in this zoning district.

If there is any question left about the intent of A Accommodation zoning, chapter 4.4.A.1.a adds-

"A Accommodations/Highway Corridor Zoning District. This district implements the "A-Accommodations" land use category set forth in the Comprehensive Plan. It applies primarily in highway-oriented commercial areas of the Estes Valley, and allows a wide variety of accommodation uses, including relatively higher-intensity accommodations such as multi-story hotels and motels. A variety of related tourist-serving retail and commercial uses, such as restaurants, bars and gift shops, will be permitted, but only as accessory uses to a principal accommodations use and only if such supporting uses are located inside the same structure as the principal use. Stand-alone commercial or retail uses will not be permitted in this accommodations district; instead, such uses may be developed in the other commercial zones."

The intent of zoning this land A Accommodation was so accommodation would be built there. Here is a passage from page 78 of chapter 7's neighborhood plans in the recent draft chapters of the updated comprehensive plan pertaining to this specific piece of property-

"The commercial campground at the Spur 66 Park entrance intersection should evolve into housing."

The proposed Lazy B does not fit the zoning of this area and should not be allowed to be built there. Please honor the comprehensive plan and the intent of the community it was written by and for.

-Alec Hodges, life long resident

Compliance of this is required. Chapter 4.2.A states- "Compliance Required. No building or structure shall be erected, converted, enlarged, reconstructed, or altered for use, nor shall any land, building, or structure be used or changed in use except in accordance with all of the regulations established by this Code for the zoning district in which the land, building, or structure is located."

To: Estes Valley Planning Commission Members, Mayor and Estes Park Town Board



The Lazy B Development Plan creates an unreasonable hardship for one of Estes Park's highest rated restaurants.

The Rock Inn currently has 54 parking spaces on their property. The proposed turn lane will eliminate 11 of those parking spaces. That is more than 20% of their parking. However, on weekends during the summer season The Rock has 20 or more employees working in the evenings. They need places to park as well. Even if they walked to work, rode their bikes, and made a tremendous effort to carpool, it would be hard to have less than 9 parking spaces taken by employees. That leaves 45 parking spaces currently available on the property for customers to park. The planned turn lane would take 11 of those spaces which is almost 25% of the parking available to customers. Attached are drawings from Van Horn Engineering and a passage from the auxiliary lane analysis by Delich Associates which illustrates this point.

This is an unreasonable hardship for one of Estes Parks highest rated restaurants. Visitors to our town rate this restaurant so highly because they have good experiences and memories there. Their good experiences help make a good impression of our town and makes them want to stay longer and return more frequently. If the proposed turn lane takes away 25% of customer parking, fewer tourists will have the positive experience of dining at The Rock. This drop in business will affect the income and therefore livelihood of Rock Inn employees.

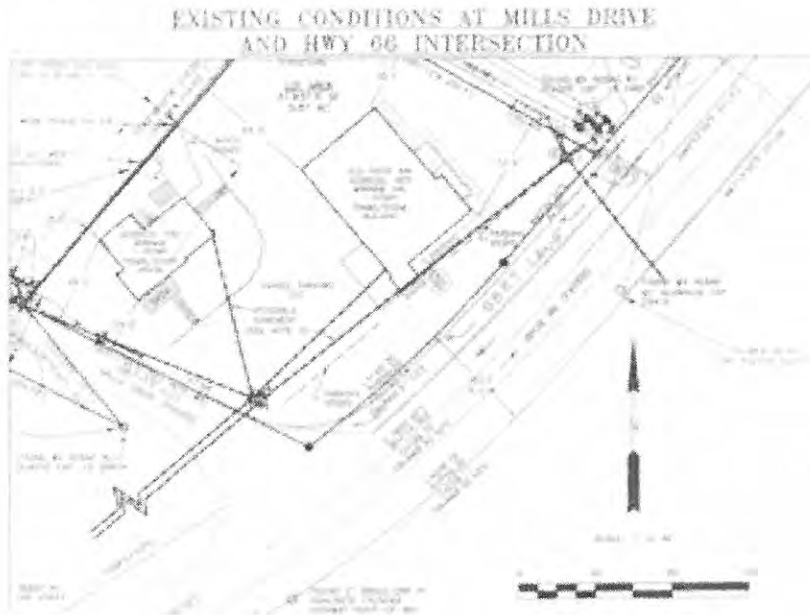
In an open meeting with the public Michelle Oliver, the applicant for this project, said that the Lazy B chuckwagon will have 10-12 employees. Of which few already live in Estes Park but would like to move here. The Rock has more than 20 year round employees and many more that are seasonal. Of the more than twenty year round employees most have lived in Estes for years, many for more than a decade and some, including myself, grew up here.

I have worked at The Rock for almost six years now. It's the second highest rated dinner venue in Estes Park on Trip Advisor and Yelp. It's an amazing place to work and has an incredible staff. We have a tremendous local following and an amazing number of tourists who return every year. We have become a part of what Estes is to these people and I am proud of that. It would be a shame to prioritize the dreams of someone who just moved to town over the livelihood of our current long term residence.

I ask please do not allow the turn lane to be built in front of The Rock Inn, and to reject the proposed Lazy B Chuckwagon until a better, less impactful location is found.

Thank you for taking these facts into consideration, and please take the time to view the illustrations below to better understand the impact of this proposal.

-Alec Hodges

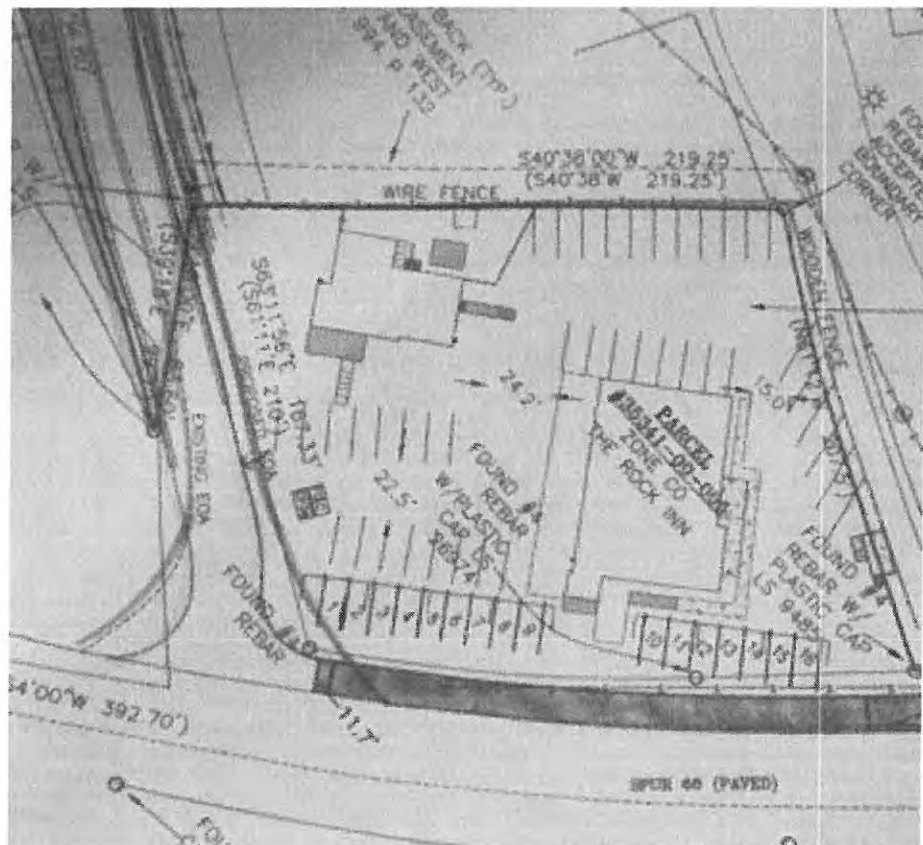


"The drawing, provided by Van Horn Engineering, shows parking stops just north of Mills Drive within the property of the Old Rock Inn. These parking stops indicated 90 degree parking. A vehicle backing out of these spaces will impact the SBRT lane. Therefore it is my recommendation that only parallel parking be allowed in front of the Old Rock Inn."

- From auxiliary lane analysis by Delich Associates. Posted on the town government website.

The Rock would lose the sixteen 90 degree parking spots in front of the restaurant. In their place would be five spots to parallel park. Creating a net loss of eleven parking spaces.

- Illustration done by Van Horn Engineering



To: Estes Valley Planning Commission Members, Mayor and Estes Park Town Board



Stop sign added to US 36 heading out of RMNP is a deal breaker for proposed Lazy B.

An event venue such as the proposed Lazy B causes challenging stresses concerning traffic. In an event, all of the patrons arrive and leave in the same half hour to an hour. That means every night the 750 people attending the Chuckwagon dinner and event would arrive and leave at the same time.

Traffic is a constant and growing issue in Estes Park. The placement of a nightly event venue of this size is worth considerable thought. According to the traffic study on this project the proposed venue would cause substantial traffic, especially in the hour from 5-6 pm before the start of the nightly event. The traffic study finds it would be necessary to add a stop sign on highway 36 coming out of the park to allow all the event goers to pass on to highway 66.

I'm not sure there is a busier road from 5-6pm in the summer than highway 36 exiting the park. I couldn't tell you the exact numbers on this part of 36 at this time of day. In fact, neither could the traffic analysis done for this project as the CDOT data for this is years old. The traffic analysis synthesized this data using traffic numbers from US 34, which could be an accurate way of synthesizing this 2015 summertime data. However, the projected 2018 traffic numbers were obtained by multiplying the synthesized 2015 traffic data by 1.5% per year. According to irma.nps.gov, RMNP attendance is up by 20% so far in 2016 compared to 2015. So it is hard to imagine the traffic study's projected traffic data for 2018 is even remotely accurate.

I would like to mention, as stated in the traffic analysis for this project, that a stop sign on US 36 would require CDOT approval. The traffic analysis states that without the addition of this stop sign, from 5-6pm there would be an average delay of 47 seconds per vehicle for traffic turning left from west bound 36 onto US 66. This is an E level-of-service rating, almost an F. Only C and above are considered acceptable.

The traffic study for this project does not assess the impact this stop sign would have on circulation patterns on US 36 and how that would affect traffic leaving RMNP. This assessment is required by chapter 5.1.C.1.b of the Estes Valley Development Code.

I would like to mention that the Statement of Intent submitted for the Lazy B project does not even mention the stop sign that would be added to US 36, not even in the part entitled Traffic and Parking Considerations.

In my opinion the stop sign required for this project will cause traffic to back up well into RMNP and add to visitors and locals frustration with summer traffic. Without current and accurate traffic numbers, we do not know the impact this project would have on traffic, and would run the possibility of adding to our already uncomfortable traffic problems.

-Alec Hodges (life long resident)

To Whom It May Concern,



I am writing in regards to the proposed Chuck Wagon on Mills Drive. I live on the corner of Mills and Moraine Avenue and I'm concerned about the effects of increased traffic and eliminating The Rock Inn's front parking lot will have on my safety and mobility as well as the risk it will put others in. I am blind and hearing impaired and am employed at the YMCA of the Rockies. As many of you are well aware there is very little in the way of affordable housing in the Estes Park area. My situation is further complicated by the fact that since I am unable to drive I must try to locate myself in a place where I can easily get rides to work and use the summer shuttle service. Fortunately I have found such a place in my current apartment.

One of the few downsides to my current location is that I cannot independently and safely walk to town or to work. I have made use of the generosity of friends, the Via shuttle bus, and the summer shuttle service so that I can get where I need to. I am also fortunate in that there is one business that I can safely walk to when I have no other transportation to go anywhere, the Rock Inn. If not for the Rock I would never be able to leave my home without someone else's assistance. There are no sidewalks on the path I take to the Rock but with training and the very light traffic on Mills Drive I can still safely and successfully get there without sidewalks or crosswalks. The proposed business venture on Mills and subsequent changes to the road and traffic flow will make what once a short safe walk much more dangerous to me. No longer would I have the same level of independence that I now enjoy. Furthermore when live bands play at the Rock the parking lot fills and cars park along the side of Moraine where I walk. When this happens it becomes more difficult and dangerous for me to navigate by myself but this doesn't happen often and if I decide to go to the Rock on such a night I usually get assistance. With the removal of the front parking lot there will likely be cars parked along the road much more often and now you will have a situation will many people will now have to cross Mills or Moraine with a heavier traffic flow and still no sidewalks or crosswalks. The new situation will be that not only will my independence be diminished and my safety be put at risk but many others will be forced to make unsafe road crossings as well.

In conclusion I must strongly protest the proposed road and traffic changes associated with the Chuck Wagon. To quote my Orientation and Mobility Instructor, "What's good for the blind community is ultimately good for the community as a whole."

Sincerely,

R. Colt Weber

1755 Moraine Ave

Estes Park, Co 80517



April 12, 2016

I am Mark Donahue, I have lived in Estes for 40+ years with about 35 of those on the West End.

As a point of reference for my comments I would like to use the fairy tale that the project manager of the Chuck wagon project had published in two articles in the Trail Gazette.

She speaks of coexist on a bumper sticker. That is a very honorable idea, but in this particular case I believe she means you can coexist with me as long as I get to do what I want to do. It does not mean get along with me as I destroy your parking lot, put Spur 66 on your front step and clog up the traffic in the neighbor hood. It doesn't mean that I am doing you a big favor with a water line, when I am required to put it in and you can use it. You just need to put up with idling diesel buses, car traffic, noise, trash, etc. as a payment.

Why is the Project Manager not coexisting with all of the existing property that they already own? She should be using the existing access and coexisting with the campground. They have 30 acres with which to figure out the logistics of

How to get all of those people into the chuck wagon to make them money. That is the access issue.

Addressing the actual operation. The fairy tale describes a highly successful operation. The original Lazy B was situated on a 45 acre piece of ground. At the time of its existence, the Lazy B was basically in the "wilds of Estes." It was not developed as it is today. It did not impact a neighborhood or neighboring established business and traffic was never an issue on Day Gulch. It was in the right place at the right time.

The new chuck wagon proposal is in the wrong place at any time. The developers are apparently not willing to bear any hardship to their present camp ground operation to make this thing go. If this is such a great idea, then reconfigure the existing 30 acres and jump in with both feet instead of using 3 or 4 acres and leaving the rest as you are in the hole.

There are so many issues I have not addressed but I am sure someone will. Wild life, diesel pollution, food smell pollution, noise, basically an utter disregard the ~~the~~ developers have for the impact

and destruction of the quality of life that they would cause on long time residents in pursuit of the almighty dollar. It boils down to greed, no matter how the fairy tale is told.

If Tom justin was here with his cowboy wisdom, he might say "Son, you're trying to put 10 gallons of S--- into a 5 gallon bucket. Let's get Roy and Dale to sing a verse of "Hoppsy Trails" and watch this chuck wagon thing ride slowly off into the sunset."

Thank you,
Mark Donahue

2246 Eagle Cliff Rd.

E.P. CO. 80517

970-586-3969

To: Estes Park Planning Committee

From: Chris Watters – Estes Park resident and The Rock Inn Mountain Tavern employee

Date: April 8, 2016

Subject: Lazy B Ranch

The creation of this venue has become a major talking point of Estes Park businesses and residents due to the many changes that will occur if the planned venue is built. As a full-time employee of The Rock Inn Mountain Tavern and a resident of Estes Park, I am deeply concerned by the planning of this venue for multiple reasons:

- Light pollution –
 - Street lamps and parking lot lights will heavily pollute the nightscape, destroying views of the stars and damaging nighttime wildlife in the area. The secluded feeling of Western Estes Park is a reason so many residents live here and why so many people enjoy staying on this end of town. The light pollution that would occur due to the proposed enhancements of the area will essentially negate that essence of seclusion.
- Noise pollution –
 - People come to Estes Park for many reasons – one of which is the peace and quiet. If we do not preserve this aspect of our small town, people will find other places to travel that provide this environment. Lost tourism is the exact opposite of what this venue promises to provide; the type of tourism this venue promotes is not in-line with our current tourism crowd and has the long-term potential to drive them away.
- Traffic congestion –
 - Adding a turn lane to Route 66 would negatively affect traffic coming in and out of the National Park, residential traffic in the area, pedestrian safety (due to the lack of sidewalks - as it is currently planned) and parking for The Rock Inn Mountain Tavern. More so, if the hopes of the venue truly are to have shuttle buses from the Denver, Boulder, and Fort Collins areas, this would add to the dangers for wildlife crossing our roads, noise pollution that will scare away much of the wildlife that co-exists within our community, and air pollution that is neither beneficial nor easily combated
- Wildlife dangers –
 - Some of the dangers have already been mentioned, but if the venue exists as a tent for the first year or two (as it has been proposed) and food is served to families within that tent, there will be incidents with

bears and other forms of wildlife. Either they will come searching and run away without causing harm (potentially being put-down because of their domestication due to easily accessible food) or an attack will happen and not only will this affect some family and/or individual for a lifetime – but that bear (or those bears) will have to be put-down.

- Complete lack of planning –
 - Please, seriously consider this: an 18,000 square foot building could be erected, our roads changed, and our natural landscape manipulated – all on the hopes of a single business succeeding – and this business is being proposed by someone who believes that they can maintain that 18,000 square foot building, serve food, serve drinks, and provide live entertainment day-in and day-out with only 10 – 12 employees.
 - Employment is a major issue in the Estes Park community. Lack of affordable housing is at the root of this issue, and when asked about these concerns for any new business, we received two different responses by two of the partners heading up the proposal –
 1. This is not my problem, nor my concern.
 2. We will be able to provide adequate housing options to our employees (since there will only be 10 – 12 full-time).
- Offers nothing back to this community –
 - The leading member of the proposal team has made it very clear that this business offers the potential for economic growth and prosperity to the Estes Park community through increased tourism and employment opportunities. This could not be farther from the truth, considering that they only plan to provide 10 – 12 full-time jobs and shuttle a large portion of their customers to and from the venue with no stops in-between. The majority of these customers will be shuttled from Denver, Boulder, and Ft. Collins (and surrounding areas) meaning that their shuttles will be actively competing for our normally commuting visitors and bypassing every other business in the process.
It has also been stated that this business would encourage year-round tourism, but the venue is only proposed to operate full-time May through September.
 - If this business fails, we will have an abandoned building, with an abandoned parking lot, improperly zone for commercial use, and very few options to fill that location with an alternative business that has the chance to survive in such a large venue, in such a remote location. The potential of this business surviving in this location is a gamble – the negative short and long-term effects are guaranteed.

In my opinion, this venue is neither reflective nor contributory to the National Park or the Estes Park Community. We are risking so much to gain so little – and potentially lose a whole lot.

April 11, 2016

To: The planning board and the town trustees
Re: Lazy B Development



It is difficult to imagine a proposal that could offend more people – pedestrians, bicyclists, nature lovers, people with disabilities, residents, visitors, peace and quiet lovers, and firefighters.

The traffic study is an insult to the residents of Estes Park who deserve better. It was done in the off-season and then 'synthesized.' There is no mention of pedestrians or bicycles. It says how many seconds cars will be delayed, but as far as I can tell, it does not say how many feet traffic will back up at the 36/66 stop sign. Will it back up to Mary's Lake Road? Of course it will. Traffic already backs up to that light during the early evening when cars are leaving the Park. Will it back up to Smoking Dave's? The Donut House? Elkhorn? What is the hurry with the traffic study? Why did the planning department not require a real one? Was Trail Ridge Road even open on the days the study was done? The study recommends a 4-way stop. So then what happens? Does traffic back up to Bear Lake?

It is 2016. How can someone widen two roads and not put in sidewalks? Right now, pedestrians walk along the shoulder of Mills Drive and along the edge of the Rock Inn parking lot. Both of these areas are going to be turned into traffic lanes, so where are people supposed to walk? We have a blind friend in the neighborhood. Is he just supposed to hope the drivers see him walking in the highway?

As of April 11, there is still no Wildlife Habitat Evaluation and Impact Analysis on the planning department website. There are two copies of the preliminary wetland screening – 3 pages telling us the ground was frozen. This land is a wildlife corridor connecting two National Park parcels. How is it even possible that there is no wildlife study posted? And how is a preliminary wetland screening good enough when they are requesting a wetland appeal?

The proposed cowboy revival tent will be within several hundred yards of the Alpine Hotshot dorms. These highly trained men and women exhaust themselves traveling around the country fighting fires all summer. They come home to Rocky between deployments to rest. They have earned the right to relax in peace and quiet and be able to take a nap with the windows open without hearing amplified yodeling. They also have earned the right to be able to walk back to the dorms after having a few beers at the neighborhood pub without getting hit by a tour bus. They are not even mentioned in the developer's statement of impact. None of the neighborhood residents are mentioned. It is as if the neighborhood does not exist. The proposed 17,910 sq ft building will be 120 feet from my bed. My bedroom was built in the late 30's. I do not understand how an entire neighborhood, on a road named after Enos Mills, can just be ignored.

I can't believe I even need to say this, but this proposal is highly offensive to Native Americans. My neighbor across Mills Drive is 25% Sioux. She spent time this weekend digging through her dresser looking for her t-shirt that says 'my heroes have always killed cowboys.' Is Estes Park going to start celebrating Columbus Day again? This is a peaceful town. Why dig up old wounds?

Has anyone looked closely at the logic behind the number of parking spaces the developers claim they will need? They are assuming 3.75 people per car because it is a family event, the rest of the guests arriving in tour buses and all employees and musicians arriving by the Estes Park Shuttle (which only runs in the summer and only until around 9 pm.) Even if these assumptions did work for this business model, what happens if this business fails, or is sold or if a different kind of event uses the building? Michelle Oliver has told the Estes Arts District that they can use the building for free in the off-season for concerts. The employees and musicians would then need some parking spots, and if the concert is for adults they are much more likely to arrive with one or two people per car. Where are these 750 people going to park? Not on the shoulder of Mills Drive, because there will no longer be a shoulder. Not in the RV park, because the developers stated in both public meetings that they plan to split off the Chuckwagon parcel from the rest of the acreage.

I fully understand that there are 30 acres of undeveloped land right behind my home. I am not expecting it to remain undeveloped. Housing OF ANY KIND would be more than welcome.

This Major Event Center is far out of scale with the rest of the neighborhood, is not an accessory use for the RV park, will not have enough parking, is directly next door to a fire station, does not fit in with the 2012 development code and will have extreme negative impacts on the entire area. There is no upside to this. Please Vote NO.

Thank you.

Kerry Egan
1675 Highway 66
Estes Park, CO 80517
970-586-4116
The Rock Inn

Town of Estes Park
Community Development Department
PO Box 1200
Estes Park, CO 80517



To Whom It May Concern,

I am writing to you as a former employee of the National Park Service and the YMCA of the Rockies. I have had the pleasure of frequenting Estes Park since 2007, and care deeply for the future and continued growth of this wonderful community. Summers in Estes Park have built the foundation for major aspects of my adult life; marriage to a local musician, career in the field of biology and environmental education, and go-to recreation activities such as fly fishing and backcountry skiing. In addition, Estes Park is always my first recommendation to local and distant family, friends, and acquaintances for outdoor fun, great shopping, and a wide selection of dining. I am personally a recurrent consumer and customer of Estes Park goods and services, and enjoy encouraging others within my circle to do the same.

I want to let you know how thrilled I am that Estes Park has developed more and more opportunities for their local community and out-of-town guests within my age group. I've personally attended these newer events such as the Pumpkins and Pilsners Festival, Tinsel Tavern Tour, and Whiskey Warm Up. The dynamic of these such events has really made Estes Park a contender with other mountain towns in the non-summer seasons. I find great delight in learning that there will be a new Estes Valley Community Center soon that will provide even more possibilities for the current and soon-to-be young families in Estes Park. Estes is truly turning into a place that is right for people of all ages, all year long.

I have been following the potential development of Lazy B and I am floored that Estes Park is even considering letting this business represent their community. It seems evident that the head of this operation has little-to-no knowledge of the negative impact that it will have on several aspects of the town. When I learned of the proposal, I was confident that the town of Estes Park would never entertain the idea of turning the west end of town into circus.

I am even more disappointed that Mills Drive would be torn apart during this endeavor. Please know that it is not "just" road construction. With a degree in Biological Sciences and experience working for RMNP as an environmental educator, I was particularly drawn to information on the wetland and wildlife surveys. I see that there is no wildlife survey provided and, though I have been recently let down by the town of Estes Park as they help Michelle Oliver move forward, I am certain that the impact this business will have on native wildlife *cannot possibly be overlooked* by Estes Park town planning.

During my time as an environmental educator in RMNP, I had the privilege of working with both adults and children of all ages. Guests were always both grateful and very vocal about their appreciation for opportunity to visit a place that was unlike their busy, urban, media-driven life. There were countless instances when guests were in blissful awe of even the smallest creatures in wetland and riparian areas of the park. It was always the wildlife that helped remarkably to instill the sense of land stewardship in people. Like so many others that can identify themselves as part of the Estes Park community, I strongly believe that people happily find ways to experience the natural beauty of the landscape without further disturbing wildlife and impacting wetlands. If Estes Park isn't promoting land stewardship, then who is?

In closing, I ask the town of Estes Park to strongly consider the impacts of their decision to let Michelle Oliver go forth with her development. Estes Park has worked too hard for too long to let Lazy B undo these accomplishments and turn the Mills Drive area into an oversized parking lot. Take pride in what you do and the good decisions you have already made.

Sincerely,

Elizabeth Thoele

April 7, 2016



To Frank Lancaster, Audem Gonzalez, Members of the planning board and Members of the town board:

My name is Dale Griffith and my family homesteaded this neighborhood many years ago. I remember riding horses as a child where the campground is now and getting hamburgers from the Old Rock Inn when it was a sandwich shop. We can still visit our ancestors in the family cemetery on what is now the Beaver Brook Resort.

Over the years our family has sold off several parcels from the original acreage, including the Rock Inn land. I am writing to question how Van Horn engineering can call the land on Mills Drive between me and the Rock Inn 'no man's land' when it has never belonged to anyone except my family. The widening of Mills Drive is clearly coming onto my property, and I absolutely will not allow this.

Sincerely,

A handwritten signature in black ink, appearing to read "Dale Griffith". The signature is stylized with a large, sweeping loop at the end.

Dale Griffith

1703 Highway 66

Opposition Letter of Lazy B Ranch & Wranglers

2 messages

Erin Ax <erinax@hotmail.com>

Sat, Apr 9, 2016 at 12:15 PM

To: "planning@estes.org" <planning@estes.org>

April 9, 2016

Dear Commissioners:



I am writing in opposition of the Lazy B Ranch & Wranglers proposal to develop five acres of currently undeveloped land along Spur 66. Currently this land is zoned A-Accommodation and the Lazy B Ranch & Wranglers proposal would develop this land into commercial use in place of building accommodations. As a local teacher and a member of the EVICS board, I see the incredible need for housing for families and workers here in Estes Park. This is a well-known need as reported in the 2016 Estes Park Area Housing Needs Assessment. With the need Estes Park has, to take land that is currently zoned accommodation and allow for development that does not include accommodation of any kind does not make sense.

As well, I reviewed the Neighborhood Plan for Spur 66 in the Estes Valley Comprehensive Plan from November 2012. Under Developmental Guidelines it states, "Commercial uses should not be extended along the Spur." and "New accommodations should be residential in character." (pg. 76) As well, it is later stated in the plan, "The commercial campground at the Spur 66 Park entrance intersection should evolve into housing." (pg. 78) Approving the waivers and variances Lazy B has asked for supports them in developing this land in a way that does not support additional accommodations on this parcel of land.

With these two sections as part of the Estes Valley Comprehensive Plan I hope you, as the Estes Valley Planning Commission, follow through with supporting the Neighborhood Plans to increase housing and help make this a town we want to continue living in.

Thank you for your public service.

Sincerely,

Erin Axtell

Karen Thompson <kthompson@estes.org>

Mon, Apr 11, 2016 at 12:52 PM

To: Erin Ax <erinax@hotmail.com>

Erin -



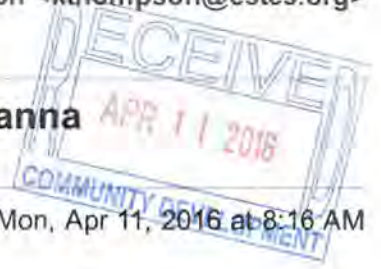
Karen Thompson <kthompson@estes.org>

Lazy B Ranch and Wranglers Development Plan - from Johanna

2 messages

Bill J. Darden <bdarden@uchicago.edu>
To: "planning@estes.org" <planning@estes.org>
Cc: Tom Street <tstreet5026@gmail.com>

Mon, Apr 11, 2016 at 8:16 AM



I filled out the comment as follows re: the Lazy B Ranch and Wranglers Development Plan, but other than clicking on "signing" nothing seemed to happen. So please use my following comment so I will count as opposed to the plan.

"I vote NO on the Lazy B Ranch and Wranglers Development Plan. It's poor planning and reeks of "money talks." The Rock Inn is a great place to go to enjoy a relaxing fun time with friends and musicians. The area around it contributes to this uncongested, low traffic, nighttime environment. Support for the Rock Inn that has been thriving in the Estes Valley since I began coming here in 1977 should not have negative impacts on their business or the neighborhood (Mills Drive) nearby. -- Johanna Darden, 501 Mac Gregor Avenue, Estes Park, CO 80517"

Karen Thompson <kthompson@estes.org>
To: "Bill J. Darden" <bdarden@uchicago.edu>

Mon, Apr 11, 2016 at 1:08 PM

Johanna -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners.

I'm curious about the problem you referred to in your first paragraph. Were you trying to comment through the Town website? If so, we need to investigate to make sure it's working properly. Do you remember the steps you took to comment? Thank you for any other information you can provide.

Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

On Mon, Apr 11, 2016 at 8:16 AM, Bill J. Darden <bdarden@uchicago.edu> wrote:

I filled out the comment as follows re: the Lazy B Ranch and Wranglers Development Plan, but other than clicking on "signing" nothing seemed to happen. So please use my following comment so I will count as opposed to the plan.

"I vote NO on the Lazy B Ranch and Wranglers Development Plan. It's poor planning and reeks of "money talks." The Rock Inn is a great place to go to enjoy a relaxing fun time with friends and musicians. The area around it contributes to this uncongested, low traffic, nighttime environment. Support for the Rock Inn that has been thriving in the Estes Valley since I began coming here in 1977 should not have negative impacts on their

Lazy B proposal

1 message

epmoosemom@aol.com <epmoosemom@aol.com>
To: planning <estes.org>

Mon, Apr 11, 2016 at 11:14 AM

My husband and I live about a 5 minute walk from the proposed site of the Lazy B Chuckwagon project. We live in a relatively quiet area that backs up to RMNP housing. While there are rentals and accommodations in our area, it is a low-impact neighborhood. The potential noise and traffic which this Lazy B project would generate is ridiculous in this kind of neighborhood...not only on RMNP housing and other single family dwellings like ours, but also nearby campgrounds. Rock Inn is an established neighborhood restaurant which also has entertainment, but since it opened we have never had any issues with noise or music carrying up to our home....even when we are out on our deck or hot tub. The idea of tour busses and increased traffic on narrow and winding Colorado Hwy 66 is ridiculous...there are enough large busses on this road going into the YMCA property....the road is difficult to drive on safely with poor shoulders and numerous small gravel roads such as ours (no name) merging into 66. I hope this project is not approved - it should be on a few acres someplace in a more "ranch-like" setting with room for large busses and lots of cars.

Nancy Matson
1843 Highway 66
Estes Park, CO 80517





Karen Thompson <kthompson@estes.org>



Support for the Lazy B Ranch & Wranglers

2 messages

Quentin Wedan <quentinwedan@gmail.com>
To: mromero@eptrail.com, kthompson@estes.org

Sun, Apr 10, 2016 at 8:25 PM

To the Estes Park Planning Board and Town Trustees,

I am writing to offer support for the new Lazy B Ranch and Wranglers business in Estes Park. As someone with deep roots in the community, I can confidently and objectively offer an endorsement to the start up of the new supper and western show venue scheduled to open this spring. I am a former resident, a graduate of Estes Park High School, and employee for ten years at the original Lazy B Ranch. While my life and career have me traveling around the globe and across the U.S., I am always proud to make frequent weekend trips back to Estes to visit family and friends.

When hearing about plans for a new Lazy B Ranch, I made a point to personally meet with Michelle Oliver, the project manager leading the start up effort. Over the course of several meetings and conversations, I have come to appreciate what respect she has for both Estes Park, and the unique tradition, history, and heritage of western music. Those who may remember the original Lazy B, or perhaps have visited other Chuckwagon suppers and western show locations, can likely recall what a unique, enjoyable, and wholesome entertainment experience these venues provide. And of course, who can forget hearing songs like 'Colorado', 'Cool Water', and 'Ghost Riders in the Sky'? In this modern age, there are so few entertainment experiences that the entire family can enjoy together, while also learning a little about our unique western heritage.

In my ten years working at the Lazy B, I recall many families and groups from across the country, and around the world, who thoroughly enjoyed the authentic menu, and family friendly western show. People enjoyed the unique theme so much, we often hosted weddings and receptions for large groups visiting the Estes area. I have no doubt that the new Lazy B Ranch and Wranglers will once again be a popular and sought out place for both local residents and visitors alike.

I look forward to bringing my own son and family to the new Lazy B Ranch and Wranglers this summer !!

Best Regards,
Quentin Wedan
Frederick, Colorado
EPHS Class of 1989

Karen Thompson <kthompson@estes.org>
To: Quentin Wedan <quentinwedan@gmail.com>

Mon, Apr 11, 2016 at 1:05 PM

Quentin -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department

Rock Inn Parking

2 messages

Gale More <gale.more@gmail.com>
To: planning@estes.org

Sat, Apr 2, 2016 at 8:05 AM

To: Audem Gonzalez

I am writing in regards to the proposed changes to Spur 66 and the Rock Inn access and parking.

I am a former employee of Elk Meadow RV Resort and have extensive experience with the owner, Michael Andrejczuk. (I apologize. I am not sure of the spelling of the last name. I rarely saw it printed even though I worked for him for close to a year.)

I found Michael difficult to work for and while many of his employees left mid-season, angry and bitter at the treatment they had received during their employment, we did complete our contract. We had to do the work of those who left as he never did find replacements to cover their shifts. I am concerned that this challenging situation will occur with the chuck wagon dinner group.

I am also concerned about the experience level of the new chuck wagon owner. Running a business involving food, entertainment and crowd logistics is difficult. With that in mind, please ensure that there will be adequate support of the plan and that the facilities can support this number of people, including the bathrooms and kitchen facilities. It would be terrible to disrupt so many local residents and then have the business fail.

I understand the town would like to improve the water situation. However, I do not think it is a good idea to penalize one business in order to support a new business with no track record. The Rock Inn has been an important landmark and gathering place for many years. It is a warm and comfortable place, one that the locals truly appreciate and use year-around.

Please consider alternatives to this idea of putting in a bus turn-around.

Gale More

Karen Thompson <kthompson@estes.org>
To: Gale More <gale.more@gmail.com>
Cc: Planning commdev <planning@estes.org>

Mon, Apr 4, 2016 at 12:44 PM

Gale -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

nyc.suzanne@gmail.com

Mar 31 (4 days ago)

to planning

To whom it may concern:

I am deeply concerned to hear that this town is considering bringing a commercial development of this size into the Mills Drive neighborhood. I found out about this because I have 3 friends on this street and they are all completely blindsided and frantic by this happening, and are searching for solutions and new places to live. As you well know, this is a futile task for many in this small community that have called this place home for many years. The cheapest single family in Estes that is not under contract right now is about \$475,000. You know that Estes does not need to lose any more year round workers in exchange for a massive new development that is going to require more seasonal workers, and more importantly changing the fiber of this community.

Please, Planning Department think of what will happen, and how you can keep the integrity of Estes strong.

I appreciate you hearing my opposition to this project.

Thank you,

Suzanne Dugan

Sent from Mail for Windows 10

Rock
Inn <therockinnestes@gmail.com>
to planning

2:59 PM (1 hour ago)



April 1, 2016

To: Audem Gonzalez, Michelle Oliver, The Town Planning Board and The Town Trustees:

I am a manager at the Rock Inn and I believe we have brainstormed a solution that will solve the problem of the loss of parking, and will also fit perfectly into the new vision for the neighborhood that involves going backwards in time and consciousness. Motorcycles take up far less parking than cars, so we have been in contact with multiple riding clubs about changing the Rock Inn back into the biker bar it was in the 70's and they are all very receptive. Some of them even cried to hear that the old Rock Inn would be resurrected. Although someone threw away the chicken wire that used to hang across the stage, we feel that we can reinstall it without too much trouble.

When we first watched the video of the March 28th library meeting and Michelle Oliver stated that she was planning to feed 750 people at one time with a staff of 10 to 12, we had to stop the video because we were belly laughing, snorting and crying. But after discussing it, we realized it is actually a brilliant plan. Simply attract customers who do not care about quality and we will no longer have the staffing issues we struggle with all year. The bartenders could easily microwave the food. Without the need for the kitchen or wait station, we could use that space to house the 4 bouncers we predict we will need to hire. We have already contacted some candidates and they are very excited about the idea of moving to town with their families. The perfect part is that some of these people already have extensive knowledge of the marijuana growing industry.

With the new highway running right next to the building, we figure we will need to plant a large hedge. Marijuana grows pretty well in Estes. With our winds, we will need to start the plants inside and then put them into the ground when they are about 5 feet tall, right after the annual July hailstorm. We already have a greenhouse we can use where we currently grow organic herbs for the kitchen. From what we understand of Larimer County Code, we will need to keep the plants behind a 6 foot fence. We believe the plants will grow between 9 and 12 feet tall, so they should create a beautiful garden for the tour bus passengers to view as they are driving past. According to code, each resident can have up to six plants. The Rock House duplex has 4 bedrooms, so 8 people there plus the 4 bouncers living in the old kitchen equals 12 residents on the property. 72 plants should be a more than adequate hedge. Right now our flower beds are all organic, but bikers are offended by that mentality, so we will switch to using cheaper and easier chemical fertilizers and pesticides. Brewing compost tea is actually quite a production that we would be happy to stop doing. We should be far enough from the river that the chemicals will not be a problem.

Our guests are going to need some entertainment besides the nightly southern rock bands and the weekly bikini hog wash (proceeds will go to charity, of course.) We have done some research on bikers and almost 60% of them are swingers. We were stoked to learn this because the Stanley Hotel is already an internationally known swinger destination. They have a hedge, we have a hedge. They have swingers, we have swingers. This will be a perfect way for us to work with other businesses in town. Since the Rock House already has an outdoor movie screen in the backyard, we will roll out 'Soft Porn Sundays'. We will just need to purchase some powerful outdoor speakers so our guests can hear the dialogue over the yodeling next door. We will be

happy to hang the screen high enough for the campground guests to be able to watch it for free, once again partnering with other businesses in town.

We will be saddened to have to stop partnering with Kind Coffee, Healthy Be-attitudes tea and the Vegetable Peddler since they are all offering local organic products, which does not fit into the new business model. We will also be sorry to say goodbye to all of the local acoustic musicians we have been working with for the past 10 years. Our current musicians are singing about ideas that are far too progressive and are playing way too softly for our new clientele.

We ran this plan past Kerry, the owner of the property and 50% owner of the Rock Inn. Since she has been battling cancer for the past 2 years and the stress of the chuckwagon situation has caused the cancer to flare up again in the past two months, she is completely behind the idea of working less and making more money. She is beyond grateful for Michelle Oliver for bringing this new business model to town and is a bit embarrassed that we have been doing it the difficult way this whole time.

Bring on the hot pockets and the buckets of bud light lime!

Sincerely,

Josh Magid and Jonathan Swift

Rock Inn

info@rockinnestes.com

[\(970\) 586-4116](tel:(970)586-4116)

The Rock Inn Mountain Tavern

1675 State Highway 66

Estes Park, CO

80517

Madeleine

Baer <madeleinebaer25@gmail.com>

to planning

11:40 AM (4 hours ago)



Hello,

My name is Madeleine Baer. I am emailing you to express my concern at the plans to change the Rock Inn's front parking lot into a tour bus turning lane. My family have been visiting Estes Park every summer for the past 10 years. We love the town because of how it has seemed to escape a tacky tourism vibe and lend its visitors a sense of peace in nature. To us, the town has always communicated respect for the priceless landscape it inhabits, and the community it houses. I have also spent a year living in Estes Park, working with local families and children. I grew close to many families and gained an understanding of what it means to be an Estes Park local.

I believe that the steps the town planning committee wish to take are dismissive of its local residents and the Rocky Mountain culture & landscape. The Rock Inn is one of the few places in town that maintains its integrity as a server of homemade vegetarian & gluten-free food, local music, and authentic mountain lifestyle. Your choice to support a project that will ruin the integrity of one of Estes' local gems is extremely disappointing. Your willingness to cater to an out-of-town developer who may not care about the heart of a mountain town like Estes will ultimately diminish the town's authenticity.

Please reconsider your decision on this issue. Keep Estes authentic.

Best,

Madeleine Baer

(no subject)

2 messages

LizzieAdams <lizziegentleyoga@aol.com>
To: planning@estes.org

Thu, Mar 31, 2016 at 11:54 AM

Hello... To Whom it May concern:

It has been brought to my attention that a building project is being considered close to my work space out on 66. The "Chuck Wagon" group.

I share a space with 3 other business at 1755 Colorado 66. We have classes in the evenings. I have been in business here in Estes for 18 years.

If I have heard correctly, if this project comes thru, we will be impacted-- especially thru sound-- which could possibly not allow my classes to be taught.

Please inform me with information that will help us understand what is going on, where things are at in the planning process, and whether you feel the project is going to happen. As well as meetings I can attend to have a voice.

Thank You.
Elizabeth Adams
970-586-8779

Lizzie Adams

Heart of the Rockies

Gentle Yoga Wellness Studio

Transpersonal Psychotherapy & Coaching

Biodynamic Cranial Sacral Therapy

Classes in Gentle Yoga, Qigong & the Labyrinth

Celebrating our 18th year in Estes Park!

(970)231-6754

Karen Thompson <kthompson@estes.org>
To: LizzieAdams <lizziegentleyoga@aol.com>
Cc: Planning commdev <planning@estes.org>

Thu, Mar 31, 2016 at 1:57 PM

Lizzie -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant

Lazy B Development

1 message

Jerry Blackmore <blackmore1111@gmail.com>
To: planning@estes.org



Sun, Mar 27, 2016 at 2:54 PM

To: Audem Gonzalez, The Estes Park Planning Board, and The Town Trustees

The more I learn about this development plan, the more infuriated I become. As a local business owner in Estes Park, I try to do as much as I can for the town morale including donations, sponsorships, etc to help our small community flourish. I am all for new businesses, but I am concerned that this development plan has not been fully thought out.

My main concerns are:

1. The high volume of tour buses that will bring no money to other local businesses, but will damage our roads and make traffic even more congested.
2. How will they maintain quality and health department standards when serving 750 people at one time with untrained seasonal staff? The owners of Elk Meadow are currently holding number 74 out of 78 on trip advisor. I would think the last thing Estes Park would want is hundreds of people sick or completely unsatisfied with their experience in town. We are trying to get people up here to spend money, not scare them away and damage the reputation we are creating for Estes Park.
3. Estes Park is moving forward on it's image, attracting a younger, more diverse clientele. I feel that this fake cowboy show will be a giant step backwards on what we are trying to promote. As far as I can tell, there is not an actual ranch, horses, chuckwagon or wranglers. We should be promoting the real livery in town instead of a western carnival.
4. One of my lodging properties is located on Moraine where there is already a big traffic problem in the early evening when cars are exiting the park. The line of cars at the 36/66 stop sign often backs up past my property and my guests have difficulty pulling out. What is going to happen when 200 extra cars and buses are added to the problem? There are many times when the traffic backs all the way up to the donut house.
5. I have many friends who live in the Mills Drive area who will be directly affected by the car lights shining into their houses and the amplified cowboy music 7 nights a week. This is an affordable neighborhood and these friends are all integral members of our local workforce. They deserve to come home after a hard day of work and not have to hear the amplified western carnival. I feel that the town of Estes Park is Mountain Strong for it's citizens and local businesses. So I am confused as to why the town would take away parking from a successful business, and simply take a corner of land from a local citizen, for the tour bus turning lane. Why don't they use their already existing entrance? They have their own entrance!
6. If there is a fire, how are the hotshots going to get out, if Mills drive is clogged with tour buses? These guys come home from weeks on fires, and their dorms are within earshot of the proposed stage. They need to rest after fighting fires, not hear a cacophony from the western carnival. I can't imagine having to listen to same skits every single night of the summer, over and over.
7. I understand that Mills Drive needs a new water main, but there must be a better way to pay for this other than selling out to out of town investors.
8. Instead of building an 18,000 square foot pole barn that is completely out of scale with the neighborhood and is likely to end up bankrupt, why not use one of the two event centers at the fairgrounds that the town is currently losing money on?

Thank you for all of your hard work. I know you will make the right decisions.

Jerry B.

Renewal of History with the LAZY B

1 message

Norm McGill <sonny418sw@yahoo.com>

Reply-To: Norm McGill <sonny418sw@yahoo.com>

To: "kthompson@estes.org" <kthompson@estes.org>

Wed, Mar 30, 2016 at 11:49 AM



So happy to see the Lazy B is on its way back. Estes has lost its way and identity! We came here in 1975 to Lane's Guest Ranch. Fell in love with Estes and had a determination to return to this Cowboy town! It took us 20 years to do so, building our first house in Big Elk Meadow in 1997. We are in our third house and in Carriage Hills with our horse in the back yard! Still had cattle coming through town in the 90's and Cowboys riding through McDonalds! Town lost its way some time after that. We can not be Vail or Breckenridge, we need to be Estes Park. We are selling that bigger park in our backyard and need to sell what goes with it! The outdoor life and that Cowboy image that trails along with it! Getting people excited about Guest Ranches, Rodeos, horse back riding, related events at the Fair Grounds, horse shows, Western ware, Cowboy Boots and clothes, and Cowboy Hats, instead of tee shirts and ball caps! The Lazy B may be a great draw to get folks more excited about the town, seeing a western show, eating and spending more money in Estes. I wear a Cowboy Hat all the time! Adults and kids are delighted to see me. I look like a town fixture! They ask me for directions, where to eat, where to get a hat or boots, where to ride a horse, where to go dancing, and so on! Wouldn't it be great if the town employees and information providers stood out so well. "Hey look!", said the tourist, "That must be the Mayor or Town Administrator in that Cowboy hat!" You can't bring Vegas or Broadway to Estes Park. Work with the Historic Town that you have to continue to draw the average everyday people, who are Estes Parks bread and butter. They ain't coming here to see the "OPERA", unless it's the Gran Ol' Oprey! Estes could have that again with the LAZY B!! Everything else can feed off this image and other venues would flourish, we hope, by the increased audiences available! I hope you support the LAZY B with as much enthusiasm as its planners and musicians have, and I have for them! Thanks, Norm McGill.

New Venue Proposal for Estes Park

2 messages

Jason Martinez <jmartinezdco@gmail.com>
To: planning@estes.org

Mon, Mar 21, 2016 at 2:32 PM

To Whom This May Concern,

My name is Jason Michael a resident of Estes Park and I am sending this email with great disappointment regarding the addition of a venue to the town. I am aware of what is being proposed this year for a "Chuck Wagon Dinner" at the campgrounds off Hwy 66 and believe this will be a complete disaster to the town and to its residents.

I am an individual with 15 years of upper management hospitality experience with Hilton Corporate and can say I am 100% against this project.

This outrageous addition to Estes Park would be ASININE! I believe that destroying a neighborhood for tour buses and a large LOUD venue is unfair to the those residents and the entire community. I work for a large hospitality company in town and have never had a guest inquire about a chuck wagon dinner. First of all Michelle Oliver who introduced this idea to the city with building a huge commercial venue without enough parking is a disaster, secondly Estes park already has a severe workforce shortage as it is and know this is a horrible idea. Michelle Oliver just moved to town and has absolutely no experience running restaurant or a music venue, yet she thinks she can handle serving 750 people AT ONE TIME?

Bringing new and more businesses to Estes Park is amazing for the town but trying to bring something to our town that has been a dead for 40+ years is the most ridiculous idea I've heard. What are we going to do about traffic Downtown? Can the roads support the weight of the tour buses? Can the busses clear the turning lane in town without causing accidents? I am a disabled individual so what about handicap parking? This is just going to make our jobs and lives miserable for Estes Park residents as all the businesses are already doing well as it is!!! This is also just going to upset all our returning guests year after year because of traffic and in the future may possibly prevent people from coming back!

Estes Park needs to be marketing and gearing towards the younger generation as that will definitely increase the towns revenue but a Chuck Wagon Dinner is definitely NOT the answer.

Last but not least there is no market nor need for a chuck wagon dinner and can see this as a failed business idea. I thank you for your time.

Sincerely,

Jason Michael

Karen Thompson <kthompson@estes.org>
To: Jason Martinez <jmartinezdco@gmail.com>

Mon, Mar 21, 2016 at 5:40 PM

Jason -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant

Lazy B Ranch and Wranglers

2 messages

wayne bogatin <wayne@bogeysateryandspirits.com>

Mon, Mar 21, 2016 at 1:39 PM

To: kthompson@estes.org

Cc: michelle@lazybranchandwranglers.com

Ms. Thompson,

I became aware of the addition coming to your town. Being in the business of making people happy ,I believe it would be an asset to have this new establishment in your town. This concept is good for the town because it will bring entertainment to the town. Because it is NOT on the main street, it will not add parking problems in the center of town. It will bring groups through the town. This gives the option for people to come back and walk through the town, at a different time. This would be good for everybody. It allows the center of town to get free exposure,while the Lazy Ranch customers pass through town to get to their destination.

I first came to Estes in 1995. It was a great experience. I always remembered the great stores and nice people. I moved out to Boulder in 2010. I have visited the town several times. The quality of stores have declined. Bringing in something with entertainment , for the family or couples, is great idea.

This idea has already been a success in your town. With fresh blood, Lazy B Ranch, could take off and be beneficial for all of the commerce in Estes.

Without going on forever,I would like to make one more statement. Our family structure in this country is a little frayed. This type of environment brings the family to a good place. It brings good memories of being with the family. This lasts forever. That is good business!

Sincerely yours,

Wayne Bogatin

Karen Thompson <kthompson@estes.org>

Mon, Mar 21, 2016 at 5:41 PM

To: wayne bogatin <wayne@bogeysateryandspirits.com>

Wayne -

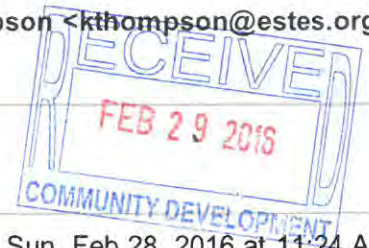
Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

[Quoted text hidden]



Karen Thompson <kthompson@estes.org>



Lazy B Ranch and Wranglers Development vs Rock Inn

2 messages

tim roemer <roemertim@yahoo.com>

Reply-To: tim roemer <roemertim@yahoo.com>

To: planning@estes.org

Sun, Feb 28, 2016 at 11:24 AM

Hello, my name is Tim Roemer. I am a 25 percent shareholder, and working owner of The Rock Inn, located at 1675 Hwy 66, Estes Park.

I would like to express my strong opposition to the Lazy B Ranch and Wrangler development plan for Mills Dr.

My main concern is parking and traffic congestion. The proposal includes road and highway alterations that will result in the loss of a significant percentage of our parking lot, as well as result in considerable traffic congestion surrounding our business, the Beaver Meadow entrance to Rocky Mountain National Park, and the west end of town. The loss of parking is noted in the memorandum from Delich Associates pertaining to the Auxiliary Lane Analysis, dated 1/13/2016. Furthermore the Southbound Right Turn Lane mapped in the memorandum cuts across the south-east corner of OUR property.

The developers of Lazy B Ranch and Wranglers are requesting a waiver from section 7.11 D Minimum Off-Street Parking Requirements, asking for fewer parking spaces than required. Their reasoning behind this request, as stated during the public meeting on 2/17, is the utilization of large tour busses to transport THEIR guests to Estes Park from Front Range cities. This business model significantly increases the stress on our town's traffic infrastructure, yet deprives other small businesses as well as the National Park of additional revenue from THEIR "captive" audience.

Thank you for your time and consideration of my concerns.

Tim Roemer

Karen Thompson <kthompson@estes.org>

Mon, Feb 29, 2016 at 12:16 PM

To: tim roemer <roemertim@yahoo.com>

Tim -

Thank you for your comment. I will post it to the Town website and include it in the materials for the Planning Commissioners. Please let me know if you have any questions.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org

[Quoted text hidden]

Proposed Lazy B Ranch project

3 messages

juley harvey <juleyharvey@earthlink.net>
To: planning@estes.org
Cc: juley harvey <juleyharvey@earthlink.net>

Sun, Feb 28, 2016 at 10:22 PM



Ms. Betty Hull
Chairman, Estes Valley Planning Commission

Feb. 28, 2016

Re: Proposed Lazy B Ranch Chuckwagon location

Dear Betty:

Oh oh, here comes trouble. But to start on a nice note, last fall, I won a third-place in a poetry contest in California, with a poem about your carousel horses, titled "Betty Hull's Horses." So, thank you.

Now, a neighbor just told me about the proposed location for the 17,000-square-foot, 2-story Lazy B Ranch Chuckwagon, with 192 parking spaces, in the RV campground off Hwy 36 and 66. Why, I ask. I can find no information anywhere (and you know how that drives a researching writer crazy). So I must write to protest — not the idea, but the location of it. Now, I like and admire Vic Anderson and I'm in favor of his cowboy heritage having a year-round home, but the location must be better suited, not in the midst of an elk causeway, in a quiet neighborhood. What's wrong with the new Events Center (not used to capacity, I believe), or the planned Community Center, or even the new Wellness Center, or the Jellystone Park area, or heaven forbid, the Sombbrero, the Elkhorn Lodge, MacGregor Ranch, or even Bond Park or the Visitors Center or the Y? What are all these centers for, if not to hold things?

The proposed area is a quiet neighborhood, where you can still see starlight (when it's not cloudy), and hear yourself breathe and think. Why disturb all that with all the proposed this? What do we gain, exactly? And, more importantly, what do we lose, forever? Who wants it? Who needs it? Why? Who will use it? Not I. What will it give Estes Park? Another headache and nightmare.

My father, 95 years old in May, has owned and lived in his quiet home at 1641 High Dr. for 30 years. All of them without a 17,000-plus-square-foot, 2-story chuckwagon adjacent. Why take away his remaining years of calm, Longs-Peak-viewing pleasure? For what? So some tourist can have a Sloppy Joe? I'm glad my mother is not here for all this. She'd have heartbreak.

Isn't the Stanley project (with all its attendant neighbor distress) enough? And the loop? The theatre? Are we to be "developed" into something other, out of house and home? Is Estes Park to be a place of things, and not people? Are we the people supposed to just eat chuckwagon crumbs? That is, if we can get to Safeway to get them, with all this building going on.

Maybe, at some point, we'll realize money ain't everything. I hope there will be some poor residents left standing, amidst the construction debris. Please don't give us more congestion, more noise, more heartbreak, less view. We deserve more than chuckwagon crumbs and indigestion.

Thank you for your time, your consideration, and all you do for the community.

Sincerely,
Juley Harvey
1155 S. St. Vrain, 1-3
Estes Park, CO 80517

AUDEM,

02/26/16

Here's a suggestion to solve the Lazy B entrance/R.O.W./loss of parking problem that I (and the Rock Inn) have been talking to you about:

you made clear that the Lazy B project cannot utilize the existing Rt.66 RV entrance because traffic regulations don't permit two active enterprises (eg. the RV park and Lazy B) to use one and the same entrance for traffic to both.

OK, then why not assign the Lazy B traffic to the existing, large-mouth RV entrance off of 66, there just before the Rock Inn, whilst providing the RV park with an entrance up Mills Drive that would circle around the Lazy B area, and at the same time, not require the expensive widening of Mills Drive and the area in front of the Rock Inn.

Less road work, less movement of telephone poles, maybe less underground work.

What do you think?

Geoff Noyes
1707 Mills Drive

315-813-8080
pgnoyes@yahoo.com



to planning

To: Estes Valley Planning Commission Members, Mayor and Estes Park Town Board

From: Mike and Donna Egan
Partners - S&E Enterprises, 1755 Moraine Ave. Highway 66

Date: February 24, 2016

This letter is to express our opposition to the current proposed plan for development of the Lazy B Chuckwagon on the Elk Meadow RV Resort Property. We are the owners of nearby (90' away) Commercial & Residential rental units at 1755 Moraine Ave.

We have reviewed the Statement of Intent, Site & Building drawings, Traffic Study, and various other documents submitted by the developer. Mike Egan also attended the public meeting for the project on February 17, 2016. Outlined below are our specific objections.

(1) The Statement of Intent details the proposed project and discusses some Environmental & Miscellaneous Impacts including wetlands, wildlife and obstructed views. Fine. **What the plan entirely fails to address is the direct adverse impact to businesses and residents of the street re-alignment plan for Highway 66 and Mills Drive.** The proposed installation of a turning lane in front of the Rock inn on Highway 66 will effectively eliminate 16 critical parking spaces for this business. The current owners have spent the last 10 years building this restaurant into a local favorite. This impact was totally ignored. As you all know, parking for any business in the Estes Valley is at a premium. These spaces are critical to the Rock Inn.

The proposed widening of Mills Drive to a paved 24' cartway with curbing will infringe on the current driveways and available parking space for all the residents and eliminate off street parking entirely for some. The needs of these owners and tenants who are almost entirely year round residents have not been addressed in the plan.

(2) A traffic study prepared by Delich Associates and presented on 12/14/15 indicated that the proposed turning lane at the intersection of Highway 66 and Mills Drive be delayed until after one year of operation by the Lazy-B Chuckwagon. A later report dated 1/13/16 stated that the turning lane was now required. Not sure what happened to cause this change but again, it totally disregards impact on neighbors. The Elk Meadow facility currently has a large driveway entrance off Highway 66 that adequately handles all traffic coming in and out of the campground. In the past ten years we have never seen a backup of traffic near this entrance at any hour. The same entrance can easily handle the proposed traffic coming into the proposed Lazy B operation. There is no need for an additional entrance off Mills Drive.

(3) Several Waivers and Variances for this project are needed for implementation. All of these need to be looked at very carefully especially Waiver of Ordinance 8-05#, Appendix D Street Design and Construction Standards. It appears this waiver will impact drainage at Mills Drive and Highway 66. Again, an adverse impact to neighbors of project.

Some closing comments. The project developer in the Statement of Intent indicated that an overwhelming positive response would be shown at the public meeting. At the meeting an overwhelming **negative** response was shown. Unfortunately, only an hour was available for public comment due to room scheduling. It appears that the developer is determined to push this through.

As the governing bodies responsible for overseeing Estes Valley Development we ask the Planning Commission, Town Board and Mayor to reject this project proposal in its current form. We request that the developer and planners come up with an alternate plan that takes into consideration the impact on the people in the neighborhood - at least on the same level as the other wildlife in the area. If Lazy B would use the already existing entrance to the Elk Meadow property a major part of this impact problem would be resolved. We think a site visit by governing body members might also be helpful.

Thank you for your review and consideration of this information. We can be reached at: 135 Timber Lane, Estes Park, [970-412-9672](tel:970-412-9672), gold1dog@hotmail.com.



DATE: February 24, 2014

TO: Estes Valley Planning Commission

FROM: Jay and Maureen Vetter, owners of parcel #35341 – 00 – 035 (1711 Mills Drive)

RE: Pending Application: Highway 66 – 1665 – Lazy B Ranch & Wranglers Special Review 2016-01

Before we purchased our home in 2009 we checked zoning and land use projections since we knew that the land to the north would probably someday be used for something besides RV and equipment storage. We discovered that it was zoned A and that its best use in the Estes Valley Plan was for affordable housing. We have been very surprised that there is a proposal to develop it into a major entertainment venue. We are writing to ask you to deny this application, require a different entrance, or make modification as it relates to our property and that of others in our neighborhood.

We object to the characterization of our neighborhood (Properties along Mills Drive from Spur 66 to the RMNP boundary) and the implication that we are accustomed to excess noise because of the “performances (that) go on for several hours” at the Rock Inn, Elk Meadow, and in the National Park. There are 12 housing units on the south side of Mills Drive along the 900+ feet affected by this application. All but two of them are occupied by local residents, many of whom are employed. One unit is vacation rented and the other occupied by a part time resident. Our area is effectively a residential area. In the 6+ years that we have owned our home we have never been effected by noise or traffic from a performance in RMNP. We have never heard noise from entertainment at the Rock Inn or Elk Meadow. We have been affected by traffic and parking from the Rock Inn as overflow parking occurs along the north side of Mills Drive in evening hours during peak tourist season.

We ask that you deny the application outright as not appropriate for this neighborhood. Please consider the following factors:

1. It does not fully comply with the recommendations contained in the Spur 66 Master Plan and the Estes Valley Plan. (See Appendix A & B) Specifically: no new commercial development, no buildings larger than 3,000 square feet, gravel parking lots, preserving natural features and open space, distance of structures from streets, shared driveways, etc.
2. This proposal only exacerbates the issues raised by the recently released Housing Study. It would require low wage and seasonal employees. It does not specifically include assistance with housing. (Instead the applicants suggested on February 17, that campsites would be an option when in reality this plan reduces the number of available campsites in Elk Meadow.) Most of the housing units along Mills Drive could be classified “affordable” according to criteria in the housing study. Many of them are occupied by members of the local work force. The Estes Valley Plan (see Appendix A) designates this area for affordable housing and the Spur 66 master plan (see Appendix B) for multi-family housing. We believe that one of the reasons that Estes Park has little success in solving its housing issues is because we usually chase the tourist sales tax revenue and make exceptions to our land use plan for tourist venues at the expense of housing.
3. Placing a large tourist attraction between the town and the RMNP only adds to the traffic issues that this town has been struggling with over the past few years relative to what has been called “the Loop”.

4. The site plan does not provide enough space for the type of venue being proposed. During the peak season it will be wedged between a residential area containing 12 residences (maybe more if other development plans proceed) and a crowded RV park. Other than décor there will be nothing about the site to suggest a ranch.
5. It does not appear to us that in Phase 1, of the proposal would be an indoor event center. Are large outdoor events allowed in areas zoned A?

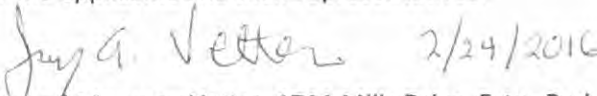
If you decide that this development is appropriate for this area, we ask that you require the applicants to locate the entrance off Spur 66 at the location of the present entrance to Elk Meadow RV Park. We hope you will consider the following factors:

1. Putting the entrance on Mills Drive will fundamentally change what is now a quiet residential neighborhood. It will restrict our access to our property during construction and for an hour or two every evening that the venue operates. We will be inundated with vehicle traffic, noise and light pollution every night of the week.
2. We believe this development will threaten the survival of the Rock Inn. It seems that you are being asked to take an action that will threaten the continued existence of one community landmark to allow the attempted revival of another. The Rock Inn really is a landmark – not just in name, but in location. It is on property owned by someone who lives in the neighborhood and a business owned and operated by persons who live in Estes Park. They are all relatively young persons.
3. It does not seem to us that anyone residing on Mills Drive will have their view to the north improved by this development. Those of us along the portion of the road that will be widened will lose landscaping and in the case of 1707 Mills Drive (parcel #35001-00 -032) almost all the parking area for a residence.
4. We do not believe that the claim made by applicants that the Free Summer Shuttle will provide access is realistic. It only runs once each hour. If folks want to ride it from the YMCA or points south they would have to walk about one third of a mile along roads with narrow shoulders and no sidewalks from the stop at Rockmount Cottages or ride for an extra 35 minutes to be dropped off at the entrance to Elk Meadows.
5. Our observation from using the corner of Mills Drive and Spur 66 during the early evening hours caused us to look closely at the traffic study. They admit that much of it is based on data from CDOT and Larimer County archives that is several years old. We believe that observation of that intersection in July 2015, would yield a far different result from that using calculations based on older traffic counts along Highway 36 and Spur 66 and factoring in an increase of 1.5% per year.
6. Zoning regulations allow entertainment, retail, and restaurant service at an accommodation with the stipulation that they use a common entrance. It appears that a campground and a large indoor event permit are both allowed on a parcel zoned A by special permit. Wouldn't it make sense to apply the same requirement if they share the same parcel?
7. The proposed entrance to the parking lot is a de facto entrance off Spur 66, because all the traffic will enter a private road from Spur 66 that is improved only to the entrance to the parking lot. That puts several business entrances in a short span of Spur 66.

If you determine that the entrance off Mills Drive is a good idea and decide to approve it, we ask to you require the following to be added to the plan:

1. A sidewalk on one side or the other of Mills Drive to accommodate foot traffic from the Free Summer Shuttle Stop at Rockmount Cottages.
2. Additional parking for patrons of the Rock Inn provided by the applicants on their land adjacent to the current parking area for the Rock Inn. Such plan to be mutually agreed upon by applicants and the Rock Inn.
3. Off street parking for the residence at 1707 Mills Drive. Such plan to be mutually agreed upon by applicants and owners of parcel
4. Screening from headlights of vehicles leaving the proposed parking lot after 8 p.m. for the dwellings on parcel #35341-00-035 and Tract 4 Niebur Exemption (1711 and 1715 Mills Drive respectively). Such screening to be installed and maintained by applicants using a plan mutually agreed upon applicants and owners of said parcels.
5. Require consultation with property owners along Mills Drive before adoption of final plans for and utility hook-ups that may be disturbed by the project. We are especially concerned about the plan to relocate electrical power lines to residences on the south side of Mills Drive and our water line which currently goes exclusively to our property from the main that serves the fire hydrant on the north side of Mills Drive just west of the Rock Inn.

Thank you for considering our concerns. We welcome an opportunity to discuss any of these with you or the applicants and their representatives.


Jay and Maureen Vetter, 1711 Mills Drive, Estes Park, CO 80517 970-586-3896
jaymillsd@gmail.com

APPENDIX A

According to "Development Guidelines: Spur 66" in Estes Valley Plan, chapter 6, p. 34:

"SP 5. Identify site within Spur 66 that may be appropriate for future affordable housing development.

*The commercial campground at the Spur 66 Park entrance intersection should evolve into housing."

(This is the only subpoint under SP5)

Also, two of the subpoints under SP 1 (also on p. 34): "Commercial uses should not be extended along the Spur. They should be contained within their existing locations." and "New accommodations should be residential in character."

First subpoint under SP3 (also on p. 34): Maintain the character of the Spur by setting buildings well back from the roadway."

Also, under "Future Land Use" (on p. 35): "The Spur 66 planning area contains lands adjacent to the major entry to Rocky Mountain National Park. The sensitive redevelopment of this area is important to promote a transition between the Park and the Valley."

APPENDIX B - Related to Spur 66 Management Plan

Map of existing land uses shows the south side of Mills Drive as "Single Family Residential"

On p. 8: "8. The western boundary of the planning area is Rocky Mountain National Park. Development which occurs in this area may have both short-term and long-term impacts on the environmental quality within the [p]ark boundaries."

Under "Spur 66 Neighborhood Performance Guidelines" (p. 15). Goal A: "...the character of the area is defined by the following elements: forested hillsides, mountain vistas, **minimal commercial development**, clear mountain streams, **low development density**, **open space**, well maintained property, **wildlife**, **rural feeling**"; "Lodge owners and other businesses within the Spur 66 area dependent on these assets for their livelihood. These assets are important to the quality of life of area residents and visitors and contribute in tangible ways to land values in the area. All new development should be undertaken with the acknowledgment that these assets are essential to the future success of the neighborhood. **New developments should be able to demonstrate that these assets are being retained or enhanced.**" (emphasis added)

Goal B on Site Design includes (p. 15): "Recognize that parking is potentially the most damaging of all man-made intrusions into the natural environment and should therefore be designed with the utmost of care." and "Minimize the amount of impervious surface so that runoff is kept to a minimum and the natural ability of soil and vegetation to cleanse runoff is retained." and "Maintain existing native vegetation to the greatest extent possible." and "Conserve wildlife habitat."

Numbered items below under Site Design (p. 16) include: "1. Buildings should not dominate or detract from the natural landscape." and "8. ...Whenever possible, parking spaces should be dispersed." and "9. To minimize visual impact, parking lots should be located behind structures, or situated far enough from the road to allow them to be screened from view." and "10. Whenever possible, parking lots should be surfaced with gravel or other pervious surface in order to minimize runoff."

Under Section C on Architecture (p. 19): "1. The architecture along the Spur 66 is rural in character and residential in scale."

Under Section D on Signs, Fences and Lighting (p. 20), the five bullet-point goals at the top include: "Maintain the rural and rustic character of the area and sense of open space" and "Minimize light pollution" and another includes "Avoid the introduction ... of excessive lighting"; among the specific numbered items: "12. Exterior lighting should be kept to the minimum necessary to provide for public safety." and "13. The use of streetlights is not in character with the rural nature of the Spur 66 Corridor and should be avoided" and "14. Light fixtures should be shielded so that light does not spill over onto adjacent properties, the roadway, or the sky."

Under Section F on Wildlife: "5. Structures and other man-made features should be located so that wildlife access to water and other critical habitats is not impeded."

In map of Catalyst Area One (pp. 29, 31), the "Blue Arrow Campground" (now Elk Meadow) is labeled as "Multi family 8-12 du/a), although the planning area delineated on the map appears to include only the southeastern portion (about 1/3?) of the entire parcel (it is not indicated what is beyond this dashed line); also next to the map are labeled six "Strengths" of this area, which include: "Tops of structures are kept below the skyline" and "Retain existing road width"

Jill Schladweiler
1723 Mills Dr, Unit 5, Estes Park, CO 80517



19 February 2016

Ms. Oliver, the Planning Commission of Estes Park, Estes Park Town Trustees

To Ms. Oliver, the Planning Commission of Estes Park, Estes Park Town Trustees,

I am writing in regards to the proposal for the Lazy B Chuckwagon being planned on the Elk Meadows RV Park. I have a number of issues and I will try to lay them out clearly and concisely.

First off, I have lived on Mills Dr for eight years now as a tenant of Sun Cottages and renting from Chuck Santagati. Chuck does something few landlords in Estes are willing to do, which is provide affordable housing for the working class of Estes. My neighborhood could be vacation rentals, per zoning, or it can be for people that need somewhere to live so they can continue to contribute to all that is Estes Park. I enjoy being tucked away from town; I enjoy all the stars because there is no light pollution; I enjoy knowing my neighborhood is safe and that there is extremely minimal tourist traffic. I know that these are luxuries and that as Estes continues to grow and progress things will change, I simple do not believe the Lazy B is what will change them for the better. I believe that widening Mill Dr will be more of a detriment to the neighborhood than a help. First off the Rock Inn would lose a fair amount of parking. The Rock has become a fixture of the neighborhood and the community. During the flood, those of us that live on that side of town would gather there each night and check in and see what needed to be done. When there has been fires and evacuations, the Rock makes sure the neighbors know and that folks get out safe. On countless nights, you see their parking lot filled with happy people, local and tourists, enjoying the patio, the music, the food and their 4p happy hour. Adding more traffic to Mills Dr at that time would take away their business, this is un fair to an established business that contributes to the well-being of this community. The Rock Inn was built in 1937, it has been there a long time and deserves respect. Onward up the road, where we all live, well we live there. Some driveways have space to spare and some do not. Putting in an entry way to tour buses and traffic changes my day. I usually get home from work between 4-5pm, I will have to wait behind smog producing buses and seemingly 500 some cars just to get home. They are proposing to under size their parking lot, so where will folks park, my guess is my driveway and the drive way of my neighbors. This is unfair to a neighborhood that is small and exists peacefully. I am not interested in living surrounded by streetlights and car doors and the sounds of cars being locked and unlocked when I get home from work, not at all. Any one that lives in Estes and works in Estes will attest that summers are busy and when I get home at the end of the day I want to sit peacefully on my porch or walk down to the Rock Inn and enjoy their patio. With this plan, I could no longer walk to the Rock Inn to enjoy myself. The peaceful road would be filled with cars, tour busses and smog. There would be not side walk so I would be forced to tempt fate and walk against traffic, hoping those tourist are not too busy watching the elk to see me.

At the public meeting it was said that the Lazy B would help grow the Estes Park economy, I am not sure I see how. Part of the business plan includes busing people to the venue. These people would be bussed up from the valley, crowding the canyon roads even more, especially while they are still being rebuilt, these busses would

then pass through the tourist filled down town roads of Estes Park, not stopping anywhere, simply driving to the venue, where they are then dropped off for their show. These tour buses would be driving down Elkhorn Ave and needing to take a left on to Moraine, this is the worst intersection in town. A tour needs a wider turning radius and would have extreme difficulty making that turn without sideswiping another vehicle or hitting a pedestrian. We cannot have any more slow downs on Elkhorn Ave. As the bus continues their drive to the venue, they will need to stop at the stop sign where Spur 66 begins. Due to the outgoing National Park traffic, that stop signs often becomes backed up by cars and campers, tour buses would not help. I have waited up to 15 cars back to make that crossing to go home. These folks will only spend money at that venue, they will not dine in one of Estes' fine restaurants nor will they stay the night in one of our beautiful hotels or lodges, so I am curious how that helps Estes. I understand that there will be a few folks staying in our community attending and that most folks plan ahead for this sort of thing, but they said they expect 750 people per day, 7 days a week for 5 months. That is saying that 100,000 people will attend the Chuckwagon dinner, which seems like a tall order for a show that went out of business due to declining numbers and changing trends in what families do on a vacation. It was also stated at the meeting that this would bring jobs. Jobs, we have jobs, we need housing! Currently there are around 35 jobs posted in the paper, it is February, this does not go near the jobs for summer. Where will they all live? There was talk that they could live at the campground during the season, but does that help? To me that is like creating a closed community that operates in and of itself, again this does not help our local economy. There was talk at the meeting of something like this adding diversity, this baffles me. I would love to believe that the cowboy/heritage culture is rich in diversity but I have not seen it. I understand that each person is different, but something like this creates a culture and I do not believe it is the culture we are hoping to bring to Estes Park. After a google image search oh Chuckwagon Dinners, the pictures are of white people, that is not diversity. I do not want to be neighbor to a highly offensive "Cowboys and Indians" show and I sincerely hope that is not what Estes Park is after. In order for our community to progress, we must be progressive. We must nurture the arts and creativity and our global community.

I have concerns with the environmental impact of this all as well. They propose having folks eat in an outdoor tent and that it is for families. When kids eat, food ends up on the floor, or on the ground in this case. I was assured that they would "clean up" but I do not understand how you clean up dirt. Being that this is within a stone's throw from the national park, and the peaceful nature of our neighborhood, there are animals, lots of them. My biggest concern is with the bears. We have bears in the neighborhood. We do all we can to create a safe bear environment by keeping trash bins secure and not leaving smellables out, this would thwart any of our attempts. Each night, there will be bears in the tent eating off the ground. We cannot be allowing bears this access. We need to allow them to stay wild! A bear will tear a door off a car for a granola bar, the tent does not stand a chance. Most bears that end up eating human food, end up euthanized, this is unacceptable. I am also concerned about the elk. That area is an elk rut zone, it is, after all, Elk Meadows RV Park. Try as we might to educate people, each year folks are gored and charged by the elk. They elk were here first. Before all of us. We cannot keep pushing the limits of these animals and Mother Nature without expecting grave repercussions.

With that said, I am not one to complain without offering suggestions. In terms of the location I suggest trying out this business plan at the Pavilion at the fairgrounds and seeing if people would really come in bus loads and to the tune of 750 per night. The pavilion is a rentable space, with ample parking. It is away from the main part of town, which they said was key, and everything is there. The meal could be prepared on grills outside and folks could enjoy their dinner and a show. This option would benefit the town by utilizing an under used space and the town receiving money for the rental of it and it would benefit Lazy B by giving them a space for their show and to make sure this plan will work before they tear up a road, destroy a neighborhood and invest money

in something that may very well not make money. The fairgrounds option would also keep traffic out of down town as well as spur 66, clogging up traffic along the way. If the location must be at Big Elk Meadows, why not have the entrance be off highway 36 on your way into the park. This is already a developed highway with curb and gutter and is one the side of the campground. There would need to be little work done to accommodate this.

Some questions I am left with are that it was said at the meeting that this summer they will run the Chuckwagon for 250 people. Why is that not enough? What are the zoning rights going on at this location? It was stated they want it re zoned commercial once it is built, this seems like questionable practice to me? What happens when it all fails? What happens when only 750 come per week instead of per night. Then we destroyed the neighborhood, the Rock Inn and the animals for nothing. What is the business plan, financial impact? Help me understand what this does to help the small town I believe in and love.

I appreciate your time.

Jill Schladweiler
1723 Mills Dr, Estes Park, CO 80517