

Prepared: April 8, 2016
* Revised:

STUDY SESSION AGENDA
ESTES VALLEY PLANNING COMMISSION

Tuesday, April 19, 2016
12:00 p.m.

Estes Park Town Hall, Room 202

12:00	Lunch	Chair Hull
12:10	Review of Minutes (5)	Chair Hull
12:15	Voeks Rezoning & Boundary Line Adjustment (10)	Planner Gonzales
12:25	Rezoning of 475 Fall River Lane (10)	Planner McCool
12:35	Sunny Acres Addition Rezoning & Amended Plat (10)	Planner Gonzales
12:45	Lazy B Ranch & Wranglers Special Review (35)	Planner Gonzales
1:20	Adjourn to meeting	Chair Hull

Informal discussion among Commissioners concerning agenda items or other Town matters may occur before this meeting at approximately 11:45. The public is welcome to attend study sessions; however, public comment will not be accepted. Times are approximate.

AGENDA
ESTES VALLEY PLANNING COMMISSION
April 19, 2016
1:30 p.m. Board Room, Town Hall

1. OPEN MEETING

Planning Commissioner Introductions

2. PUBLIC COMMENT

The EVPC will accept public comments regarding items not on the agenda. Comments should not exceed three minutes.

3. CONSENT AGENDA

A. Approval of minutes of March 15, 2016

4. REZONING & BOUNDARY LINE ADJUSTMENT, TBD LITTLE PROSPECT ROAD

Owner: George H Voeks Trust

Applicant: Stephanie Rauk, Trustee

Request: Request to rezone one lot from E-1–Estate to E-Estate to create consistent zoning prior to adjusting the boundary line between two lots. Adjust boundary line to create two legal lots of record.

Staff: Audem Gonzales

5. REZONING OF 475 FALL RIVER LANE FROM CO-COMMERCIAL OUTLYING TO R-2-TWO-FAMILY RESIDENTIAL

Owner: Dennis & Donna Lovell

Applicant: Dennis & Donna Lovell

Request: Request to rezone from CO–Commercial Outlying to R-2–Two-Family Residential. Per current owner, commercial use of property was discontinued prior to February 2, 2000, unknown to staff. Applicant requests this be a "corrective rezoning."

Staff: Carrie McCool

6. REZONING & AMENDED PLAT, LOT 5, SUNNY ACRES ADDITION AND A METES & BOUNDS PARCEL, 260 & 265 SUNNY ACRES COURT

Owner: Fall River Village, LLC

Applicant: Fall River Village, LLC (Paul Pewterbaugh)

Request: Request to rezone two separately zoned adjacent lots (R-2 & E-1) to RM–Multi-Family Residential to accurately reflect the land use and allow for additional future development.

Staff: Audem Gonzales

7. SPECIAL REVIEW 2016-02, LAZY B RANCH & WRANGLERS, 1665 HIGHWAY 66

Owner: Randy Jackson & Michael Andrejek

Applicant: Michelle Oliver

Request: Development of a Chuck Wagon Supper and Show venue consisting of an approximately 17,900 square foot building and a 192-space parking lot. Project to be completed in three phases.

Staff: Audem Gonzales

Continued on next page

6. REPORTS

- A. Estes Valley Board of Adjustment –
 - 1. Verizon Wireless/Town of Estes Park Variance – Approved April 5, 2016
- B. Estes Park Town Board
 - 1. The 2015 International Building Codes were heard by the Town Board on March 22, 2016. There were some specific revisions related to vacation home rentals and automatic fire sprinkler systems that will be made and taken back to the Board on April 12, 2016 for possible adoption.
- C. Larimer County Board of County Commissioners – Nothing to report
- E. Flood Recovery/Mitigation
 - 1. Silver Jackets team to be in Estes Park in early May to study downtown area floodproofing options
 - 2. Hydrology Study Public Meeting, April 19, 2016, 8:30-10 a.m.
- F. Other

7. ADJOURN

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Commission: Chair Betty Hull, Commissioners Doug Klink, Nancy Hills, Steve Murphree, Sharry White, Russ Schneider, Michael Moon

Attending: Chair Hull, Commissioners Murphree, Moon, White, Schneider, and Hills

Also Attending: Director Allison Chilcott, Planner Phil Kleisler, Town Board Liaison John Phipps, Larimer County Liaison Michael Whitley, Environmental Planner Tina Kurtz, Town Attorney Greg White and Recording Secretary Victoria Webb

Absent: Commissioner Klink

Chair Hull called the meeting to order at 1:30 p.m. There were approximately 23 people in attendance. Each Commissioner was introduced. Chair Hull explained the process for accepting public comment at today's meeting. The following minutes reflect the order of the agenda and not necessarily the chronological sequence.

1. PUBLIC COMMENT

Johanna Darden/town resident: She wanted to comment on the makeup of the task force for vacation rentals. Chair Hull stated that task force is not under this Commission's purview. Mr. Terry Gilbert is in charge of the Larimer County Task force on vacation rentals.

2. CONSENT AGENDA

A. Approval of minutes, February 16, 2016 Planning Commission meeting.

It was moved and seconded (Hills/Murphree) to approve the consent agenda as presented and the motion passed unanimously with one absent.

3. BLACK CANYON INN TOWNHOMES, AMENDED DEVELOPMENT PLAN 09-03B, MINOR SUBDIVISION PLAT, & PRELIMINARY TOWNHOMES SUBDIVISION PLAT

Planner Kleisler reviewed the staff report. The request is to amend development plan 09-03B to convert 19 condominium units not yet built to 17 townhome units, keeping most of the site unchanged with minor changes. The project will also require a variance, which will be heard by the Board of Adjustment.

Planner Kleisler summarized the project. Site is accessed roughly 2,000 feet north of Wonderview Ave off Macgregor Avenue. It is roughly halfway developed to this point. It has been initially approved to be mix of office, condos, restaurants, etc. It is located in the A-Accommodation zone district. The density and impact of the site is relatively low given the request to decrease density from 19 to 17 units. The existing access drive will be brought to Town standards with pedestrian access. The drives will largely follow the path approved in the original development plan for the site. The major changes are the type of unit layout and access to such units. For example what was an attached triplex unit accessed via pedestrian walkways to a common parking lot will be

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switched to an attached duplex unit with a garage and drive to one unit and the common parking lot. A second example was to two former triplexes being converted to duplexes. The major changes that would be made to the site are to provide more of a residential feel with driveways to the units allowing for a car in the drive as well as in the attached garage. These will be primarily accommodation units, although zoning allows for long-term residential use.

Planner Kleisler stated the approved plan is for condominiums, and the applicant desires to change the plan to be a townhome subdivision. A condominium owner owns the air within the walls of the unit, while a townhome owner owns the structure and the land underneath. Per the EVDC, one lot cannot have a mix of condominiums and townhomes, so the minor subdivision is required to put the condos and townhomes on separate lots.

Staff reviewed for compliances with the Estes Valley Comprehensive Plan and the Estes Valley Development Code. Portions will be Planning Commission recommendations to the Town Board and portions will require a motion by the Town Board.

Planner Kleisler stated the key issues. The vehicle and pedestrian use will remain the same as the initial approved development plan for the site. Additional efforts are being made to avoid rock outcroppings and tree clusters by the developer. Staff relied on the existing drainage studies, and wildlife habitat studies for review.

Some recommendations in the wildlife report include timing restrictions of certain development activities to reduce impact to elk and deer calving, fence removal and modifications to facilitate wildlife movement, and the installation of bear proof enclosures and/or dumpsters. The town's new wildlife ordinance will apply.

Planner Kleisler stated that the other key issue is in the south portion of the site dealing with a parking modification. The number of parking spaces has not changed, but the unit mix associated with the lot is a little more compact. Staff recommends approval of a minor modification to parking.

There are four separate applications and recommended motions in the staff report.

1. Amended Development Plan (DP09-03B). The Estes Valley Planning Commission is the decision-making body for the development plan. The amended development plan keeps the same circulating patterns, but decreases the available units. There are several improvements: a public sidewalk along MacGregor Avenue and a connection from that sidewalk to the public sidewalk in the Black Canyon Inn; and an emergency access road with a locked gate going in and out of the Overlook.
2. Preliminary Townhome Subdivision Plat. The EVPC is the recommending body for this application and the Town Board is the decision-making body. It changes the ownership

patterns from condominium rights to a townhome subdivision. The final townhome subdivision plat would go to the Town Board.

3. Minor Subdivision. This allows the townhome lot to be created.
4. Related to the EVPC review, but outside of their purview is a variance request going before Board of Adjustment in May. An undeveloped area in the river setback area is being proposed to be used as an overflow parking lot for employees. This will be reviewed after the Town Board hearings.

Planner Kleisler stated that there are adequate services and facilities to serve the development with a few minor revisions. The Town engineer did review two engineering wavers, appendix D, and found they relieve practical difficulties in developing the site. The requested minor modifications to parking standards would result in less visual impact. The applicant states they do not need the extra space in parking and staff recommends approval to avoid additional disturbance of the site. The application with recommended conditions would comply with the applicable sections of the Estes Valley Development Code. A revised application satisfying all conditions of approval must be submitted prior to April 15 to be added to the agenda of the Town Board meeting on April 26.

Staff recommends approval subject to the conditions of approval listed below as well as continued compliance to the original reports.

Staff and Commission Discussion

Regarding the emergency access road proposed, Planner Kleisler stated the Town would possibly be responsible for the maintenance of the emergency access road if it were open to the public; the Overlook is part of the Stanley Historic District, which would have its own separate issues if a public road was created. Attorney White stated it is on private property, and issues would need to be worked out if it was to be made a through road.

Public Comment

Jess Reetz/applicant representative: He took an existing already approved development plan and made revisions. Previously approved proposed units near Black Canyon Creek were eliminated. Parking is very limited by restaurant, and the proposed parking by the creek would be for staff. The lock on the emergency access gate would be approved by the Fire District.

Johanna Darden/town resident. She is concerned about amended development for Black Canyon Inn townhomes subdivision plat. In 2009, the EVPC and the Town Board approved of the development plan of the property with conditions. What she recalls, there was not to be a supplementary paved drive off MacGregor Ave, and no construction by Black Canyon Creek. Trees were to be replanted when removed by construction, two to one for every tree removed. She asked if employee housing was part of the plan. She was concerned about additional traffic in the area, as well as wildlife protection.

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Public comment closed.

Staff and Commission Discussion

None.

Conditions of Approval

1. Compliance with the following affected agency comments:
 - a. Estes Park Sanitation District email dated January 28, 2016
 - b. Estes Valley Fire Protection District memo dated February 15, 2016
 - c. Town of Estes Park Utilities Department memo dated February 19, 2016
 - d. Town of Estes Park Community Development memos dated February 19, 2016 (three memos); and
 - e. Town of Estes Park Public Works Department memo dated February 19, 2016.
2. Continued compliance with original reports, including but not limited to:
 - a. Wildlife Impact Assessment dated March 24, 2008 (updated April 20, 2009)'
 - b. Drainage Report dated March 25, 2009; and
 - c. Traffic Impact Study dated March 25, 2009.

It was moved and seconded (Murphree/Schneider) to recommend approval of the Black Canyon Inn Preliminary Townhome Plat and Minor Subdivision to the Town Board with the findings and conditions recommended by staff, and the motion passed unanimously with one absent.

It was moved and seconded (Hills/White) to approve the Black Canyon Inn Amended Development Plan 09-03B and the motion passed unanimously with one absent.

4. PROPOSED AMENDMENT TO THE ESTES VALLEY DEVELOPMENT CODE RELATING TO DENSITY REGULATIONS FOR RESIDENTIAL AND ACCOMMODATION UNITS.

Director Chilcott stated that this is an amendment to the Estes Valley Development Code that controls how density is calculated. Currently density is always rounded down. If your density calculation on your property says you can get 4.99 units on that property, you are only allowed to have 4 units. She recently has had conversations with property owners and developers regarding this rounding, and it has effected the number of units allowed. In turn, this has discouraged developers because of the reduced number of units allowed. Staff drafted the proposed amendment to allow rounding to occur in a more mathematical way; any fraction of .49 or less is rounded down, any fraction of .5 or more is rounded up. This would amend the EVDC section 1.9.C.3. "When applying a density standard to a parcel's net land area, any fraction of less than one-half (1/2) shall be rounded down to the next lower whole number and any fraction of one-half (1/2) or more shall be rounded up to the next higher whole number."

Any proposed code amendment is reviewed to be compliance with the standards in the EVDC section 3.3.D. Staff found this is a necessary code amendment. While the amendment applies to both new and redevelopment, it is particularly necessary for redevelopment, which is where most

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of our development will occur in the future. Director Chilcott stated the proposed code amendment is in line with the policies and intent of Estes Valley Comprehensive Plan, and would encourage redevelopment in the Estes Valley. Director Chilcott stated staff did not see any disadvantages with this code amendment.

Public Comment

None.

Staff and Commission Discussion

None.

It was moved and seconded (Hills/Murphree) to recommend approval of the proposed amendment to the Estes Valley Development Code relating to density regulations for residential and accommodation units to the Town Board and County Commissioners and the motion passed unanimously with one absent.

5. PROPOSED AMENDMENT TO THE ESTES VALLEY DEVELOPMENT CODE & ESTES PARK MUNICIPAL CODE RELATING TO VACATION HOME RENTALS

Chair Hull stated the Board would only be dealing with rentals of eight persons or less, and rentals for nine or more would be addressed after Larimer County task force has made recommendations.

Planner Kleisler stated that the Planning Commission, Town Board, and Larimer County have had a long conversation about this topic over the last year, including four public forums. This is the third Planning Commission hearing on this issue. The Town Board and County Commission requested the Planning Commission look at the ordinance suggested at the February meeting recommend approval or denial of such an ordinance. This is a continuation of the February hearing. It would apply to the entire Estes Valley.

Section 5.1.B of EVDC regulates bed & breakfast inns and vacation home rentals within the Estes Valley. It begins with general applicable standards which apply to both bed & breakfast inns and vacation home rentals. Some of the proposed changes clean up wordage to give each ordinance a title. The Planning Commission did not opt to not expand the area of where a local contact can reside; they need to be within the Estes Valley within 30 minutes of the rental property. Violations is a new section which points to existing remedies provided within the code. One clear feedback received is the need for more enforcement, particularly of current regulations. There has been discussion of some type of review or hold on a license on an annual basis during renewal, if violations are attached to that property. The Planning Commission also expressed a desire to not have to wait to the end of the year to resolve some of the issues in regards to licenses. At any particular time, with the assistance of the Town attorney, the code compliance officer can site a property into court for violations allowing for revocation of the license. At any time, the decision-making body may revoke the Annual

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Operating Permit for twelve months in accordance with section 12.4.A.2 of the EVDC. In this case, the decision-making body would be staff. If these changes are approved, a appeals process (to the Planning Commission) needs to be added. As is currently written, appeals go to the Board of Adjustment. Staff is not limited to the two revisions so far described in dealing with violations. They can use any of the remedies in chapter 12 of the EVDC. There was some discussion by staff and the Commission about term of revocation of the license. Section 5.1.B.1.c discusses some operational restrictions in regards to residential character. The proposed amendment adds implementing quiet hours for outdoor hot tub use.

Director Chilcott commented on residential character. She is concerned about enforceability. A general rule is that if it is something extremely objective it is enforceable. It is important to recognize there are some sections of proposed code regulations that are more subjective and they will be more difficult to enforce. For example, the statement on residential character is subjective and could be difficult to determine if a violation has occurred. Attorney White clarified that you are allowing the vacation home rental use in residential zone areas. The vacation home rental use is allowed in one section, and this section states it must fall in line with residential use. It makes it difficult to enforce. This language is from the first attempt at regulating vacation home rentals and they are now doing a better job of categorizing the objectionable aspects that hadn't been done at the start.

Planner Kleisler described the proposed section 5.1.B.1.d requiring a notice posted on site listing specific requirements/restrictions for renters including but not limited to; property line boundaries so they don't trespass on adjacent properties; address for emergency responders; name and number of the local contact; the max number of occupants and vehicles allowed at the site; safety information such as gas/water shutoff; etc. Staff is working to craft a template that can be adjusted to a specific rental in plain language.

Director Chilcott had a question for Attorney White. If additional items are identified that should be added to the notice, would it be better to have this list as part of staff policy or to require additional code amendments? Attorney White stated that they can be added either way.

Commissioner Moon stated he doesn't understand why a requirement on exterior lighting is present. It is a code compliance issue for property owners and not the renters. Discussion occurred about guests not understanding the dark sky standards in the Estes Valley and the need to inform them. Planner Kleisler would provide user friendly language to remind guests to shut off exterior lights. In close quarters, some exterior lighting illuminates adjacent properties. Even if it is an older cabin whose lights do not comply with current code, they still need to turn off the lights. This would not force property owners to change their lighting to comply with current standards, only to encourage compliance with the dark sky ordinance.

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Commissioner Schneider asked about including the location of other safety equipment with the location of fire extinguishers, defibrillators, first aid kits, etc. Director Chilcott explained it may be easier to make the code simpler and easier to understand by writing policy that spells out the requirements of the list. The Commission could consider that option. The code could just state that information shall be provided that contains property owner information, development code requirements, etc. It would be more general.

Discussion included but was not limited to:

- Concern over how that would relate to the violation process.
- Concern over whether Town and Larimer County would be held to the same standard if part of the requirements are Town policy, not Estes Valley Development Code.
- If these requirements are listed in the EVDC as it is currently proposed, if the notice misses an item it would be considered a code violation.
- The Commission wants the items listed in the code and as specific as can be made to lessen confusion by the guests.
- Fire extinguishers are not required in residential dwellings. A posting stating "Fire Extinguishers: None" would be in compliance.
- Discussion of where fire extinguishers are required.
- The Larimer County task force may provide more direction on this.
- Including fire extinguishers on the list may remind property owners it would be a good idea to have one.
- Where fire extinguishers appear on the list, perhaps with the gas/water shutoff.

Planner Kleisler stated local contact information will include license and permit number to ease the code compliance process. Neighbor notification would be required for all existing and new vacation home rentals. Either at the time of the initial permit or sometime this year for existing vacation rentals there needs to be a courtesy mailing to neighbors within 100 feet stating the name of the local contact person. This is not opening up the opportunity to question the property owners. It is meant to make it easier for neighbors to know who to call if there are issues with the vacation rental property. The contact information for a property is public information; however, providing a courtesy mailing will make it easier to access the information.

Planner Kleisler stated they've been attempting to address number of bedrooms listed versus number of bedrooms advertised during the annual licensing process. Staff checks the Larimer County records to determine if the number of bedrooms stated in the license match the number of bedrooms in the County Assessor's records. No on-site bedroom inspections are taking place at this time. The Town Board could decide to adopt the dwelling life safety survey allowing for building code inspection of vacation rentals. It is his understanding the Board of Appeals is recommending that the Town Board postpone the adoption of that local amendment to the International Property Maintenance Code.

Planner Kleisler stated that the changes to licensing fees is allowing them to hire additional staff to allow for additional customer service. If this ordinance passes, staff will provide a welcome packet to new vacation rental properties. The packet will include the list of notices and other information specific for that rental, e.g. courtesy mailing materials, etc. Commissioner Moon wanted clarity about the Town heading in the direction of no inspections for vacation rental homes. There are lot of safety requirements that would be expected in an accommodations property (smoke detectors), and currently there is no way in the code to ensure that these things are present in a vacation rental. He feels that a compliance inspection would not force the property to upgrade to code on most issues, and there is no way to enforce that. The exceptions being the items required by state law (CO detectors, smoke detectors, etc.).

Planner Kleisler stated there was discussion from last month's meeting regarding parking standards. Public comment indicated they wanted to create a new, more viable standard. Currently vacation rentals are allowed no more than three vehicles at the site. Current vacation home owners requested that the same parking standards that apply to all residential zone districts apply to vacation homes in those zone districts. One exception would be the prohibition of on-street parking. Staff recommends that the on-street parking prohibition remain in place.

Planner Kleisler stated he spoke with the Town Attorney and other parties regarding resort cabins. There is confusion over this issue. For example the Black Canyon Inn properties being constructed may have full-time owners or short-term renters. Code does not allow that in the A zone district. There is confusion over why this is allowed in A-1 and not the A zone districts. The initial intent was to encourage vacation home rentals in the A-1 zone district and promote only high intensity use in the A zone district. Market demand is increasing toward the low intensity vacation home. Staff recommends allowing short-term rentals in the A-Accommodation zone district to remove the confusion.

Planner Kleisler stated that some of the proposed amendments are to clean up the language. Staff is deleting reference to a vacation rental being allowed as an accessory use in residential zones. They are currently allowed as a principal use. If it is allowed as a principal use, it is allowed as an accessory use. This does not impact any of the standards.

Planner Kleisler stated that section 12.7 deals with enforcement procedures. Town Attorney White recommended that language be added to allow the local contact to receive the written notice of violation. Currently the code requires code compliance officers to give property owners 15 days to correct the violation unless it is an emergency matter. That makes it difficult to address an issue when the renters are in and out in less than that time. Staff recommends changing the existing 15-day notice from a requirement to an option, by changing the wording from *shall* to *may*.

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Planner Kleisler stated at today's study session, the Planning Commission discussed at length about placing a potential cap on the annual permits in the Estes Valley. They recommend adopting a cap of 10% of housing units, which is 749 housing units in the Estes Valley. If the cap is reached, there are two options: (1) Staff could begin a waitlist or, (2) Town Board could increase that cap, probably at the recommendation of the Planning Commission. There are an estimated 500 or so vacation rentals in the Estes Valley, both licensed and unlicensed.

Staff and Commission Discussion

Discussion included but was not limited to:

- The Board believed that the 10% cap was to be reviewed annually, not just when we've reached the limit.
- As a percentage, the number of the cap will change continually as the number of homes in Estes Valley changes as development occurs.
- Attorney White felt that the Board needs to set a number representing the cap in the number of vacation rental licenses. It can be difficult to define a "housing unit" and a percentage changes the actual number of allowed licenses all the time. There needs to be an actual number that staff can act upon. He suggested picking a number based on the data provided and add language about reviewing that every year to see if that 10% remains appropriate.
- Looking at the data they could just say 750 vacation rentals for now and reexamine it next year.
- Census data gets updated every few years and occurs on a regular basis.
- Commissioner Moon suggested using the electric meter count as a means of tracking the number of homes in Estes Valley. The utilities department would know which meters are being charged commercial vs residential rates. He hoped that when they come back to this they can have a better, crisper definition of the numbers involved.

Public Comment

Chair Hull opened the floor to public comment. She reminded the public that they currently only accepting comments on vacation rentals of parties of eight persons or less. She stated that over the last month, people approached her to state that they feel criminalized by the establishment of all of these rules. Chair Hull clarified that rules criminalize you only when you break them and that they exist for a reason.

Johanna Darden/local resident: She urges a cap be placed on the number of vacation rentals, and it be a specific number (i.e. her hope would be 600 total), not a percentage. Her concern is a change in neighborhoods and their character and quality of life for permanent residents and long-term renters. Short-term renters do not come with a sense of community. People who have applied for licenses under the law should be included under the cap. Those who have disobeyed the law and are currently operating illegally should not be brought under the cap. If there are licenses remaining under the cap other vacation rental property owners

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should be considered under a first come, first served basis. Enforcement should be taken seriously.

Eric Blackhurst/local resident: He does not have or manage any vacation rental properties, but it is an economic fact of our community. He believes the Board has been placed in a difficult situation. It is a diverse, unique industry. It is an industry unique to the destination and it is almost impossible to regulate. There are two different sets of standards, long-term rentals versus short-term rentals. There are issues of legal protection. Property owners have a different standard versus vacation renters. It is an impossible task to regulate, particularly when authorized by covenants or when property is purchased specifically in areas allowed for vacation rental properties. Where do long-term renters and second homeowners fit into this? Are they going to be regulated to the same standards as vacation rentals? When does it make sense to regulate this industry that varies so much even from subdivision to subdivision? How do you know if a violation has been responded to within 30 minutes? It could be dealt with over the phone in which case the local contact doesn't really need to be within that 30-minute drive time. How do we know what the violation is? Is it a violation or a complaint? Can the authority in charge revoke a license on a compliant versus an actual violation? Twelve months on a violation is a long time. The penalty for selling liquor to a minor is a 15-day suspension of the liquor license. Registered sex offenders are not required to notify neighbors. These proposed regulations make vacation rentals more onerous than a pedophile. He urged the Commission to be cautious in what you recommend to the governing bodies because you are placed in a very untenable position on an industry that is extremely difficult to regulate and has had very few complaints.

Holly Moore/local resident: She shared some of Eric's concerns and those in the community. She was concerned about the balance between vacation homes and residential properties. Her primary concerns are with enforcement. This is a difficult situation and very complicated. The Board needs to look at different ways of regulation than what has been suggested so far. What are the consequences on a property owner that has a vacation rental without a license and how to we identify that person? The proposed amendment says that staff can withhold a license until the violation is corrected, but some things can be corrected almost immediately. In regards to withholding the license for 12 months, what constitutes a violation? She is concerned that it would be enforced on one complaint versus a pattern of complaints. A pattern implies the owner needs correction. Her biggest concern is how do we know who is doing this and who is not doing this and how do we control that?

Chair Hull stated that during the study session they brought up the issues raised by the last speaker. They'd talked about the possibility of a point system attached to the severity of the violation. They discussed the potential of a website where violations could be recorded. The Commission is trying to determine a process to track violations.

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Ed Peterson/representing Estes Park Vacation Rental Owner's Association: They want to be solution oriented. They understand there can be issues and want to solve those issues in an amicable way. He does not believe there are as many issues as have been addressed but understands the need for planning for problems that may occur. Posting a violation is an option, but if you are not at your rental for a couple of weeks you might not be aware. He stated the issues are being made out to be bigger than they really are. His group shared vacation home rental information from Salt Lake City and Lake Tahoe, who have mastered this over the years. These cities are larger but have similar demographics. Staff has not referred to these recommendations. Staff has spent thousands of dollars researching and hiring people to come in to run meetings. It is unconscionable. It is time to slow down and figure out a plan that makes sense for everybody.

Rebecca Urquhart/town resident: Everyone has said that we need more enforcement. She does not believe that full-time and short-term residents should be treated the same way. A resident can be talked to and is unlikely to engage in undesirable behavior night after night. If they do there are methods to address that under the law. That happens with short-term renters. She is concerned that the code offers only one remedy if there is a confirmed and proven violation. She has lived in two different neighborhoods. She or her neighbors have filed 20-25 complaints, but not one violation has been found. The Town has never found a violation since this code was adopted, outside of not having a license. A violation will never be proven and end up resulting in enforcement. She has collected recordings and data about vacation rental violations. She believes the police do not even put it into the record that they have been called. She was told that what she has collected is not evidence. The owners are almost never informed that there were issues. She filed 17 complaints about the property adjacent to her and the owners were informed only twice. We need something with teeth to it. Someone who calls multiple times should not be ignored. A point system might work. She's called the property manager without success. How do you prove that you've taken the necessary steps if the other side claims innocence? We need something more than a verified complaint that has a remedy. We need a way to actually take action; otherwise, it is business as usual for the people with vacation rentals. She would suggest having a standard, such as excessive undisputed complaints instead of proven violation. She is concerned over the discretionary language that is in the code.

Ed Peterson: He agreed with Ms. Urquhart about fines and revocation of licenses. He was supportive of issuing enforcement tickets on the spot to the violators causing the problems, similar to getting a ticket for a traffic violation. If the violations continue, the owner should be fined as well. Something needs to be done to address the issue beyond revoking the license. He thinks we need something that addresses the issue directly.

Bill Urquhart/town resident: He thought the study session was amazing today. He thought Commissioner Moon's idea of using the internet to handle communication was great. We can generate data out of it. When he was first involved with this issue he was head of an HOA with

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covenants against rentals of less than two weeks. Procedurally, it became really difficult to enforce and he reached out to the Town for help. One particular owner was telling neighbors that everybody was friends and family. He wonders if the staff will have a right to audit. As a neighbor, you have no idea who is in the property. What rules should apply to them? If you advertise that you are renting short-term should the presumption be that guests are short-term renters? He is trying to look at it from a resident's standpoint not as a theoretical exercise. He couldn't agree more with Mr. Peterson. Rolling in and revoking the license is a heavy move. If you can do fines or something smaller, then you avoid going to the top level of penalty. At the study session it was mentioned licensed vacation rentals make up 4.7% of housing units in Estes Valley. Less than 10% of noise violations were out of vacation rentals. The conclusion was that noise was a low problem for vacation rentals. On a relative basis it could be twice as high. The data does not support the conclusion, in his opinion. It may make sense to specify when the 15-day period should be applied for code violations (weeds, etc.). Most renters will only be there for 2-3 nights. A website is a step in the right direction. The neighbor has only one right currently, to make a complaint and submit evidence. They have no right to follow-up on their complaint. They aren't even a party in a continuing dispute. There is no right to appeal or to a hearing (the neighbor doesn't have the right to attend or be notified even if the rental owner must attend a hearing due to the complaint). "in theory there is no difference between theory and practice. In practice there often is." The enforcement issue is very difficult. What is evidence? What is enforcement on a practical matter? What is a foundation we can expect? What happens here will be followed by the task force on larger homes. It is disheartening that no inspection for health and safety is being recommended. For the town to issue commercial licenses without taking any effort to physically inspect even for just carbon monoxide detectors is pretty risky. He provided the case where he filed a series of complaints (two years ago) with the Town. Unknown to them a hearing had taken place in late 2013. It was determined there was no violation and no evidence was officially made by the Town (March 2014). He was told by the Town attorney they had no right of standing, right of appeal (April 2014), and the Colorado administrative procedure act does not apply.

Bob Leavitt/Carriage Hills: He looked through the database of permits and licenses and noticed that a lot of licenses do not have a local contact. How do we ensure that we do have a local contact? Many regulations depend on having a local contact. It is time to put this information online. Neighbors would be able to reach out to the owner even if the owner lives out of state. Many of the owners are oblivious that there is a problem. Most neighbors don't know who to call. When we have fire restrictions, it would be good to get that info out to everybody especially vacation renters, so they know open fires and fireworks are illegal. Not having any way to inspect homes for code compliance really will be a problem. He encouraged the Commissioners to send something to Town Board saying that we really need it.

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Johanna Darden: There are other violations that the sound ordinance does not take into consideration, e.g. bass vibrations. She hoped that something will be added to the suggestions to deal with those kinds of issues as well.

Greg Perrotto/town resident: He is the owner of four vacation rentals. He has hosted family reunions for the past eight years. He is very involved with his rentals and is concerned about the thirty-minute response time. He is 45 minutes away, but when he gets a call he responds immediately. He has a great rapport with his neighbors. He thinks something else needs to be considered for the contact person. He prefers to be completely involved in his rentals. He is concerned that some vacation rental owners will be regulated out of business. Some of the regulations are completely overboard. He thinks spot fines are hitting the nail on the head. It deals directly with the problem. Follow-through should include notification of the violation to the property owner. Signage is good. He is strict on his policies. He has not rented to people if he was concerned there could be issues. He believes these notifications should be short and sweet and clearly show that they are requirements for the Town of Estes Park. The regulations will be ignored if they take too long to read.

Seth Smith/Ponderosa Realty and Management: He is both a real estate and vacation rental manager. He talked about the GuestStream software used to manage multiple properties online that was brought up in the study session. One of the things that is lost is how adversely the cap would affect Town. We don't know how many rental properties we have now. The goal is to have compliance. He does not think the cap gets to that goal. It is arbitrary to limit something we don't have a full handle on. He doesn't believe the Planning Commission has enough information to set a cap. His business has an online database of every rental property and online marketing that shows when it is vacant. We open these properties up to crime by showing where these properties are and indicating when these properties are vacant. He is in the middle of every transaction that happens in his business (owner, guest, him). They send a four-page letter to the guests. Most don't read it. He stated the notices in the rentals should be brief, listing the most important items, making it clear that these are regulations put in place by the Town.

Jane Livingstone/town resident: This is an incredible task before the Commission. Compliance is the main issue, and it needs to be addressed with the guests that are misbehaving. If they know they are going to get a ticket or pay a fine, it matters. This is different than threatening to withhold a deposit. Her vacation rental owner group has proposed a process for enforcement and the license that is similar to the liquor license in Town. The liquor license has layers for violations and increasing fines. It is something that warrants further discussion on all sides. It is important we get this right. We had been on a path of what we could agree on. Now we are back to going back and forth on this issue. She would like to see balance and harmony come to this process. Last September, she did a calculation on the financial impact of vacation rentals in Estes Park. She used an economic study from 2011 and did some extrapolation. She figured that guests conservatively spend \$27 million in local small

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businesses. That is not counting lodging, taxes or the people who are employed to service the guests. Over-regulating and decreasing their number will hurt those small businesses. It is painful to watch them lose their small business. Think about this on a broad spectrum and think about the broad impact of how it will affect the Town now and in the future.

Holly Moore/town resident: She believes the 10% cap is not relevant to the regulation and the problems that occur in the community. It is more about creating a balance between residential and vacation accommodations. Right now that balance is beyond unhealthy. We rely heavily on the tourist dollar and are dangerously close to damaging it. Economy runs on people power. We can't attract the people who will support a year-round economy if we are expecting them to live out of a car. She is on the verge of losing her long-term rental because the owner is considering making it a vacation rental. She supported having a cap on the number of vacation home rentals. With careful and considered application of enforcement and regulation we can achieve that balance and prosper with both a year-round economy and be a prime and desirable vacation destination. We can't provide the services that people expect when they visit here if we don't have people who live here full-time.

Mary Murphy/county resident: She is a local realtor in town. This is an issue of enforcement. If we had a compliance officer that worked weekends and evenings that would solve a lot of the problems that have been discussed. This Commission is dealing with enforcement and how we are dealing with vacation rentals going to the future. She stated her main concerns are that there is too much on the plate. She does not know if there is any other action where a business or person can be disqualified in their business based on someone else's actions. Selling to a minor is something the liquor store has control over, but a vacation rental owner doesn't have control over a renter. It is appropriate to deal with that renter, but it is not fair to punish the homeowner later on down the line. Punishing the property owner for the renter's actions are two separate things.

Fred Mares/town resident: He thanked the Commissioners for their hard work on this topic. Enforcement is a big deal. If current enforcement was effective we wouldn't be talking this. A lot of issues being discussed are outside this Board's purview. At the study session, Commissioner Moon presented a website data collection and distribution system that would provide a database for everyone concerned (neighbors, owners, managers). People have been sharing what they feel is happening or their fears about what may happen. The Town doesn't have firm numbers. We are governing based on what it feels like, not to the data. Along with recommendations on code changes, he requests the Commissioners send a list of the ancillary issues to the County Commissioners and the Town Board, so everybody can understand how the pieces fit together. It can be difficult to get everybody to sit down and talk about their piece of the issue. There have been pros and cons on the cap on the number of licenses. There needs to be a defensible rational for having a limit. He's heard reasons to have and not have a limit. He believes the reason we need some kind of cap is because we don't know what is going on. Vacation rentals is an industry that is growing nationwide in double digits. Because

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the Town and County have chosen to not enforce anything on the books, we have no idea of what has been going on in the past. We need some kind of limit until we know what we are really dealing with. Mr. Mares recommended a time period of more than a year to reevaluate the cap, if one is put into place. All of what is being proposed is not in place yet. We do not know in a year where that number should be moved to. We need to collect data and start assessing where we are and where we want to be. He suggested moving it to two or three years between assessments. He agreed with Attorney White's comments. He is concerned with attaching a percentage to the number of dwellings in town, and would recommend using a hard number. He thought using 500 for the cap is a good place to start, but may be too low. If there is a limit, it creates an incentive to be license and stayed licensed. This industry will start to have a reason to be self-policing when they haven't been. He questioned how effective the new enforcement process would be, and what impacts there would be to workforce housing. What do you say to a family looking for a nice neighborhood for raising kids that doesn't compete with tourism? We have no control over what goes on in our neighborhoods. We are having to build more housing for workforce. We shouldn't be taking residences away on one hand and paying to replace them on the other.

Kenneth Arnold/town resident: He is on the Estes Area Lodging Association board. They are very inclusive with all businesses including vacation rentals. As we grow this is an important issue. He believes communication with his guests coming in is so important. He is his own code enforcement officer. It is important that we educate these people about the rules and enforce those rules. If you don't enforce the rules, it creates upset guests who don't understand why someone is being allowed to break those rules. We need code enforcement & fines with teeth. His main concern is noise. If one of the neighboring properties is noisy he has numbers to call and they would respond because they also don't want a noisy party disturbing the rest of their guests. He wants to have important rules and have them enforced. Loosen up on the rules that aren't so important.

Jenny Hutchinson/county resident: She was forced into long-term rental after losing her home in 2008. She used to live in a historic neighborhood near Spruce and Lawn Lane with 10 properties that have all become vacation rentals now. It is a form of abuse when you have vacation rentals next door to you that aren't in compliance. You don't know how it feels until it happens to you. She read a list of posts on the Estes Park Housing Facebook page. The posts were from a span of less than a week. The posts are all listings of people that are looking for homes/rentals in Estes Park and their difficulty in finding such.

Public comment closed. Chair Hull called for a five-minute recess.

Staff and Commission Discussion
None.

RECORD OF PROCEEDINGS

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It was moved and seconded (Hills/White) to recommend approval of the code amendments as presented to the Estes Park Town Board of Trustees and the Larimer County Board of County Commissioners with the findings that the amendments comply with the EVDC standard for review for text amendments, and the motion passed unanimously with one absent.

There was discussion by the Commissioners on whether we have the necessary data to impose a fixed number as a cap. The argument was that we needed to set the precedent today that there will be a cap. The current suggestion is far enough ahead that it does not impose on business opportunities while we gather data for a more accurate number.

It was moved and seconded (Moon/Hills) to recommend approval to the Estes Park Town Board of Trustees and the Larimer County Board of County Commissioners to establish a maximum limit of 700 on the annual operating license/permits issued for vacation rentals in the Estes Valley, and to recommend that the Planning Commission revisit the issue in a year to recommend changes to the cap, and the motion passed 5-1 with one absent. Commissioner Murphree voted against the motion.

There was discussion by the Commission on the issue of compliance inspections. They could recommend the Town Board seriously consider compliance inspections (for safety, fire extinguishers, carbon monoxide detectors, smoke detectors, bedrooms). Attorney White stated the current proposal for inspections is a local amendment to the International Property Maintenance Code, created at the direction of the Town Board. It was stated that the Board of Appeals is recommending not to include the vacation rental provisions. It would be appropriate that this Commission convey their desire through their chair that it be included in the adoption of the International Building Codes before the March 22nd meeting, as adoption of the building codes is on the agenda at that time.

It was moved and seconded (Moon/White) to authorize the chairperson of the Planning Commission to convey to the Town Board the recommendation of the Planning Commission that the inspection language in the International Property Maintenance Code be included as a local amendment to ensure the inspection of vacation rentals for basic life safety requirements, and the motion passed unanimously with one absent.

Commissioner Schneider stated that public comment indicated that we needed something to punish the renter. We can't just punish the owners for what occurs on a nightly basis.

Attorney White stated that was already present in the code through noise and trespassing ordinances. The thing to remember is that enforcement is not easy. When you have enforcement you have to be willing to go to court. Everybody has the right to contest the enforcement action. You have the right to go all the way through the system before you are required to pay the fine. The trespass ordinance is the easy one. The noise ordinance has

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some problems and is being redrafted right now. He reminded the Commission that with the Town there is limited jurisdiction with the Town Municipal Court. If they live out of state, they don't have to do anything with the ticket. If it is a local person we have some ability, but what can actually be done is limited. Larimer County is even more limited, as it doesn't have any powers with a court. Enforcement is a complex issue. He hopes staff for both the County and the Town can focus on enforcement and have a positive impact.

Discussion included but was not limited to:

- Commissioner White stated that some property owners are already addressing the issue of enforcement on the renters by including their own punishments for violations within the rental agreements providing their own self-policing.
- Commissioner Murphree recommended that a list be created of individuals who have violated rental agreements in the past that all vacation rental owners can refer to and prevent those problem renters from renting again in Estes Park.
- Comment from the audience was that vacation rental owners need help from the police. If they receive a ticket from the police, most renters will pay the fine and alter their behavior. They don't have to be told that they don't have to pay the fine if they live out of state.

Planner Kleisler stated that there was one request that had not be discussed by the Commission today. It is more of an administrative item. Some individuals have requested that there be an online map with contact information for rentals and license number. It has been requested numerous times. There have also been concerns for safety in having that information be available, even though there are websites out there that do that now. The Commissioners could recommend the Town Board direct the staff to create such an item. It is not something that staff would do without such direction given the concerns expressed.

Discussion included but was not limited to:

We don't yet know the issues with releasing information online. There are a lot of privacy concerns. This goes back to the comments that this is more criminal than what we expect from a sex offender. Our intent is not to punish vacation home owners.

There is no way the Commissioners can address every issue related to vacation rentals. We need to first focus on the basics. If we do this correctly, Estes Park could be the flagship of how to handle vacation rentals for Colorado. The Commissioners feel their hands are somewhat tied until recommendations come back from the Larimer County task force.

The Board hopes that the public expresses their concerns and participates with the Larimer County task force. April 4th is the application deadline to apply to be on the task force.

6. REPORTS

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- A. Director Chilcott reported that the Estes Valley Board of Adjustment approved the height, river setback, and exterior lighting variance requests for the Rocky Mountain Performing Arts Center on February 22nd, 2016.
- B. Director Chilcott reported that CBO Birchfield gave an update to the Town Board of Trustees regarding the 2015 International Building Codes with local amendments.
- C. Director Chilcott reported that the Larimer County Board of County Commissioners are in the process of creating a vacation home rental task force. They will be conducting a joint teleconference call in mid-April to appoint that task force.
- D. Director Chilcott reported on the following flood recovery and mitigation updates:
- a. Environmental Planner Kurtz reported that a public meeting was held on March 4th, which was well attended and is available for viewing online at www.estes.org/floodrecovery. More outreach meetings and materials are planned.
 - b. Environmental Planner Kurtz reported that the Hydroplant Bank Stabilization project has completed phase I with a focus on fish habitat, healthy stream and bank stabilization.
 - c. Environmental Planner Kurtz reported the Town is starting a hydrology study of the Big Thompson River, Fall River, Black Canyon Creek and Dry Gulch and hoping for results in June.
 - d. Environmental Planner Kurtz reported the United States Army Corps of Engineers/Silver Jackets program will be conducting a study relating to flood proofing in the downtown area. This is at no cost to the Town.
 - e. Director Chilcott reported this is Planner Kleisler's last Planning Commission meeting. He is leaving his position here to work as a Planner for the City of Loveland. His last day is March 31st. We will miss him very much, and wish him well.

There being no further business, Chair Hull adjourned the meeting at 4:37 p.m.

Betty Hull, Chair

Victoria Webb, Recording Secretary



Voeks Boundary Line Adjustment and Re-zoning

Estes Park Community Development Department, Planning Division

Room 230, Town Hall, 170 MacGregor Avenue
PO Box 1200, Estes Park, CO 80517
Phone: 970-577-3721 Fax: 970-586-0249 www.estes.org

ESTES VALLEY PLANNING COMMISSION

MEETING DATE & LOCATION: April 19, 2016, 1:30 PM; Board Room, Town Hall, 170 MacGregor Avenue

APPLICANT REQUEST: This is a Boundary Line Adjustment application and Re-zoning request for two parcels located north of Mary's Lake Road. This request would adjust the common property line between two parcels as well as re-zone both properties to E-Estate.

STAFF OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC) and Estes Valley Comprehensive Plan; and
2. Provide a recommendation to the Planning Commission

LOCATION: Located at the northwest intersection of Mary's Lake Road and Peak View Drive, within the unincorporated Estes Valley

OWNER/APPLICANT: George H Voeks Trust, Stephanie Rauk, Trustree

CONSULTANT/ENGINEER: Primary Contact: Joe Coop, Van Horn Engineering

STAFF CONTACT: Audem Gonzales, Planner I

PROJECT DESCRIPTION/BACKGROUND: This report describes a request to adjust a boundary line between two parcels and re-zone both to E-Estate. The end result will be two legal lots both entirely zoned E-Estate.

In August 2010, a Separate Lot Determination was made by Community Development Staff concluding that the north parcel was not considered a legal lot for the purposes of development. In August of 2015, a second determination request was made by the applicant and again staff concluded the north parcel was not a legal lot. The applicant appealed this determination. The appeal was heard at the December 21, 2015 Board of County Commissioners meeting. The Board asked the applicant to come forward with the appropriate applications to accomplish their goal of creating two equally sized lots. It was implied if they did so, then the commission would be inclined to uphold the appeal which would make the north parcel a legal lot and eligible for a Boundary Line Adjustment.

If the appeal is not upheld on May 16, 2016, the parcels will not be eligible for a Boundary Line Adjustment.

Subdivision Review (§3.9): The purpose of the subdivision review process is to ensure compliance with the subdivision standards and provisions of this Code,

while encouraging quality development in the Estes Valley reflective of the goals, policies and objectives found in the Comprehensive Plan.

1. Boundary Line Adjustment applications are considered a Minor Subdivision for review purposes. **Decision Making Body:** Board of County Commissioners
2. Code Amendment (Re-zoning) **Decision Making Body:** Board of County Commissioners

Minor Modification (§3.7): The EVPC may grant a Minor Modification up to a maximum of 25% from certain zone district standards, provided that the Commission finds that such a modification advances the goals and purposes of the EVDC, and either results in less visual impact or more effective environmental or open space preservation, or relieves practical difficulties in developing a site.

1. **Decision Making Body:** Estes Valley Planning Commission

SITE DATA TABLE:

Surveyor: Van Horn Engineering (Lonnie Sheldon)	
Parcel Number: 34022-00-053 & 34022-00-066	Development Area: Approx. 0.875 acres
Existing Land Use: Undeveloped	Proposed Land Use: Single-family lots
Zoning Designation: E Estate, 0.5-acre minimum lot size) and E-1, 1-acre minimum	Proposed Zoning: E Estate, 0.437 acres for each new lot
Adjacent Zoning:	
East: E Estate	North: E Estate
West: RE Rural Estate	South: A Accommodations
Adjacent Land Uses:	
East: Single-family residential	North: Single-family residential
West: Single-family residential	South: Undeveloped
Services:	
Water: None, proposed well	Sewer: None, proposed UTSD

PUBLIC COMMENTS: In accordance with the notice requirements in the Estes Valley Development Code, legal notices were published in the Estes Park Trail-Gazette. Typical mailings include a 500-foot radius.

As of April 5, 2016, no formal written comments have been received for this application package. Written comments will be posted to www.estes.org/currentapplications if received after April 5th and summarized in the staff presentation.

REVIEWING AGENCY COMMENTS: This request has been submitted to reviewing agency staff for consideration and comment. No significant issues or



concerns have been expressed by reviewing agencies. Memos and emails are included as part of this staff report.

- **Estes Valley Fire Protection District** memo dated March 1, 2016
- **Upper Thompson Sanitation District** memo dated March 2, 2016

STAFF REVIEW:

Present Situation: The subject properties are currently not developed. The north parcel is not designated as a legal lot currently and cannot be developed. The applicant owns both parcels. The north parcel is zoned E-Estate and the south parcel is zoned E-1 Estate.

There is an existing private drive, Little Prospect Drive, at the north end of the subject area.

A Town of Estes Park transmission line and cable line run north of the subject parcels. There is an existing designated right of way easement for light and power across the properties. There is an existing 15' sewer easement on the south parcel.

The private water system for Little Prospect Estates is currently over capacity and not available to connect into due to outdated pipes.

Proposal: Adjust the boundary lines between the two parcels to create two new legal lots, each at 0.437 acres in size. Re-zone both newly configured lots to E-Estate.

The proposal includes granting direct access to the two new lots via Little Prospect Drive. This driveway is accessed from Peak View Drive.

Since the private water system is unavailable to connect into, the options would be to tie into the Town of Estes Park water system, which would involve extending water mains and procuring easements. The other option would be to drill wells, which staff would be in support of since the lots cannot tie into the system they are currently part of.

Subdivision: §3.9.E: All subdivisions must demonstrate compliance with the standards and criteria set forth in Chapter 10 “Subdivision Standards,” and all other applicable provisions of this Code.

Section 10.5.B.1 *Compliance with Zoning Requirements* requires subdivisions comply with Zoning Development Standards outlined in Chapter 4.

Residential Zoning Districts: Section 4.3.C.4 Table 4-2 Base Densities and Dimensional Standards Residential Zoning Districts requires certain minimum lot standards for any lot within a specific district. Specific standards for the E district include:

- Minimum lot area of .5 acres.



- Minimum front setback 15 feet, side 10 feet, rear 15 feet.

Currently, the two separate parcels do not meet EVDC requirements for .5 acres and 1 acre per their current zoning. With the re-zoning request, the resulting lots would not be in conformance with lot area requirements for the E *Estate* district. Both lots would be 0.437 acres in size. Although not Code compliant, the lots would move further into conformance with the various codes.

Grading and Site Disturbance Standards: The applicant asked for a waiver from establishing limits of disturbance and vegetation protection standards. Staff agrees with this request. Creating a limit of disturbance on the Preliminary Plat would greatly limit the developable area of proposed Lot 2.

Utility Easements: The existing sewer easement on proposed Lot 2 shall remain to be dedicated on the Final Plat. The existing general easement for light and power shall also remain with the Final Plat. Although it is not graphically depicted, it is included as a general note on the plat. New public utility easements are dedicated with the Final Plat.

Access: The existing 15' access easement for Little Prospect Road shall remain on the Final Plat.

Driveway Agreements: Staff is requiring a note to be placed on the plat map that the owner of either lot shall abide by any local road association or homeowner association for maintenance of Little Prospect Drive.

Re-zoning: This is essentially a corrective re-zoning request. The south parcel was zoned as E-1 *Estate* during the 2000 valley-wide re-zoning, which is not consistent with the remainder of the subdivision. It was zoned to be a non-conforming lot in regards to size. This re-zoning request would also avoid split zoning the two lots if the Boundary Line Adjustment is approved. E *Estate* zoning is more in line with the proposed lot sizes vs. an E-1 (1-acre minimum) zoning.

Comprehensive Plan: The site is located within the Beaver Point planning area, which includes a mix of single-family development, accommodation designations and commercial land uses. The Future Land Use Plan designates this area as E-1 *Estate* which has a 1-acre minimum.

Staff has evaluated the proposed development for compliance with Community-Wide Policies set forth in Chapter Six of the comprehensive plan and has found no issues or conflict with this proposal.

Minor Modification. The applicant has requested the following Minor Modification:

Standard	EVDC Section	Decision-Making Body
Reduced minimum lot size for the E-Estate Zone District (.5-acre minimum, proposed .437-acres)	4.3.4, Table 4-2	Planning Commission

EVDC Section 4.3.4, Table 4-2 requires the following:

Minimum Lot Area: E-Estate Zone District requires .5-acres

The intent of the E zone district standards are to establish moderately dense single-family residential uses in areas that are convenient to services and the key highway corridors. District regulations permit single-family residential uses at densities of 2 dwelling units per acre, with a minimum lot area of one-half acre.

The proposed Boundary Line Adjustment adjusts the boundary between two parcels with the result being two lots, each of .437-acres in size. Currently one parcel is 0.62-acres and the other is 0.255-acres. Both parcels do not meet the minimum lot size requirement for their zone districts. This Boundary Line Adjustment, Re-zoning request and Minor Modification would result in two lots zoned E-Estate with both parcels equaling 0.437-acres in size.

Planning Commission may grant Minor Modifications up to 25% from general development and zone district standards, provided that the EVPC finds that such modification advances the goals and purposes of this Code and either results in less visual impact or more effective environmental or open space preservation, or relieves practical difficulties in developing a site.

Staff finds that the intent in adjusting the boundary line would result in the smaller parcel coming closer into conformance with the zone district standards. This modification request would result in two legal non-conforming lots as both would not meet the minimum lot area standards. The level of non-conformity for the proposed lots is far less of a deviation from lot dimension standards than the current situation.

STAFF FINDINGS:

Based on the foregoing, staff finds:

1. This Boundary Line Adjustment application and Re-zoning request do not fall within the parameters of staff level review, and will be reviewed by the Estes Valley Planning Commission. The Planning Commission is the Recommending Body, the Board of County Commissioners is the Decision-Making Body.
2. The Minor Modification request does not fall within the parameters or staff level review, and will be reviewed by the Planning Commission. The Planning Commission is the Decision-Making Body.
3. This request has been submitted to all applicable reviewing agency staff for consideration and comment. All letters and memos submitted by reviewing staff, referred to in this staff report, are incorporated as staff findings.
4. Adjusting the boundary line and changing the configuration of the parcels would not compromise the intent of the original subdivision. It would bring the two parcels into further conformance in regards to lot area dimensions.
5. The re-zoning would reflect the new lot configuration.
6. Utility easements on the newly created lots will be recorded with the final plat.
7. Existing easements will remain to be dedicated on the final plat.



RECOMMENDATION 1: Staff recommends **APPROVAL** of the proposed Re-zoning.

No conditions of approval.

SAMPLE MOTIONS: I move to recommend **APPROVAL** (or denial) of the Voeks Re-zoning, as described in the staff report, with the findings and conditions recommended by staff.

(This is a Planning Commission recommendation to the Board of County Commissioners).

RECOMMENDATION 2: Staff recommends **APPROVAL** of the proposed Minor Modification **CONDITIONAL TO:**

1. Board of County Commissioners granting the Separate Lot Determination Appeal, therefore designating the north parcel a legal lot making it eligible for a Boundary Line Adjustment
2. Approval of Boundary Line Adjustment

SAMPLE MOTIONS: I move to **APPROVE** (or deny) the Voeks Minor Modification, as described in the staff report, with the findings and conditions recommended by staff.

(This is a Planning Commission action)

RECOMMENDATION 3: Staff recommends **APPROVAL** of the proposed Boundary Line Adjustment **CONDITIONAL TO:**

1. Board of County Commissioners granting the Separate Lot Determination Appeal, therefore designating the north parcel a legal lot making it eligible for a Boundary Line Adjustment
2. Approval of the Re-zoning request from E-1 to E-Estate
3. Label setbacks on Preliminary Plat
4. Add note to plat map that owner of Lot 1 or Lot 2 shall abide by any local road association or homeowners association maintenance regulations for Little Prospect Drive.

SAMPLE MOTIONS: I move to recommend **APPROVAL** (or denial) of the Voeks Boundary Line Adjustment, as described in the staff report, with the findings and conditions recommended by staff.

(This is a Planning Commission recommendation to the Board of County Commissioners).

NOTICE: Within sixty (60) days of the Board’s approval of the plat application, the developer shall submit the plat for recording. If the plat is not submitted for recording within this sixty-day time period, the approval shall automatically lapse and be null and void.

Attachments:

1. Vicinity Map
2. Zoning Map
3. Reviewing Agency Comments
4. Statement of Intent
5. Application
6. Preliminary Plat





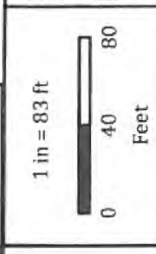
ESTES PARK
COLORADO

Town of Estes Park

Community Development

Vicinity Map

Project Name: Voeks Boundary Line Adjustment and Re-zoning
Project Description: Adjust the boundary line between two parcels
Petitioner(s): George H Voeks Trust, Stephanie Rauk Trustee

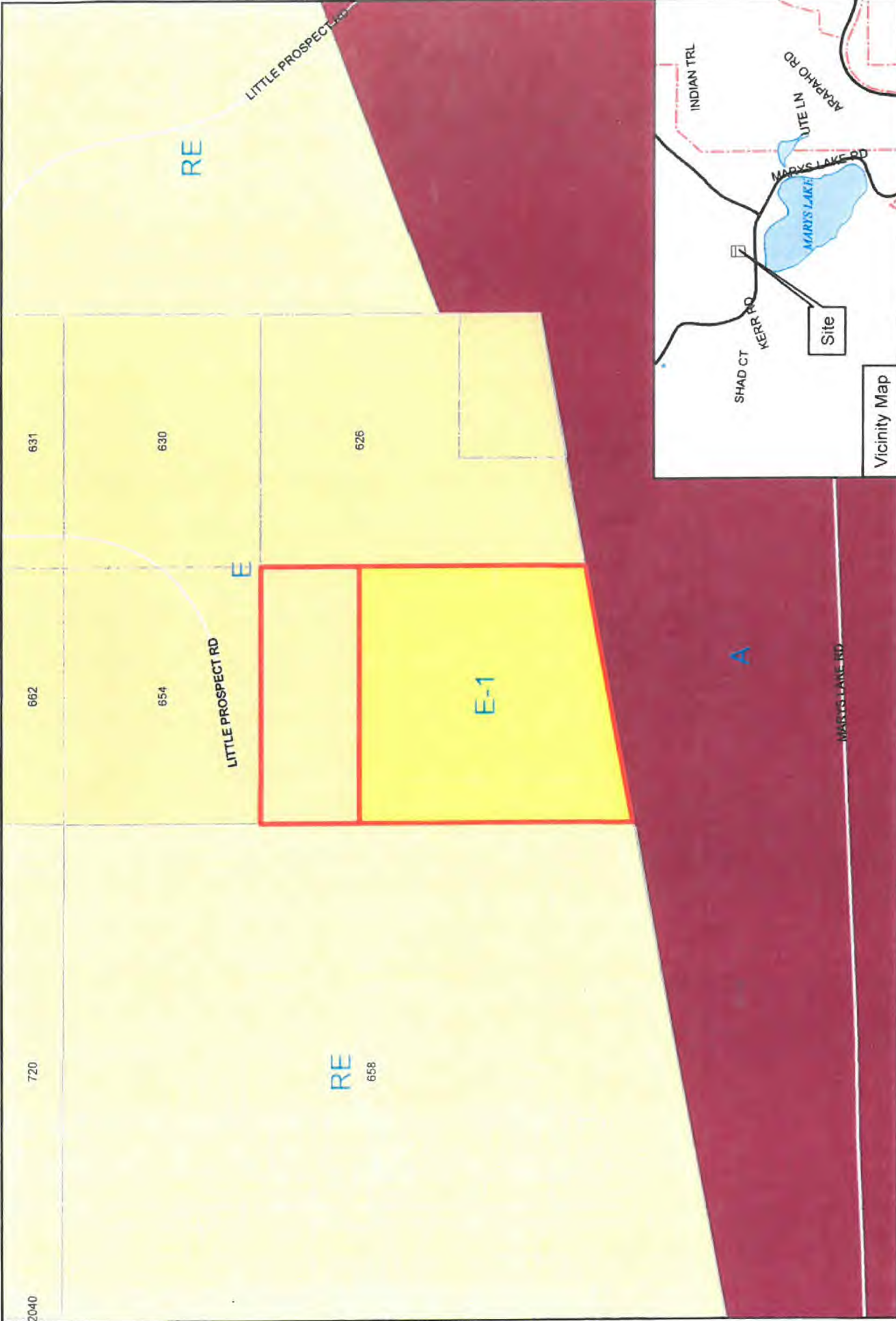


Printed: 4/5/2016
 Created By: Audom Gonzales

Voeks properties
 Parcels-Larmer
 Town Boundary



Vicinity Map



Town of Estes Park
 Community Development
 Zoning Map

Project Name: Voeks Boundary Line Adjustment and Re-zoning
Project Description: Adjust the boundary line between two parcels
Petitioner(s): George H Voeks Trust, Stephanie Rauk Trustee

1 in = 83 ft
 0 40 80
 Feet

Printed: 4/6/2016
 Created By: Audcm Gonzales



Voeks properties
 Parcels-Larimer





ESTES VALLEY FIRE PROTECTION DISTRICT

Serving the Residents and Visitors of the Estes Valley with Superior Fire and Safety Services

PLAN REVIEW COMMENTS

Date: March 1, 2016

Project Identification: Voeks Rezoning & Boundary

Location: TBD Little Prospect Rd.

Referral: Voeks Rezoning & Boundary

The Estes Valley Fire Protection District has reviewed the submitted material describing the proposed project referenced above, and has no comments or concerns regarding those plans. However, when future developments and / or changes are made to this area, the Fire District shall require new plans for review.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009 Edition) and the Town of Estes Park Codes and Standards.

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Estes Valley Fire Protection District if you have any questions please feel free to contact me.

Sincerely,

Marc W. Robinson
Fire Marshal
970-577-3689
mrobinson@estesvalleyfire.org

STATEMENT OF INTENT
VOEKS BOUNDARY LINE ADJUSTMENT
February 24, 2016



Boundary Line Adjustment and Rezoning Request for Parcels #34022-00-053(North Lot) and #34022-00-066 (South Lot) Located in Lot 3 of Section 2, Township 4 North, Range 73 West of the 6th P.M., County of Larimer, State of Colorado

The George H. Voeks Trust owns the two properties listed above which are more particularly described on the accompanying preliminary and final plats. The two lots are part of an unrecorded subdivision by the name of Little Prospect Estates. The total existing area is 0.875 acres. The existing zoning is E-Estate for the northern lot and E1-Estate for the southern lot, thus the need for a rezoning request. By moving the lot line it would otherwise create a split zoning on both lots. The lots are vacant and are proposed to be single family residential lots. The purpose of this plat is to adjust the boundary line between the two properties such that the new lots will be of equal size (0.437 acres). The smaller northern lot is not consistent with the neighborhood, however by adjusting the line with the southern lot, they will both be of similar size to the rest of the lots in the Little Prospect Estates neighborhood and therefore more buildable.

The smaller northern lot is currently in an appeal to the Estes Valley Planning Department for a Legal Lot Determination. The Estes Valley Planning Department determined the northern lot was not a legal buildable lot, however in an appeal to the Board of County Commissioners, the Commissioners suggested to the Trust that they would determine it a legal buildable lot if the Trust adjusted the two lots to be of equal size. The Board recommended filing a Boundary Line Adjustment and the applicant agreed to pursue the BLA in order to get before the Board with a BLA at the same time as the Legal Lot Appeal so they could be voted on concurrently. This BLA was initially proposed by the Voeks Trust at the onset of this project as the best solution to clean up the lots.

Regarding the rezoning request, the southern lot needs to be rezoned to E-Estate to avoid a split zoning on both lots. The lots should both have been zoned E-Estate in the Estes Valley Region's 2000 rezoning effort, however the larger lot (at 0.62 acres) was zoned to be non-conforming when it was zoned E-1 (1 acre). It should have been zoned E-Estate (0.5 acre) to be consistent with the rest of the lots in Little Prospect Estates. Essentially this is a corrective zoning. The zoning fee is \$4,000 and the Trust would like to request a waiver or a reduction in the fee because this is really a correction in the zoning.

The existing utilities and access for the properties are as follows:

- A private water system for Little Prospect Estates is currently over capacity and is not available to connect to due to outdated pipes. They are connected to Prospect Mountain Water Association which is currently in bankruptcy. This water district is currently trying to assess an upgrade to the entire system including Little Prospect Estates because the system is outdated, leaking and in need of

replacement. It is the intent to be a part of this effort, however if the timeframe for the upgrade is too far out, the owners would not want to wait. It is possible to connect to Town of Estes Park Water via two possible routes, one to the east and one to the west. Both of them require easements from neighboring properties and that isn't a certainty. If the easements cannot be procured, then these lots, being created pre-Senate Bill 35 in 1972, have rights to drill a well.

- There is a sewer line passing through the eastern property that will be connected to for both future lots through easements dedicated on this plat.
- A Town of Estes Park transmission line and cable line cross north of the properties. There is a general easement to access the utility lines in Book 1148 Page 353.
- A shared private road (Little Prospect Rd.) from Mary's Lake Rd to Peak View Dr. forks to provide access to both properties. Each lot will have direct access to this shared private road.

Neither of the properties lay within a Mapped Estes Valley hazard area.

The proposed property configuration follows the intent of the code by making the lots more uniform in size, therefore more buildable, each with frontage to an existing private drive. Because building permit site plan review is very comprehensive in the Estes Valley, no building envelopes are being designated. The standard zoning setbacks for E-Estate are proposed

Due to the relatively slight change this project proposes, i.e. no additional lots, no additional dwelling units, and no driveway re-alignment, etc., therefore no increase in the intensity of use, we are asking that the following Estes Valley Development Code submittal requirements be waived:

- Geologic Hazard Mitigation Plan (no development is proposed within the designated steep areas)
- Wildlife Conservation Plan (no development is planned within the riparian areas)
- Establishment of limits of disturbance and vegetation protection
- Paving roads, creating sidewalks, pedestrian connections and trails
- Transportation impact analysis



**ESTES VALLEY
DEVELOPMENT REVIEW APPLICATION**

Submitted Date:

Type of Application:

<input type="checkbox"/> Development Plan	<input checked="" type="checkbox"/> Boundary Line Adjustment	Condominium-Map
<input type="checkbox"/> Special Review	<input type="checkbox"/> ROW or Easement Vacation	<input type="checkbox"/> Preliminary Map
<input checked="" type="checkbox"/> Rezoning Petition	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> Final Map
<input type="checkbox"/> Preliminary Subdivision Plat	<input type="checkbox"/> Time Extension	<input type="checkbox"/> Supplemental Map 4/2016
<input type="checkbox"/> Final Subdivision Plat	<input type="checkbox"/> Other: Please specify	
<input type="checkbox"/> Minor Subdivision Plat		
<input type="checkbox"/> Amended Plat		



General Information

Project Name Voeks Boundary Line Adjustment

Project Description Adjust a lot line between two lots

Project Address 737 Little Prospect Rd.

Legal Description Metes & Bounds - See attached plat

Parcel ID # 34022-00-053 + 34022-00-066

Site Information

Lot Size 0.875 acres Area of Disturbance in Acres N/A

Existing Land Use Vacant

Proposed Land Use Single Family Residential

Existing Water Service Town Well None Other (specify)

Proposed Water Service Town Well None Other (specify)

Existing Sanitary Sewer Service EPSD UTSD Septic None

Proposed Sanitary Sewer Service EPSD UTSD Septic

Is a sewer lift station required? Yes No

Existing Gas Service Xcel Other None

Existing Zoning E and E-1 Proposed Zoning E

Site Access (if not on public street) South of 654 Little Prospect Rd.

Are there wetlands on the site? Yes No *see a attached letter*

Site staking must be completed at the time application is submitted. Complete? Yes No

Primary Contact Information

Name of Primary Contact Person Joe Coop

Complete Mailing Address 1043 Fish Creek Ad, Estes Park CO 80517

Primary Contact Person is Owner Applicant Consultant/Engineer

Attachments

Application fee

Statement of intent

3 copies (folded) of plat or plan

11" X 17" reduced copy of plat or plan

Digital Copies of plats/plans in TIFF or PDF format emailed to planning@estes.org

Please review the Estes Valley Development Code Appendix B for additional submittal requirements, which may include ISO calculations, drainage report, traffic impact analysis, geologic hazard mitigation report, wildfire hazard mitigation report, wetlands report, and/or other additional information.

Contact Information

Record Owner(s) George H. Voeks Trust, Stephanie Rauk, Trustee
Mailing Address P.O. Box 4233, Estes Park, CO 80517
Phone 586-8073
Cell Phone _____
Fax _____
Email _____

Applicant Same as owner

Mailing Address _____
Phone _____
Cell Phone _____
Fax _____
Email _____

Consultant/Engineer Van Horn Engineering, 1/2 Joe Coop
Mailing Address 1045 Fish Creek Rd, Estes Park, CO 80517
Phone 970-586-9388
Cell Phone 970-443-8210
Fax _____
Email joevh@airbits.com

APPLICATION FEES

For development within the Estes Valley Planning Area, both inside and outside Town limits

See the fee schedule included in your application packet or view the fee schedule online at:

www.estes.org/ComDev/Schedules&Fees/PlanningApplicationFeeSchedule.pdf

All requests for refunds must be made in writing. All fees are due at the time of submittal.

MINERAL RIGHT CERTIFICATION

Article 65.5 of Title 24 of the Colorado Revised Statutes requires applicants for Development Plans, Special Reviews, Rezoning, Preliminary and Final Subdivision Plats, Minor Subdivision Plats if creating a new lot, and Preliminary and Final Condominium Maps to provide notice of the application and initial public hearing to all mineral estate owners where the surface estate and the mineral estate have been severed. This notice must be given 30 days prior to the first hearing on an application for development and meet the statutory requirements.

I hereby certify that the provisions of Section 24-65.5-103 CRS have been met.

Names:

Record Owner Stephanie Rauk PLEASE PRINT

Applicant Stephanie Rauk PLEASE PRINT

Signatures:

Record Owner Stephanie Rauk

Date 2/24/16

Applicant Stephanie Rauk

Date 2/24/16

APPLICANT CERTIFICATION

- ▶ I hereby certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that in filing the application I am acting with the knowledge and consent of the owners of the property.
- ▶ In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Estes Valley Development Code (EVDC).
- ▶ I acknowledge that I have obtained or have access to the EVDC, and that, prior to filing this application, I have had the opportunity to consult the relevant provisions governing the processing of and decision on the application. The Estes Valley Development Code is available online at:
<http://www.estes.org/ComDev/DevCode>
- ▶ I understand that acceptance of this application by the Town of Estes Park for filing and receipt of the application fee by the Town does not necessarily mean that the application is complete under the applicable requirements of the EVDC.
- ▶ I understand that this proposal may be delayed in processing by a month or more if the information provided is incomplete, inaccurate, or submitted after the deadline date.
- ▶ I understand that a resubmittal fee will be charged if my application is incomplete.
- ▶ The Community Development Department will notify the applicant in writing of the date on which the application is determined to be complete.
- ▶ I grant permission for Town of Estes Park Employees and Planning Commissioners with proper identification access to my property during the review of this application.
- ▶ I acknowledge that I have received the Estes Valley Development Review Application Schedule and that failure to meet the deadlines shown on said schedule may result in my application or the approval of my application becoming null and void. I understand that full fees will be charged for the resubmittal of an application that has become null and void.

Names:

Record Owner PLEASE PRINT: Stephanie Rauk

Applicant PLEASE PRINT: Stephanie Rauk

Signatures:

Record Owner Stephanie Rauk

Date 2/24/16

Applicant Stephanie Rauk

Date 2/24/16



P.O. Box 568 • Estes Park, CO 80517
Ph: 970-586-4544 • Fax: 970-586-1049
www.utsd.org

March 2, 2016

Audem Gonzales Planner I
Town of Estes Park
P.O. Box 1200
Estes Park, CO 80517

Re: Preliminary Amended Plat
Parcel 3402200066
Voeks Property

Dear Audem:

The Upper Thompson Sanitation District submits the following comments for the above referenced property:

1. The District has an existing dedicated 15 foot easement on the southeast portion of proposed Lot 2.

If you have any questions or need further assistance, please do not hesitate to contact me;

Respectfully,

Todd Krula
Lines Superintendent

Owner	Owner II	Address	City	ST	Zip
LEON & MARY KEMPER		658 LITTLE PROSPECT RD	ESTES PARK	CO	80517
JANE FOX		654 LITTLE PROSPECT RD	ESTES PARK	CO	80517
GEORGE VOEKS		PO BOX 4233	ESTES PARK	CO	80517
MICHAEL & CHARLEE SCHAFMAN		670 LITTLE PROSPECT RD	ESTES PARK	CO	80517
JODI & JOHN DINSMOOR		9057 E MISSISSIPPI AVE #2-103	DENVER	CO	80247
THOMAS FRIEHE		4957 S 174TH AVE	OMAHA	NE	68135
CHERYL CARTER		662 LITTLE PROSPECT RD	ESTES PARK	CO	80517
WILLIAM & VICTORIA HOULEHAN		330 W 47TH ST #203	KANSAS CITY	MO	64112
IVAN & VIRGINIA WILKINSON		667 LITTLE PROSPECT RD	ESTES PARK	CO	80517
ALBERT & JULENE ZANDER		1895 CHEROKEE DR	ESTES PARK	CO	80517
VINCENT & CYNTHIA TRADY		7324 KINGSRIDGE RD	OKLAHOMA CITY	OK	73132
MARY WALLS		631 LITTLE PROSPECT RD	ESTES PARK	CO	80517
KYLE & AMANDA ROCKERS		435 N ROOSEVELT ST	WICHITA	KS	67208
MICHELLE & BRIAN HOLAWAY		647 LITTLE PROSPECT RD	ESTES PARK	CO	80517

VOEKS BOUNDARY LINE ADJUSTMENT
A PORTION OF LOT 3, SECTION 2, TOWNSHIP 4 NORTH,
RANGE 73 WEST OF THE 6TH P.M., COUNTY OF LARIMER,
STATE OF COLORADO



CERTIFICATION OF OWNERSHIP AND DEDICATION.
 KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, BEING THE OWNERS OF THAT PART OF LOT 3, OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 73 WEST OF THE 6TH P.M., COUNTY OF LARIMER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT:

PARCEL 1:
 BEGINNING AT A POINT ON THE EAST LINE OF LOT 3, SECTION 2, TOWNSHIP 4 NORTH, RANGE 73 WEST OF THE 6TH P.M., FROM WHICH THE METEER-CORNER CORNER OF SAID LOT 3 BEARS NORTH 00°00' EAST, A DISTANCE OF 917.0 FEET; THENCE SOUTH 89°50' WEST, A DISTANCE OF 163.73 FEET; THENCE NORTH 89°50' WEST, A DISTANCE OF 163.73 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:
 TRACT OF LAND LOCATED IN LOT 3, SECTION 2, TWP. 4N., R. 73W., CO. LARIMER, COLORADO BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 3, AS MONUMENTED BY A 6.00\"/>

STEPHANE HALL, TRUSTEE, CHURCH H. VOEKS TRUST
 STATE OF COLORADO)
 COUNTY OF LARIMER)
 THE FOREGOING INSTRUMENT HAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2016 BY STEPHANE HALL
 MY COMMISSION EXPIRES: _____
 WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

 COUNTY OF LARIMER, COLORADO

LARIMER COUNTY COMMISSIONERS' APPROVAL
 APPROVED BY THE LARIMER COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ 2016. ALL REQUIREMENTS ARE HEREBY ACCORDED ON BEHALF OF THE PUBLIC. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE OF RESPONSIBILITY BY THE COUNTY FOR CONSTRUCTION, REPAIR OR MAINTENANCE OF ANY STREETS, HIGHWAYS, ALLEYS, BRIDGES, TUNNELS OR ANY OTHER IMPROVEMENTS RESPONSIBLE ON THIS AMENDED PLAT.

CHIEF CLERK OF THE BOARD

APPROVAL OF SURVEY PLAT
 THIS PLAT HAS BEEN REVIEWED AND IS HEREBY APPROVED AS TO FORM AS COMPLYING WITH ALL CURRENT SURVEY REQUIREMENTS OF LARIMER COUNTY AND OF STATE STATUTES AND REGULATIONS. THE SURVEYOR HAS REVIEWED THE PLAT FOR COMPLIANCE WITH ALL CURRENT SURVEY REQUIREMENTS, MAP A RELEASE ON BEHALF OF THE SURVEYOR AND HIS SURVEYOR COMPANY CONCERNING ANY NON-COMPLIANCE OF THE PLAT WITH CURRENT SURVEY REQUIREMENTS.
 DATE: _____

_____ LARIMER COUNTY ENGINEERING DEPARTMENT
 (NAME)
 COLORADO P.L.S. NO. _____
 (LICENSE NUMBER)

LARIMER COUNTY HEALTH AUTHORITY APPROVAL
 APPROVED BY THE LARIMER COUNTY HEALTH AUTHORITY THIS _____ DAY OF _____ 2016. ALL CONSTRUCTION ON THIS SURVEY, ON ANY LOT, TOWNSHIP, RANGE OR SECTION OF THE COUNTY DEPARTMENT OF HEALTH, AND THE LARIMER COUNTY PUBLIC HEALTH, ECONOMY, AND THE OUTDOOR RECREATION DEPARTMENT, SHALL COMPLY WITH ALL REQUIREMENTS.

_____ LARIMER COUNTY HEALTH AUTHORITY

SURVEYOR'S NOTES:
 1. BEARINGS AND DISTANCES ARE BASED ON THE ASSUMPTION THAT EACH LINE OF LOT 3, SECTION 2-4-73 OF THE 6TH P.M. BEARS METEER-CORNER, BEING MONUMENTED BY THE NORTH METEER-CORNER OF SAID LOT 3, AS MONUMENTED BY A 6.00\"/>

SURVEYOR'S CERTIFICATE
 I, LOWME A. SHILOAN, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS VOEKS BOUNDARY LINE ADJUSTMENT PLAT TRACT AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION.

LOWME A. SHILOAN
 REG. LAND SURVEYOR #8974

NOTICE OF APPROVAL
 APPROVAL OF THIS PLAN CREATES A VESTED PROPERTY RIGHT PURSUANT TO ARTICLE 68 OF TITLE 24, C.A.S. AS MONICED.

BOUNDARY LINE ADJUSTMENT STATEMENT
 BOUNDARY LINES ADJUSTED ON THIS MAP ARE ADJUSTMENTS OF FORMER BOUNDARY LINES OF THE BOUNDARY RECORDS HEREON. SUCH ADJUSTMENTS DO NOT CREATE ADDITIONAL LOTS FOR ANY PURPOSES. THE AREA ADDED TO EACH LOT FROM ADJUSTMENT BY SUCH ADJUSTMENT IS TO BE CONSIDERED IN ADDITION TO SMALL REMAINS A PART OF, AND SHALL BE CONSIDERED TOGETHER WITH EACH LOT AS SUCH.

LEGEND

- PROPERTY LINE
- EASEMENT (AS NOTED)
- CENTRAL LINE EASEMENT
- NEIGHBOR PROPERTY LINE
- FOUND MONUMENT AS NOTED
- SET 1/4\"/>

SCALE: 1" = 200'

PROJ. NO. 2010-06-28

SHEET 1 OF 1

DATE: 02-22-2016

SCALE: 1" = 20'

AMENDED PLAT

A PORTION OF LOT 3, SEC 2-5N-73W

ESTES PARK, COLORADO

YAN HORN ENGINEERING AND SURVEYING
 1048 15TH STREET, SUITE 100, ESTES PARK, CO 80517
 PHONE: (970) 256-9368 • FAX: (970) 256-8101



475 Fall River Lane, Zoning Map Amendment Request

Corrective Rezoning

Estes Park Community Development Department, Planning Division
Room 230, Town Hall, 170 MacGregor Avenue
PO Box 1200, Estes Park, CO 80517
Phone: 970-577-3721 Fax: 970-586-0249 www.estes.org

ESTES VALLEY PLANNING COMMISSION

MEETING DATE: April 19, 2016

REQUEST: This request is to rezone the parcel known as "Lot 9, Amended Plat of Lots 10 through 17 and Portions of Lots 1, 6, 8, and 9, Elkhorn Estates Subdivision" from CO (Commercial Outlying) to R-2 (Two-family Residential).

STAFF OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC); and
2. Provide basis for Planning Commission recommendation to the Town Board of Trustees.

PLANNING COMMISSION OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC);
2. Conduct a public hearing to consider applicant's testimony, public comment, and Town staff's findings and analysis; and
3. Provide a recommendation to the Estes Park Town Board of Trustees of approval or denial of the rezoning application.



LOCATION: 475 Fall River Lane

PROPERTY OWNERS/APPLICANTS: Lovell and Donna K. "Katie" Lovell

PROJECT DESCRIPTION AND BACKGROUND: Prior to 2000, this property was used as both a residence and a business. According to a previous staff report, "the house was designed to house the Mountain Lady Quilt Shop in the lower level with a three-bedroom home on the upper level." After two years of operation, the business was relocated to a downtown location, and the former business space was converted to living quarters without a building permit. The areas to the north are developed with more intense commercial and hotel development to the west and higher-density residential to the north. The land to the south is steep and zoned for single-family residential development. The

Estes Valley Development Code update in 2000 generated the original request for rezoning of the subject property as contemplated and supported by Town Planning Staff in 2004 when the previous owners applied for a "corrective rezoning." The public hearing never occurred due to a halt in the process by the owners because of personal reasons. The current owners intend to rectify this situation by bringing the property into compliance with the Building Code and complete the rezoning process to bring the zoning into conformity with the long-standing use of the property as two-family residential.

SITE DATA TABLE:

Parcel Number: 3523408009	Development Area: 1.03 acres
Existing Land Use: Two-family residential	Proposed Land Use: Two-family residential
Current Zoning Designation: CO Commercial Outlying	Proposed Zoning Designation: R-2 Two-family Residential
Adjacent Zoning:	
East: E Estate	North: RM Multi-family Residential
West: A Accommodations Highway/Corridor	South: RE Rural Estate
Adjacent Land Uses:	
East: Single-family residential	North: Multi-family residential
West: Accommodations, high-intensity commercial	South: Vacant land
Services:	
Electric: Town of Estes Park	Gas: Xcel Energy
Water: Town of Estes Park	Telephone: CenturyLink
Sewer: Estes Park Sanitation District	Fire Protection: Estes Valley Fire Protection District

STAFF REVIEW: All applications for text or Official Zoning Map amendments shall be reviewed by the EVPC and Board(s) for compliance with the relevant standards and criteria set forth below and with other applicable provisions of this Code. In accordance with Section 3.3.D "Standards for Review" of the EVDC, all applications for rezoning shall demonstrate compliance with the applicable standards and criteria:

1. The amendment is necessary to address changes in conditions in the areas affected.

Staff Finding: The previous rezoning request from 2004 was generated due to updates to the Estes Valley Development Code completed in 2000 which removed language permitting single-family and duplex uses within the "CO" zoning district as uses by right. Therefore, the 2000 Development Code updates created a non-conforming use of this property. This proposed



amendment is necessary to address changes in conditions in the areas affected since the quilting business previously located within the residence was relocated many years ago, hence, the long-standing uses on the parcel have been primarily residential. The Building Department reviewed a building permit to bring the property into compliance with current Building Code since the conversion of the commercial space to residential use was never reviewed by the building officials at the time. A condition required by the Building Department is that a rezoning is approved prior to issuance of a building permit. Approval of the rezoning will bring the property into compliance with the existing uses on the property and improve the safety of the building through upgrades to the building with approval of the building permit.

2. The development plan, which the proposed amendment to this Code would allow, is compatible and consistent with the policies and intent of the Comprehensive Plan and with existing growth and development patterns in the Estes Valley.

Staff Finding: The applicant has requested that the development plan requirement be waived for this rezoning per Section 3.3.B.3 of the Estes Valley Development Code:

"Within one (1) year from the effective date of this Code, any property owner may apply for rezoning on the basis that an error in the original zoning was made. Staff may waive the development plan requirements based upon the nature of the proposed request. Applicant must submit a statement of request setting forth information, data and reasons why the error exists."

Given the nature of the current land use and existing developed parcel, Staff has waived the requirement for a development plan since no new development is proposed in conjunction with this rezoning request. The configuration of the existing development has been evaluated by Staff and will conform to the proposed zoning designation of R-2 Two-Family residential.

3. The Town, County or other relevant service providers shall have the ability to provide adequate services and facilities that might be required if the application were approved.

Staff Finding: The property is fully developed and already served by the entities as listed within the "Services" section of the "Site Data Table" above. The Estes Valley Fire Protection District has reviewed the submitted materials and has no comments or concerns regarding those plans. The District has provided their standard condition of approval that all construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009) and the Town of Estes Park Codes and Standards. This condition has been included in the Potential Motions for the Commission's consideration on page four (4) of the staff report.

Staff finds that the rezoning request for an Official Zoning Map amendment would comply with the applicable review criteria set forth in Section 3.3.D "Standards for Review" of the Estes Valley Development Code and advance goals, policies, and objectives adopted in the Estes Valley Comprehensive Plan.

REFERRAL AND PUBLIC COMMENTS: The rezoning request was routed to reviewing agency staff and adjacent property owners for consideration and comment. All agency staff comments and concerns related to the rezoning request are included in this staff report.

The public hearing for the rezoning request was publicly noticed in accordance with the applicable public notification requirements of the Estes Valley Development Code. No public comments have been submitted to the Community Development Department.

POTENTIAL MOTIONS:

Below are the Planning Commission options related to the rezoning request:

1. I find the application substantially meets the criteria above, and move to recommend **APPROVAL** of the rezoning request to the Town Board of Trustees with no conditions.
2. I find the application substantially meets the criteria above, and move to recommend **APPROVAL** of the rezoning request to the Town Board of Trustees with the following conditions of approval:
 - a. All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009) and the Town of Estes Park Codes and Standards.
 - b. Property owner will comply with all requirements of the Building Department to ensure the converted commercial space is safe for habitation as a second dwelling unit.
3. I find that the Applicant has not provided sufficient information to review the application per the criteria above and move to recommend **CONTINUANCE** of the rezoning request to the next regularly scheduled meeting.
4. I find that the application does not substantially meet the criteria above and move to recommend **DENIAL** of the rezoning request.

ENCLOSURES:

1. Statement of Intent and Application
2. Site Plan



ESTES VALLEY FIRE PROTECTION DISTRICT

Serving the Residents and Visitors of the Estes Valley with Superior Fire and Safety Services

PLAN REVIEW COMMENTS

Date: March 1, 2016

Project Identification: Fall River Lane Rezoning

Location: 475 Fall River Lane

Referral: Fall River Lane Rezoning

The Estes Valley Fire Protection District has reviewed the submitted material describing the proposed project referenced above, and has no comments or concerns regarding those plans. However, when future developments and / or changes are made to this area, the Fire District shall require new plans for review.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009 Edition) and the Town of Estes Park Codes and Standards.

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Estes Valley Fire Protection District. If you have any questions please feel free to contact me.

Sincerely,

Marc W. Robinson
Fire Marshal
970-577-3689
mrobinson@estesvalleyfire.org

February 24, 2016

Statement of Intent - Corrective Rezoning from CO to R-2
475 Fall River Lane
Estes Park, CO 80517

Owners: Dennis R. Lovell and Donna K. "Katie" Lovell.

The intent of this request is the corrective rezoning of our property located 475 Fall River Lane, Estes Park, CO. We believe the original zoning of "CO" (commercial outlying) was incorrect, "Per the Community Development Director the lot was not rezoned to a residential zoning district because staff believed the existing use was commercial." Previous owners commercial use was discontinued prior to February 1, 2000 but was unknown by the staff of the town of Estes Park, CO. At a meeting of the Community Development department on August 17, 2004, the staff supported the rezoning and concurs that residential use of the lot is a more appropriate use than commercial.

The undersigned owners have been the record owners since June 23, 2008 almost eight years. As to the lower level, prior owners produced a spreadsheet of renters and rate of dollars generated from the lower level being rented. After the purchase we were made aware the previous owners never followed through with the rezoning, because of their noncompliance to Uniform Building Codes, not following through with a building permit #4966, issued June of 1992.

We have gone to a great expense, effort, time and research to identify and correct all of the above mentioned items and we believe it is more beneficial to the undersigned and the Town of Estes Park, Colorado to bring long term rentals to the Estes Valley. We are currently working with the building department in bringing our property up to code

Please refer to Exhibit "A" on the following page.



ESTES VALLEY
DEVELOPMENT REVIEW APPLICATION

Submission Date: February 19, 2016

Type of Application

- Development Plan
- Special Review
- Rezoning Petition
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Amended Plat
- Boundary Line Adjustment
- ROW or Easement Vacation
- Street Name Change
- Time Extension
- Other: Please specify _____
- Condominium Map
- Preliminary Map
- Final Map
- Supplemental Map

General Information

Project Name 475 FALL RIVER LANE REZONING
 Project Description 475 FALL RIVER LANE ESTES PARK CO 80517
 Project Address 475 FALL RIVER LANE ESTES PARK, CO 80517
 Legal Description LOT 9, AND PLAT OF LOTS 10-17 & POR OF LOTS 1, 6, 8 & 9
 Parcel ID # 2LK HORN ESTATES 3523408009

Site Information

Lot Size 1.03 acres Area of Disturbance in Acres 13,000 sq ft.
 Existing Land Use 1 FAMILY RESIDENTIAL
 Proposed Land Use 2 FAMILY RESIDENTIAL
 Existing Water Service Town Well None Other (specify) _____
 Proposed Water Service Town Well None Other (specify) _____
 Existing Sanitary Sewer Service EPSD UTSD Septic None
 Proposed Sanitary Sewer Service EPSD UTSD Septic
 Is a sewer lift station required? Yes No
 Existing Gas Service Xcel Other _____
 Existing Zoning CO Proposed Zoning R-2
 Site Access (if not on public street) _____
 Are there wetlands on the site? Yes No
 Site staking must be completed at the time application is submitted. Complete? Yes No

Primary Contact Information

Name of Primary Contact Person DONNA "Katie" or DENNIS LOVELL
 Complete Mailing Address 475 FALL RIVER LANE ESTES PARK, CO
 Primary Contact Person is Owner Applicant Consultant/Engineer

Attachments

- Application fee
- Statement of intent
- 3 copies (folded) of plat or plan
- 11" X 17" reduced copy of plat or plan
- Digital Copies of plats/plans in TIFF or PDF format emailed to planning@estes.org

Please review the Estes Valley Development Code Appendix B for additional submittal requirements, which may include ISO calculations, drainage report, traffic impact analysis, geologic hazard mitigation report, wildfire hazard mitigation report, wetlands report, and/or other additional information.

Contact Information

Record Owner(s) DENNIS or DONNA LOVELL
 Mailing Address 475 FALL RIVER LANE ESTES PARK, CO 80517
 Phone 918-429-0170 (cell) or
 Cell Phone 918-916-9893 (cell)
 Fax _____
 Email cochick6221@yahoo.com or dennislovell@ymail.com

Applicant S A A
 Mailing Address _____
 Phone _____
 Cell Phone _____
 Fax _____
 Email _____

Consultant/Engineer
 Mailing Address _____
 Phone _____
 Cell Phone _____
 Fax _____
 Email _____

APPLICATION FEES

For development within the Estes Valley Planning Area, both inside and outside Town limits

See the fee schedule included in your application packet or view the fee schedule online at:

www.estes.org/ComDev/Schedules&Fees/PlanningApplicationFeeSchedule.pdf

All requests for refunds must be made in writing. **All fees are due at the time of submittal.**

MINERAL RIGHT CERTIFICATION

Article 65.5 of Title 24 of the Colorado Revised Statutes requires applicants for Development Plans, Special Reviews, Rezoning, Preliminary and Final Subdivision Plats, Minor Subdivision Plats if creating a new lot, and Preliminary and Final Condominium Maps to provide notice of the application and initial public hearing to all mineral estate owners where the surface estate and the mineral estate have been severed. This notice must be given 30 days prior to the first hearing on an application for development and meet the statutory requirements.

I hereby certify that the provisions of Section 24-65.5-103 CRS have been met.

Names:

Record Owner PLEASE PRINT: DENNIS and/or DONNA LOVELL
 Applicant PLEASE PRINT: DENNIS and/or DONNA LOVELL

Signatures:

Record Owner  Dennis K Lovell Date 2/18/16
 Applicant  Donna K Lovell Date 2/18/16

APPLICANT CERTIFICATION


- ▶ I hereby certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that in filing the application I am acting with the knowledge and consent of the owners of the property.
- ▶ In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Estes Valley Development Code (EVDC).
- ▶ I acknowledge that I have obtained or have access to the EVDC, and that, prior to filing this application, I have had the opportunity to consult the relevant provisions governing the processing of and decision on the application. The Estes Valley Development Code is available online at: <http://www.estes.org/Com/Dev/DevCode>
- ▶ I understand that acceptance of this application by the Town of Estes Park for filing and receipt of the application fee by the Town does not necessarily mean that the application is complete under the applicable requirements of the EVDC.
- ▶ I understand that this proposal may be delayed in processing by a month or more if the information provided is incomplete, inaccurate, or submitted after the deadline date.
- ▶ I understand that a resubmittal fee will be charged if my application is incomplete.
- ▶ The Community Development Department will notify the applicant in writing of the date on which the application is determined to be complete.
- ▶ I grant permission for Town of Estes Park Employees and Planning Commissioners with proper identification access to my property during the review of this application.
- ▶ I acknowledge that I have received the Estes Valley Development Review Application Schedule and that failure to meet the deadlines shown on said schedule may result in my application or the approval of my application becoming null and void. I understand that full fees will be charged for the resubmittal of an application that has become null and void.

Names:

Record Owner PLEASE PRINT: Dennis R. Lovell Donna K. Lovell

Applicant PLEASE PRINT: DENNIS R. LOVELL-DONNA K. LOVELL

Signatures:

Record Owner  Date 2/18/16


Applicant  Date 2/18/16



Exhibit "A"

Attached to and made a part of Letter of Intent dated February 24, 2016.

1. As requested by Building Department we got a schematic of our gas line from Pro Tech (Seth Gilreath).

2. Contacted X-cel to increase our gas pressure & add regulators for all 5 gas appliances, both upstairs & downstairs. Seth will apply for permit for this

3. Hired architect, Thomas Beck, to draw up plans to remodel downstairs to adhere to building codes for renting out the downstairs.

4. Hired contractor to remodel downstairs per architect drawing for 1 hour ceiling to be installed & 1 hour wall per plans up to code.

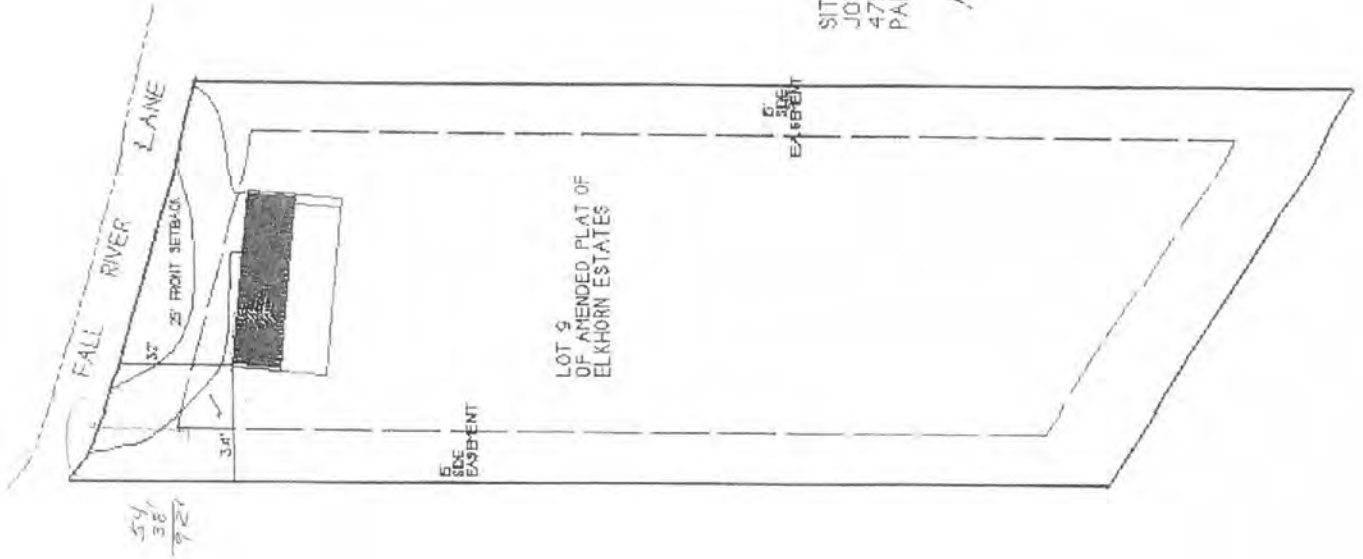
5. Contacted Estes Park Sanitation to inform them of impending two family residence. Rate would be raised when zoning changed.

6. Hired contractor to vent downstairs gas cook stove to the outside per codes. Purchased new hood for stove, to be installed.

7. Was told to purchase new 45 minute door but not to order yet until wall is finished so we would know the right size for sure. Two other doors leading into the garage the downstairs are up to code, closing within 20 minutes.

Our intention is to provide much needed long-term rental to the Estes Park valley.

Dennis R. Lovell and Donna K. "Katie" Lovell
owner / applicant

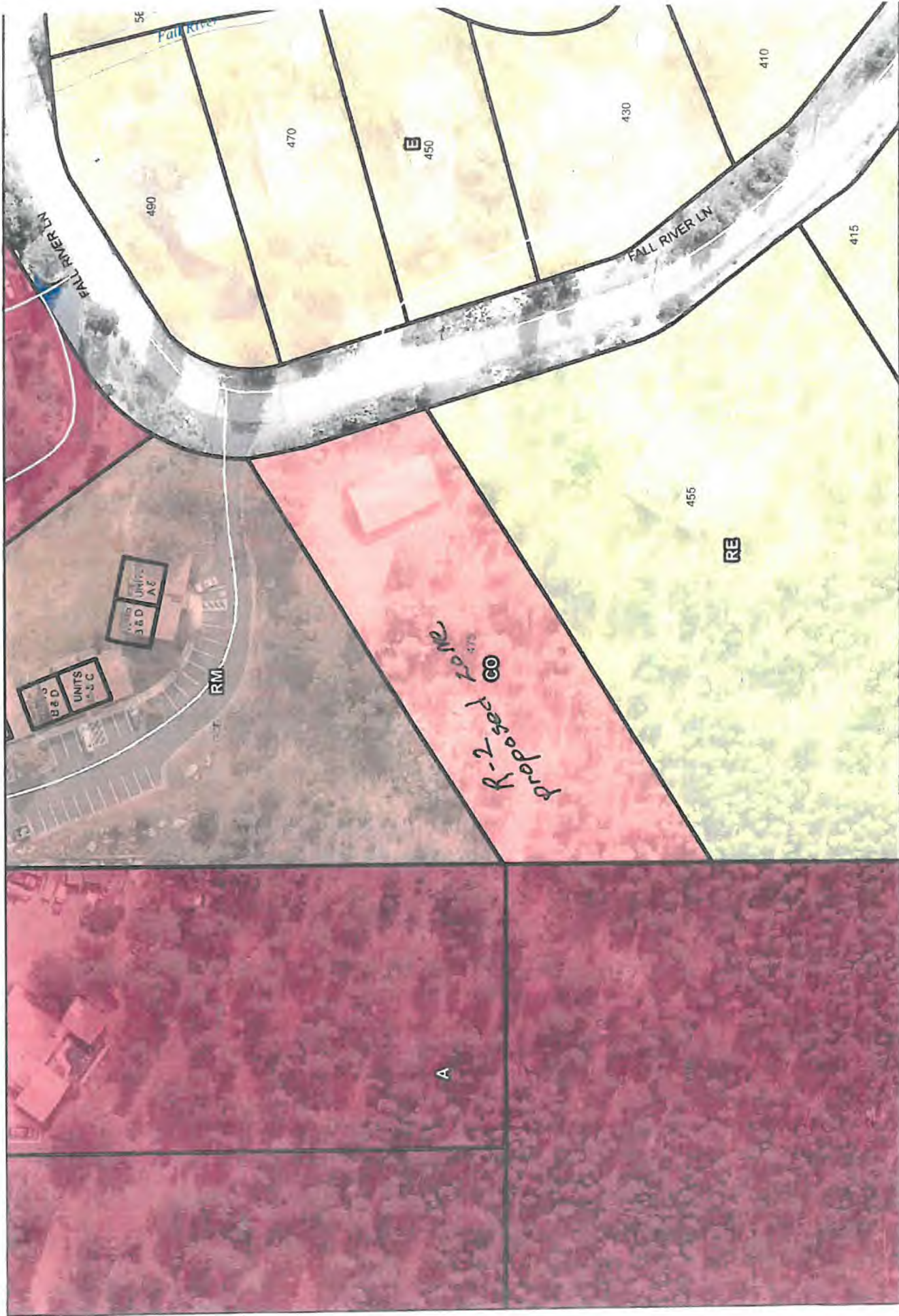


54
38
924



SITE PLAN FOR
JOHN & CONNE WESTLEY
475 FALL RIVER LANE
PARCEL #35234-08-009

Now owned by:
Dennis & Donna Lovell
475 Fall River Lane
Estes Park, CO 80517



This draft document was prepared for internal use by the Town of Estes Park, CO. The town makes no claim as to the accuracy or completeness of the data contained here. Due to security concerns, the Town requests that you do not post this document on the internet or otherwise.

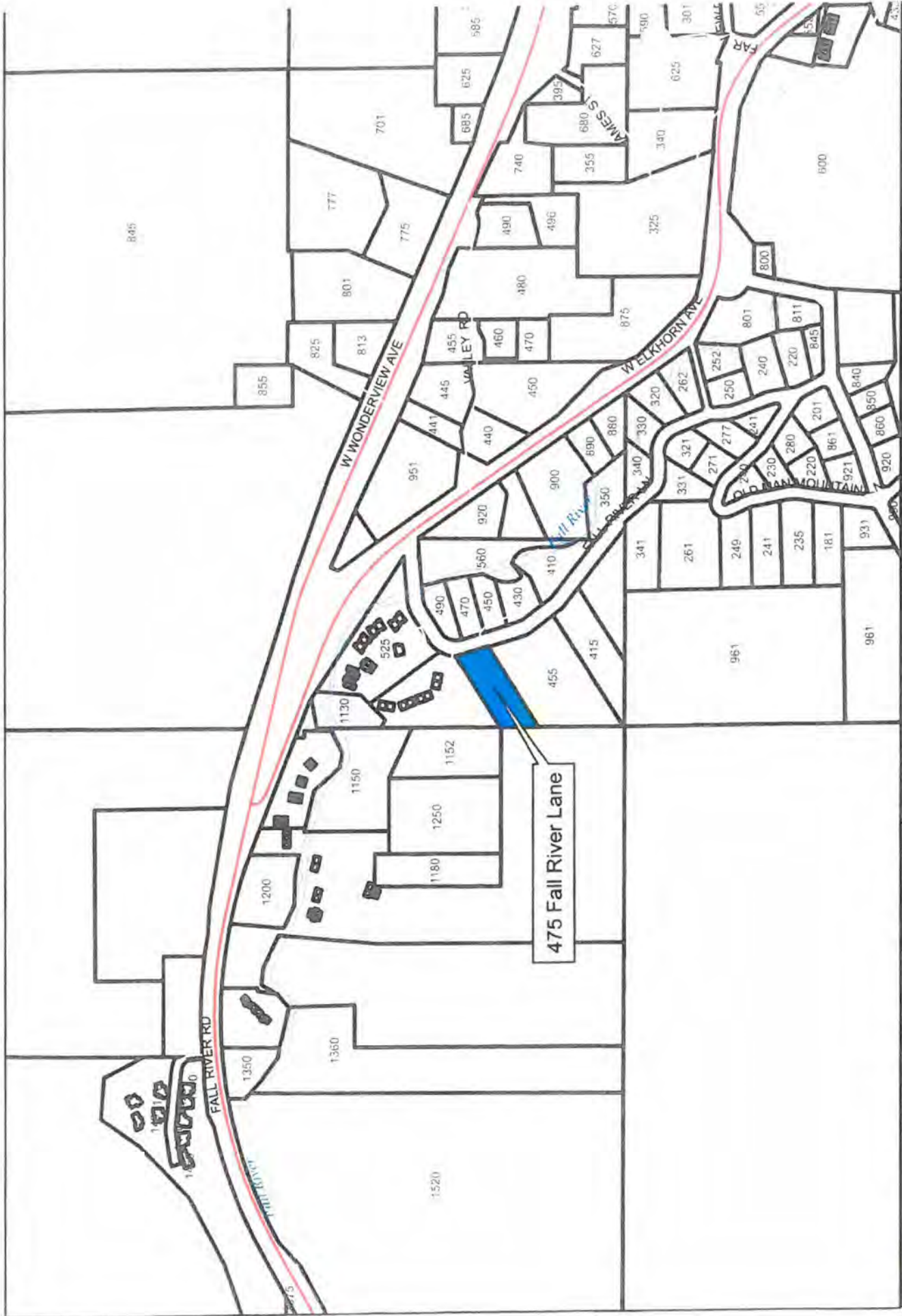


Zoning Districts

Printed: 2/5/2016

Town of Estes Park Community Development





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Zoning Districts

Printed: 2/5/2016

Town of Estes Park
Community Development



Fall River Lane Rezoning - 475 - Lovell.xls

Owner	Owner II	Address	City	ST	Zip
BINNING C SCOTT/B KAYE		1028 WHISPERING HILLS RD	CHEYENNE	WY	82009
BOSWELL SALLY L		4454 APPLE WAY	BOULDER	CO	80301
BRAFF DENNIS A/MARCIA G	RIVERWOOD 12A LLC	9751 ENCHANTED POINTE LN	BOCA RATON	FL	33496
BRYSON JON A/PAULA M		1152 W ELKHORN AVE	ESTES PARK	CO	80517
CARSON KEITH A/SHARON A		14115 S 234TH ST	GRETNA	NE	68028
DEAN EMILY		1050 S MONARC PKWY UNIT 621	DENVER	CO	80224
DYKES B W REVOCABLE TRUST		5184 VALHALLA ST	SPRINGDALE	AR	72764
DYKES JAMES JOSEPH/TIFFANY RAE	TRUSTEES DYKES FAMILY T	1816 WINDSOR AVE	SPRINGDALE	AR	72764
EDY JONATHAN M/JOSIANE C LIVING TRUST		20095 LOST ARROWHEAD DR	MONUMENT	CO	80132
FIXTER ROBERT/CAROLE	NINE TWENTY LLC	PO BOX 1633	ESTES PARK	CO	80517
FORTNER RICHARD G/CONNIE M		PO BOX 632	BYERS	CO	80103
FRASER ROBERT N/SANDRA E		15541 E CORNELL AVE	AURORA	CO	80013
GEISLER KELLY J/LINDA S/LOIS M TRUST HENRICHSON ROGER L/KIN		1936 N CLARMAR AVE	FREMONT	NE	68025
GREENBERG PAUL J/PATRICIA A		415 FALL RIVER LN	ESTES PARK	CO	80517
HANICK LINDA E/VICTOR C		315 BIG HORN DR UNIT B	ESTES PARK	CO	80517
HOEDL MICHAEL	SCHMITT DALYN	PO BOX 7016	KANSAS CITY	MO	64113
KIESLING MARY J		2406 12TH AVE	GREELEY	CO	80631
KROPP FREDERICK L/PAMELA J		PO BOX 4545	ESTES PARK	CO	80517
LAYNE MARGARET A		1513 W DESERT JEWELL CT	GREEN VALLEY	AZ	85614
LECLERC MICHELLE		PO BOX 2495	ESTES PARK	CO	80517
LEVERING CHRISTOPHER TAYLOR	LEVERING PAULA MICHELL	1130 W ELKHORN AVE	ESTES PARK	CO	80517
LICKFETT DONALD H	GLORIA A	410 FALL RIVER LN	ESTES PARK	CO	80517
LIN JOHNSON W K/MARIA H Y TRUST		PO BOX 1845	ESTES PARK	CO	80517
LOVELL DENNIS R/DONNA K		475 FALL RIVER LN	ESTES PARK	CO	80517
MASSETT IRVIN C/MARIE C		507 FALL RIVER LN UNIT D	ESTES PARK	CO	80517
MESTER DIANE M/RICHARD F JR		6961 DUPRE RD	CENTERVILLE	MN	55038
NAUGHTON ELIZABETH R	HECKEL CATHERINE M	2965 JUILLIARD ST	BOULDER	CO	80305
NIERSTHEIMER ESTER & KIM		2650 N PARKWAY DR	PEKIN	IL	61554
PENSCO TRUST COMPANY CUSTODIAN	FBO MICHEL J MIDDLETON	PO BOX 173859	DENVER	CO	80217
PERRY MARK/R ANN TRUST		490 FALL RIVER LN	ESTES PARK	CO	80517
PRAKASH SAMIT	AGARWAL RUBY	617 KING LOT LN	LEWISVILLE	TX	75056
RENNER DAVID R REVOCABLE TRUST		1260 FALL RIVER RD	ESTES PARK	CO	80517
RISSMANN PAUL H/PANDORA M		404 STONEWOOD CIR	CAROL STREAM	IL	60188
RIVERWOOD ON FALL RIVER ESTES PARK LLC		1888 FALL RIVER RD	ESTES PARK	CO	80517
RIVERWOOD ON FALL RIVER ESTES PARK LLC		1888 FALL RIVER RD	ESTES PARK	CO	80517
		8855 WOODBRAND DR	LOVELAND	CO	80537

RIVERWOOD ON FALL RIVER INC	525 FALL RIVER LN	ESTES PARK	CO	80517
ROBINSON CHRISTIANE E	10303 CEDAR SPRING LN	CULPEPER	VA	22701
ROBINSON TERRY A	33801 SIASCONSET RD	WINDSOR	CO	80550
ROSS BOYDYNE M	83 NOME WAY UNIT C	AURORA	CO	80012
TALSMA TIMOTHY DEAN/JANICE FAY	4851 QUINCY ST	HUDSONVILLE	MI	49426
UNIVERSITY OF NORTHERN COLORADOCAROL MARSTON	CAMPUS BOX 31	GREELEY	CO	80639
WAGNER EDWARD W/JENNIFER L	943 LEATRICE DR	DALLAS	TX	75203
WILLIAMS JEFFREY A/DENISE E	8633 S 98TH CIR	LAVISTA	NE	68128
WUELLNER LARRY D/SUSAN E	PO BOX 257	GROTON	MA	01450



Lot 5, Sunny Acres Addition Amended Plat and Re-zoning

Estes Park Community Development Department, Planning Division
Room 230, Town Hall, 170 MacGregor Avenue
PO Box 1200, Estes Park, CO 80517
Phone: 970-577-3721 Fax: 970-586-0249 www.estes.org

ESTES VALLEY PLANNING COMMISSION

MEETING DATE & LOCATION: April 19, 2016, 1:30 PM; Board Room, Town Hall,
170 MacGregor Avenue

APPLICANT REQUEST: This is an Amended Plat application and Re-zoning request for Lot 5, Sunny Acres Addition. This request would remove the common property line between two lots as well as re-zone both properties to *RM Multi-Family Residential*.

STAFF OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC) and Estes Valley Comprehensive Plan; and
2. Provide a recommendation to the Planning Commission

LOCATION: The site is addressed 260, 265 and 267 Sunny Acres Court and is located within the Town of Estes Park. Sunny Acres Court is accessed via Sunny Acres Court.

OWNER/APPLICANT: Fall River Village, LLC (Paul Pewterbaugh)

CONSULTANT/ENGINEER: Primary Contact: Joe Coop, Van Horn Engineering

STAFF CONTACT: Audem Gonzales, Planner I

PROJECT DESCRIPTION/BACKGROUND: A prior owner illegally subdivided Lot 5, of the Sunny Acres Subdivision in the 1980's. The current owner has submitted an application to recombine the two illegally created parcels into proposed Lot 5A, a 1.17-acre lot.

The applicant has submitted an application to re-zone proposed Lot 5A to *RM Multi-Family Residential*. The smaller of the two parcels is currently zoned *R-2 Two-Family Residential* and the larger is zoned *E-1 Estate*. Prior to the 2000 valley-wide rezoning, the entire parcel was zoned *RM*.

In 2006, an Amended Plat and Re-zoning application were approved for the subject property. The owner failed to record the final plat, therefore nullifying the approved Amended Plat and Re-zoning. This application is essentially a duplicate of the 2006 requests.

Subdivision Review (§3.9): The purpose of the subdivision review process is to ensure compliance with the subdivision standards and provisions of this Code, while encouraging quality development in the Estes Valley reflective of the goals, policies and objectives found in the Comprehensive Plan.

1. Amended Plat applications are considered a Minor Subdivision for review purposes. **Decision Making Body:** Town Board of Trustees
2. Code Amendment (Re-zoning). **Decision Making Body:** Town Board of Trustees

SITE DATEA TABLE:

Surveyor: Van Horn Engineering (Lonnie Sheldon)	
Parcel Number: 3525210005 & 3525210028	Development Area: Approx. 1.17 acres
Existing Land Use: Multi-Family Residential (two duplexes)	Proposed Land Use: Multi-Family Residential (two duplexes)
Zoning Designation: R-2 <i>Two-Family Residential</i> and E-1 <i>Estate</i>	Proposed Zoning: RM <i>Multi-Family Residential</i>
Adjacent Zoning:	
East: E-1 <i>Estate</i>	North: E-1 <i>Estate</i>
West: CO <i>Outlying Commercial (PUD)</i>	South: CO <i>Outlying Commercial (PUD)</i>
Adjacent Land Uses:	
East: Single-family residential and undeveloped lot	North: Single-family residential
West: undeveloped	South: Multi-family residential
Services:	
Water: TOEP, proposed: no change	Sewer: EPSD, proposed: no change

PUBLIC COMMENTS: In accordance with the notice requirements in the Estes Valley Development Code, legal notices were published in the Estes Park Trail-Gazette. Typical mailings include a 500-foot radius.

As of April 5, 2016, no formal written comments have been received for this application package. Written comments will be posted to www.estes.org/currentapplications if received after April 5th and summarized in the staff presentation.

REVIEWING AGENCY COMMENTS: This request has been submitted to reviewing agency staff for consideration and comment. Memos and emails are included as part of this staff report.

- **Estes Valley Fire Protection District** memo dated March 1, 2016
- **Estes Park Sanitation District** email dated March 7, 2016

STAFF REVIEW:

Present Situation: Two duplexes exist on proposed Lot 5A. One duplex is located on the smaller parcel and one duplex is located on the larger parcel.



Proposal: The Amended Plat request would combine both parcels into one legal lot. Both duplexes will be entirely contained within the newly created lot. The RM *Multi-Family Residential* zoning would encompass all of Lot 5A.

Subdivision: §3.9.E: All subdivisions must demonstrate compliance with the standards and criteria set forth in Chapter 10 “Subdivision Standards,” and all other applicable provisions of this Code.

Section 10.5.B.1 *Compliance with Zoning Requirements* requires subdivisions comply with Zoning Development Standards outlined in Chapter 4.

Residential Zoning Districts: Section 4.3.C.4 Table 4-2 Base Densities and Dimensional Standards Residential Zoning Districts requires certain minimum lot standards for any lot within a specific district. Specific standards for the RM district include:

- Minimum lot area of 40,000 sq. ft.
- Minimum front setback 15 feet, side 10 feet, rear 10 feet.

Currently, the two separate parcels do not meet EVDC requirements for their current zone districts. The duplex buildings are built along property lines or well within setbacks. Re-zoning the property and amending the plat would move the current development into conformance with the various codes. Setback requirements would be met as well as permitted uses.

Grading and Site Disturbance Standards: The site is currently developed with two duplexes and paved and gravel drives. Grading and Site Disturbance Standards are not applicable at this time.

Adequate Public Facilities: Adequate public facility requirements are not triggered with this application.

Utility Easements: Generally, ten-foot wide utility easements are required along all property lines. Ten-foot wide utility easements are proposed to be dedicated along all property lines of this plat.

There is also a private 10’ utility easement “for Lots 3, 4 and 5A Sunny Acres Subdivision” being dedicated with this plat.

This application proposes a new public utility easement and private access easement through the center of the property. This easement will provide for utilities and access to properties to the east.

Re-zoning: This is essentially a corrective re-zoning request. This property would have remained zoned for multi-family residential development with the 2000 valley-wide re-zoning if the Larimer County tax assessor map had shown this property as one lot containing four units. However, the Larimer County map reflected the 1982 illegal subdivision with one duplex on each of the two parcels. Staff was not aware of the illegal subdivision at the time of the 2000 re-zoning.

Comprehensive Plan: The site is located within the east area of Fall River planning area, which includes a mix of single-family development and multi-family development. The Future Land Use Plan designates this area as R-2 Two Family Estate which has a 27,000 sq. ft. minimum.



Staff has evaluated the proposed development for compliance with Community-Wide Policies set forth in Chapter Six of the comprehensive plan and has found no issues or conflict with this proposal. Although the zone request is not aligned with the Comp Plan, it reflects what currently is built.

STAFF FINDINGS:

Based on the foregoing, staff finds:

1. This Amended Plat application and Re-zoning request do not fall within the parameters of staff level review, and will be reviewed by the Estes Valley Planning Commission. The Planning Commission is the Recommending Body, the Board of Trustees is the Decision-Making Body.
2. This request has been submitted to all applicable reviewing agency staff for consideration and comment. All letters and memos submitted by reviewing staff, referred to in this staff report, are incorporated as staff findings.
3. Adjusting the common property line and creating one legal lot does not affect the original intent of the subdivision. It would bring the existing property into conformance in regards to lot area dimensions and permitted uses.
4. The re-zoning would reflect how the subject area is developed.
5. New utility easements and private access easements on the newly created lot will be recorded with the final plat.

RECOMMENDATION 1: Staff recommends **APPROVAL** of the proposed Re-zoning **CONDITIONAL TO:**

1. Approved Amended Plat shall be submitted for recording within 60 days of Town Board's approval of the application.

SAMPLE MOTIONS: I move to recommend **APPROVAL** (or denial) of the Lot 5, Sunny Acres Addition Re-zoning, as described in the staff report, with the findings and conditions recommended by staff.

(This is a Planning Commission recommendation to the Town Board.

RECOMMENDATION 2: Staff recommends **APPROVAL** of the proposed Amended Plat **CONDITIONAL TO:**

No conditions of approval.

SAMPLE MOTIONS: I move to recommend **APPROVAL** (or denial) of the Lot 5, Sunny Acres Addition Amended Plat, as described in the staff report, with the findings and conditions recommended by staff.

(This is a Planning Commission recommendation to the Town Board.

NOTICE: Within sixty (60) days of the Board's approval of the plat application, the developer shall submit the plat for recording. If the plat is not submitted for recording within this sixty-day time period, the approval shall automatically lapse and be null and void.

Attachments:

1. Vicinity Map
2. Zoning Map
3. Reviewing Agency Comments
4. Statement of Intent
5. Application
6. Preliminary Plat



ESTES VALLEY FIRE PROTECTION DISTRICT

Serving the Residents and Visitors of the Estes Valley with Superior Fire and Safety Services

PLAN REVIEW COMMENTS

Date: March 1, 2016

Project Identification: Sunny Acres Rezoning

Location: 260 -265 Sunny Acres Ct.

Referral: Sunny Acres Rezoning and Lot 5, Sunny Acres Addition

The Estes Valley Fire Protection District has reviewed the submitted material describing the proposed project referenced above, and has no comments or concerns regarding those plans. However, when future developments and / or changes are made to this area, the Fire District shall require new plans for review.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009 Edition) and the Town of Estes Park Codes and Standards.

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Estes Valley Fire Protection District. If you have any questions please feel free to contact me.

Sincerely,

Marc W. Robinson

Fire Marshal
970-577-3689

mrobinson@estesvalleyfire.org



Audem Gonzales <agonzales@estes.org>

RE: Sunny Acres Completeness

1 message

James Duell <jduell@estesparksanitation.org>

To: Audem Gonzales <agonzales@estes.org>

Cc: "Coop, Joe" <joevhe@airbits.com>, Paul Pewterbaugh <paulpewter@gmail.com>, "Thomas, Chris"

<cthomas@estesparksanitation.org>

Mon, Mar 7, 2016 at 4:24 PM

Hello Audem – as per review of the plans provided for our completeness review of the Sunny Acres Rezoning and Amended Plat. Everything is fine with one exception. The line providing service to the units is titled a main line and actually it is a six inch PVC service line. The line is owned and maintained by the existing lots 3,4 & 5A Sunny Acres Subdivision. The line should be relabeled as Private Sewer Service Line.

The proposed amended plat identifies the 10' private utility easement and it includes the language "Also, non-motorized trail easement for the benefit of Lots 3 & 4". The use of the easement for a trail wears down the surface of the easement and has exposed their service line. This will need to be addressed as part of their development plan as it goes forward.

Thank you – Jim Duell



James Duell, District Manager
Estes Park Sanitation District
(970) 586-2866



STATEMENT OF INTENT AMENDED PLAT OF LOT 5, SUNNY ACRES ADDITION TO THE TOWN OF ESTES PARK

The owner of the property is Fall River Village LLC, managed by Paul Pewterbaugh who has finished the neighboring Fall River Village and taken it out of bankruptcy. The subject property is currently split into two parcels. One parcel contains the northern duplex and the other contains the southern duplex. Both lots are currently non-conforming, thereby making any addition/expansion illegal. Additionally, the two lots are illegal because they were split by deed in 1982 without going through the proper subdivision process.

An Amended Plat is being created in order to dissolve this internal lot line and to combine the two parcels to make them legal and whole again. A new public utility and private access easement will be dedicated with the Amended Plat through the center of the property. Because the majority of the utilities are located in the center of lot, the new utility easement is shown on the Amended Plat to be one in the same as the access easement. There is also a private 10 foot wide utility easement being dedicated on the southeast corner of the property for the existing sewer line that crosses the lot. There are also 10' utility easements being dedicated along all lot lines of the final Lot 5A.

The smaller parcel is currently zoned R-2 and contains 4,609 square feet or 0.11 acres. The larger parcel is currently zoned E-1, as part of the 2000 zoning map by the Estes Valley Development Region. An apparent mistake was made by the Town in appointing this zoning classification to this lot due to the existing duplex on the property. Prior to 2000, Lot 5 was zoned RM Multi-Family Residential and as part of the new zoning classifications after 2000 with the new code, this lot was given a new zoning of E-1. Therefore, with this development plan, it is our intent to rezone the entire property to RM multi family zoning as part of a corrective zoning effort. This property is located south of Highway 34 at the end of Far View Lane, just above Performance Park and northeast of the newly redeveloped Fall River P.U.D. project. The rezoning fee is \$3,000 and Mr. Pewterbaugh would like to request a waiver of the fee because this is really a correction in the zoning.

This Amended Plat and Rezoning was already performed once through the Estes Valley Planning Department in 2006-2007 and was approved with conditions at the January 23, 2007 Town Board meeting. There was a development plan included in the application, however at this point, Mr. Pewterbaugh has no concrete plans for the additional unit(s), therefore would like to just do the Amended Plat and Rezoning. Mr. Pewterbaugh does desire to add more units to the property in the future which would be allowed under the RM zone. He has made plans to remodel the existing units, but in order to do so he needs to correct the zoning of the lot and combine the lots to the original single Lot 5. Because a rezone requires a development plan, Mr. Pewterbaugh is requesting a waiver from the requirement to do a development plan. He would like to remodel the existing units and get them operational again prior to planning and constructing any new units on the property which would be the purpose for a development plan. Otherwise, this application is complete with the changes requested by Town Board in 2007 except for a dedicated right-of-way on the western part of this property. The right-of-way was requested as part of an emergency turn-around with the 2006-2007 development plan for an additional unit. Since no new units are being proposed, we would prefer to not dedicate this right-of-way and wait until any new units are proposed in order to determine what is desirable at that point in time.

Due to the relatively slight change this project proposes, i.e. no additional lots, no additional dwelling units, and no driveway re-alignment, etc., therefore no increase in the intensity of use, we are asking that the following Estes Valley Development Code submittal requirements be waived:

- Geologic Hazard Mitigation Plan (no development is proposed within the designated steep areas)
- Wildlife Conservation Plan (no development is planned within the riparian areas)
- Establishment of limits of disturbance and vegetation protection
- Paving roads, creating sidewalks, pedestrian connections and trails

Transportation impact analysis

Access and Utilities for The Amended Plat of Lot 5, Sunny Acres Addition to the Town of Estes Park

Access:

Access for the property was redesigned as part of the Fall River P.U.D. development. A new road with curb and gutter was constructed just west and adjacent to the subject property that runs north to Far View Ln. Over the years, several access easements and rights of use have been established across the neighboring and subject property, however all of the easements have either been vacated or are not descriptive enough in nature to plat the easement on this lot. With the new Fall River Village P.U.D. Development, all rights of access and easement were relocated to the Sunny Acres Court Outlot. To clear up the access on this property, a new access easement across Lot 5A is proposed in order to serve the properties to the east. This easement has been shown on the Preliminary Plat and on the Amended Plat. The easement history showing books and pages and reception numbers has been included under the Survey Notes Section on the Amended Plat.

Addressing:

The existing addresses for the existing duplexes will be maintained. The Postal Service has been contacted and it has been determined that the existing postal cluster box at the intersection of Far View Drive and Sunny Acres Court (at the new gate) contains enough room, therefore, it is the developer's desire to have the mail delivered to this cluster box.

Sanitary Sewer:

The Estes Park Sanitation District has made it known that the existing sanitary sewer lines in the area are privately owned. When the southern duplex was built by Larry Heckel a few years back, the District explained that if an 8" main was installed across the property, the District would take over the line for maintenance. However, Larry decided to install a 6" main and therefore the District would not take over the line. This set up the private ownership for all properties that would use this system in the future. This existing 6" sewer main that cuts through the property in an east-west direction is currently not being used to service any properties to the north. There is one 4" line heading north from a sewer manhole shown on the west part of the property. It has been determined by the Estes Park Sanitation District that this line is not in use. This 6" main connects to a second manhole on the east half of the property below the road and makes a 90 degree turn heading south and southeast off the property. The east sewer manhole currently serves the existing two duplexes on the lot and the existing single family home to the east on Lot 4. There are currently four service lines extending from the manhole and one outlet line that heads south. The need for the western manhole was discussed for further development and the possibility of abandoning this manhole was brought up. It

appears that the manhole does not currently service any units on the subject lot nor any of the proposed homes to the west on those lots of the Fall River Village P.U.D. The Estes Park Sanitation District would agree to abandon this manhole after further investigation. If the District agrees, this line would need to be terminated just outside of the eastern manhole and plugged properly. The possibility of abandoning this line must be reviewed by the Estes Park Sanitation District prior to any sewer line service construction on the site. The other option would be to leave this line in place as is, seeing that we are going to core into the eastern manhole for future services and the fact that the existing water main across the property will not be disturbed.

Water:

The Town of Estes Park owns and operates the waterlines in this area. An existing 8" water main runs down Sunny Acres Court and downsizes to a 4" main that crosses the subject property. An existing fire hydrant is located along the west property line and Sunny Acres Court. An existing service line was installed several years ago that was 3/4" in size for Larry Heckel, the neighbor to the east. The south duplex is already served by a 1" service line stubbed out of the 4" water main at the west end of the property. The north duplex also is served by the 4" main with a 1" service line that runs from the centrally located water valves to the southeast corner of the unit. There are five fire hydrants located to the north, south, and west of the property that will be sufficient to meet fire flow requirements for the proposed units.

Electricity:

There are two existing electric transformers located on the property. The one to the west services the duplex on the south and the transformer located just south of the north duplex currently provides service for the north duplex and Lot 4 to the east.



**ESTES VALLEY
DEVELOPMENT REVIEW APPLICATION**

Submission Date: February 24, 2016

Type of Application

- Development Plan
- Special Review
- Rezoning Petition
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Amended Plat

- Boundary Line Adjustment
- ROW or Easement Vacation
- Street Name Change
- Time Extension
- Other: Please specify

- Condominium Map
- Preliminary Map
- Final Map
- Supplemental Map 7/4/2016



General Information

Project Name Amended Plat of Lot 5, Sunny Acres Sub
 Project Description Combine two lots that are part of Lot 5, Sunny Acres
 Project Address 260 + 265 Sunny Acres Ct.
 Legal Description Metes and Bounds - See Plat, AKA Lot 5 Sunny Acres
 Parcel ID # 3525210005 + 3525210028

Site Information

Lot Size 1.17 Acres Area of Disturbance in Acres ≈ 3/4 of an acre
 Existing Land Use 2 existing duplex's - Residential
 Proposed Land Use same
 Existing Water Service Town Well None Other (specify)
 Proposed Water Service Town Well None Other (specify)
 Existing Sanitary Sewer Service EPSD UTSD Septic None
 Proposed Sanitary Sewer Service EPSD UTSD Septic
 Is a sewer lift station required? Yes No
 Existing Gas Service Xcel Other None
 Existing Zoning E-1 and R-7 Proposed Zoning RM
 Site Access (if not on public street) 260, 265 + 267 Sunny Acres Ct.
 Are there wetlands on the site? Yes No see attached letter
 Site staking must be completed at the time application is submitted. Complete? Yes No

Primary Contact Information

Name of Primary Contact Person Paul Pensterbaugh
 Complete Mailing Address 3303 W 144th Ave, Ste 106, Broomfield CO 80023
 Primary Contact Person is Owner Applicant Consultant/Engineer

Attachments

- Application fee
- Statement of intent
- 3 copies (folded) of plat or plan
- 11" X 17" reduced copy of plat or plan

Digital Copies of plats/plans in TIFF or PDF format emailed to planning@estes.org

Please review the Estes Valley Development Code Appendix B for additional submittal requirements, which may include ISO calculations, drainage report, traffic impact analysis, geologic hazard mitigation report, wildfire hazard mitigation report, wetlands report, and/or other additional information.

Contact Information

Record Owner(s) Fall River Village LLC - Paul Pewter Baugh
Mailing Address 3303 W. 144th Ave, Ste 106, Broomfield, CO 80023
Phone _____
Cell Phone 303-524-4643
Fax _____
Email Paul.pewter@gmail.com

Applicant same as owner
Mailing Address _____
Phone _____
Cell Phone _____
Fax _____
Email _____

Consultant/Engineer Van Horn Engineering - Joe Coop
Mailing Address 1043 Fish Creek Ad., Estes Park, CO 80517
Phone 970-586-9388
Cell Phone 970-443-8210
Fax _____
Email joe.vhe@airbits.com

APPLICATION FEES

For development within the Estes Valley Planning Area, both inside and outside Town limits

See the fee schedule included in your application packet or view the fee schedule online at:

www.estes.org/ComDev/Schedules&Fees/PlanningApplicationFeeSchedule.pdf

All requests for refunds must be made in writing. All fees are due at the time of submittal.

MINERAL RIGHT CERTIFICATION

Article 65.5 of Title 24 of the Colorado Revised Statutes requires applicants for Development Plans, Special Reviews, Rezoning, Preliminary and Final Subdivision Plats, Minor Subdivision Plats if creating a new lot, and Preliminary and Final Condominium Maps to provide notice of the application and initial public hearing to all mineral estate owners where the surface estate and the mineral estate have been severed. This notice must be given 30 days prior to the first hearing on an application for development and meet the statutory requirements.

I hereby certify that the provisions of Section 24-65.5-103 CRS have been met.

Names:

Record Owner PLEASE PRINT:

Applicant PLEASE PRINT:

Signatures:

Record Owner _____

Applicant _____



Date 2-23-16

Date 2-23-16

APPLICANT CERTIFICATION

- ▶ I hereby certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that in filing the application I am acting with the knowledge and consent of the owners of the property.
- ▶ In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Estes Valley Development Code (EVDC).
- ▶ I acknowledge that I have obtained or have access to the EVDC, and that, prior to filing this application, I have had the opportunity to consult the relevant provisions governing the processing of and decision on the application. The Estes Valley Development Code is available online at:
<http://www.estes.org/CommDev/DevCode>
- ▶ I understand that acceptance of this application by the Town of Estes Park for filing and receipt of the application fee by the Town does not necessarily mean that the application is complete under the applicable requirements of the EVDC.
- ▶ I understand that this proposal may be delayed in processing by a month or more if the information provided is incomplete, inaccurate, or submitted after the deadline date.
- ▶ I understand that a resubmittal fee will be charged if my application is incomplete.
- ▶ The Community Development Department will notify the applicant in writing of the date on which the application is determined to be complete.
- ▶ I grant permission for Town of Estes Park Employees and Planning Commissioners with proper identification access to my property during the review of this application.
- ▶ I acknowledge that I have received the Estes Valley Development Review Application Schedule and that failure to meet the deadlines shown on said schedule may result in my application or the approval of my application becoming null and void. I understand that full fees will be charged for the resubmittal of an application that has become null and void.

Names:

Record Owner PLEASE PRINT: Paul Pewterbaugh

Applicant PLEASE PRINT: Self

Signatures:

Record Owner

Paul Pewterbaugh

Date

2-23-16

Applicant

Paul Pewterbaugh

Date

2-23-16

Owner	Owner II	Address	City	Zip	ST
341 FAR VIEW DRIVE LLC		341 FAR VIEW DR	ESTES PARK	80517	CO
ADAMS JACQUELINE S		1985 CATHAY ST	AURORA	80011	CO
ADKINS MARILYN J & NATHAN		7211 W CANBERRA STREET DR	GREELEY	80634	CO
AIRBITS LLC		439 W ELKHORN AVE	ESTES PARK	80517	CO
BANISTER BRENT A/KAYLA J		121 OAKMONT PLAZA	PAPILLION	68133	NE
BARNETT GLENICE/KATHERINE	CAMPBELOL KAY BARNETT ETAL	1629 MIDWESTERN PKWY	WICHITA FALLS	76302	TX
BARTLETT FRED/TINA		880 N PEAK VIEW WAY	PRESCOTT	86303	AZ
BATCHELDER LEE A/KRISTEN L/ERIN L		159 S 44TH ST	DECATUR	62521	IL
BELKNAP NANCY L		PO BOX 4007	ESTES PARK	80517	CO
BOLES JEFF/JULIE		300 FAR VIEW DR UNIT D11	ESTES PARK	80517	CO
CAMPBELL HEIDI M		4249 S BISCAY CIR	AURORA	80013	CO
CLUELESS WINGNUTS LLC		6131 128TH AVE NE	KIRKLAND	98033	WA
COMANCHE FORKS LLC		PO BOX 270223	FORT COLLINS	80527	CO
COPE FOUR LLC		12124 ORCHARD VIEW RD	GAITHERSBURG	20878	MD
CREAGH DAVID P/CATHY F		6160 INDIAN TRAIL RD	GURNEE	60031	IL
DOUGHERTY REGINA E		825 LAFAYETTE ST UNIT D	CAPE MAY	08204	NJ
DYCK GORDON R	BEECHY JUDITH A	2212 WAKEFIELD RD	GOSHEN	46528	IN
ECKERT JASON D/KARI M		8389 COLE ST	ARVADA	80005	CO
ESTES WEST END LLC		6307 DEVILS GULCH RD	ESTES PARK	80517	CO
FALL RIVER VILLAGE LLC		2205 W 136TH AVE STE 106 & 108	BROOMFIELD	80023	CO
FINNEY PATRICIA J		300 FAR VIEW DR UNIT 14	ESTES PARK	80517	CO
FINNIGSMIER ROBERT J & JUDITH		5804 QUAIL RIDGE AVE	HASTINGS	68901	NE
FISHMAN PAUL		321 BIG HORN DR UNIT A7	ESTES PARK	80517	CO
HAIGH ROBERT B/CATHY A		300 FAR VIEW DR UNIT 8	ESTES PARK	80517	CO
HANICK LINDA E/VICTOR C		315 BIG HORN DR UNIT B	ESTES PARK	80517	CO
HARRIS CLARENCE E & MARY		9377 WOLFE ST	LITTLETON	80129	CO
HAYNIE CLAYBORN L/LORALEE A		20124 MITCHELL PL	DENVER	80249	CO
HAYS GEORGE WILLIAM		6401 PLATEAU DR	ENGLEWOOD	80111	CO
HAZLETT EMERSON L & ELIZABETH		341 WOODLAWN CIR	LAWRENCE	66049	KS
HEISS F WILLIAM		PO BOX 534	GRANBY	80446	CO
HERLIHEY DANIEL C/VICKIE A		321 BIG HORN DR UNIT DD3	ESTES PARK	80517	CO
HINKLE RONALD L & EDWINA		300 FAR VIEW DR UNIT 16	ESTES PARK	80517	CO
HOLTGREWE VIRGIL H/CAROL		315 BIG HORN DR UNIT E	ESTES PARK	80517	CO
JACOBSON ERNEST E JR & MAE C		6105 E MEXICO AVE	DENVER	80224	CO
JAMES CHRISTOPHER N		321 FAR VIEW DR	ESTES PARK	80517	CO
JOHNSON S JOWAYNE, ARNOLD M/ROY EMIL	JOHNSON ROBERT EDWARD	PO BOX 2744	ESTES PARK	80517	CO
JOHNSTON GERALD/LINDA LIVING TRUST		128 OLD CREEK DR	MONUMENT	80132	CO
KING FRANK I/CAROLYN S		321 BIG HORN DR UNIT DD1	ESTES PARK	80517	CO
KRAHN OLIVER J/RENEE F		1217 RAND WAY	SUPERIOR	80027	CO
LEE MICHAEL/JULIE		311 FAR VIEW DR	ESTES PARK	80517	CO
LIN LI JIAN		9667 NEWLAND CT	WESTMINSTER	80021	CO
LINK JUDITH C		8474 THUNDERHEAD DR	BOULDER	80302	CO
LITTLE TERRY HAMMOND/MARCIA LYNN		1109 MONACO PKWY	DENVER	80220	CO
MANHOFF EDNA SUE		5033 HARRIER DR	MESQUITE	75181	TX
MANOLOV LUBOMIR/YANA		2216 HUMBOLDT AVE	MINNEAPOLIS	55405	MN

MARK MAYO ENTERPRISES INC	457 E WONDERVIEW AVE	ESTES PARK	CO	80517
MARK MAYO ENTERPRISES INC	457 E WONDERVIEW AVE	ESTES PARK	CO	80517
MITCHELL GENE M/HALAH	315 BIG HORN DR UNIT K	ESTES PARK	CO	80517
MONGE ROLF H PH D	PO BOX 6337	LONGMONT	CO	80501
MURPHYS RIVER LODGE LLC	10047 ALLISON CT	BROOMFIELD	CO	80021
NEWSOM G WAYNE/PATRICIA FRYE	PO BOX 2812	ESTES PARK	CO	80517
PAIK LEO/LINDA E	9493 SAULSBURY CT	WESTMINSTER	CO	80021
PALLISSARD ROBERT J & GALE	350 FAR VIEW DR	ESTES PARK	CO	80517
PLUGGE DALE L	1763 PERSHING RD	COLUMBUS	NE	68601
PRIES ROBERT/JILL	1107 MCINTOSH AVE	BROOMFIELD	CO	80020
PRINCE CAROL B	PO BOX 3832	ESTES PARK	CO	80517
PROFFITT JENNIFER L	418 STANLEY AVE 3	ESTES PARK	CO	80517
RAUP OMER B/PHYLLIS H	1310 E HECLA DR NO 33	LOUISVILLE	CO	80027
RAYMER GREGORY A	PO BOX 49241	DENVER	CO	80249
RENNER FREDRICK H & GERTRAUD	418 W 12TH ST	LOVELAND	CO	80537
RITZMAN LIVING TRUST	450 FAR VIEW LN	ESTES PARK	CO	80517
RIVAS-MARQUEZ MANUELA	PO BOX 4216	ESTES PARK	CO	80517
SCANLAN THOMAS J/SHARON H	17254 ARROWHEAD SPRINGS TRL	LITTLETON	CO	80127
SCHWARK RENEE	13938 LEXINGTON DR	WESTMINSTER	CO	80023
SHAKYA MAHESH/RAMESH	321 BIG HORN DR UNIT B3	ESTES PARK	CO	80517
SILVERMOON INN LLC	175 SPRUCE DR	ESTES PARK	CO	80517
SKAHAN ROBERT E/PATRICIA A	315 BIG HORN DR UNIT L	ESTES PARK	CO	80517
SWEET BARRY K/JOAN A	315 BIG HORN DR UNIT G	ESTES PARK	CO	80517
TESSLER JOHN A/SALLY S	3530 CHARLESTON LN	BEAUMONT	TX	77706
THOMPSON MELISSA D	300 FAR VIEW DR UNIT B5	ESTES PARK	CO	80517
TOWN OF ESTES PARK	PO BOX 1200	ESTES PARK	CO	80517
WEHR JAMES L & LEEANN	PO BOX 395	TUMACACORI	AZ	85640
WHITE STEPHEN M/CATHY M	1805 N BROAD ST	GALESBURG	IL	61401
WILLIAMS LAURA LYNN	PO BOX 7212	WACO	TX	76714
WILLINGHAM RONALD J/SHERYL J	905 CANDACE LN	ALTUS	OK	73521
WRENN VAN C/CYNTHIA L	15313 IOWA ST	BENNINGTON	NE	68007
YARGER CAROLYN JANE REVOCABLE TRUST	315 BIG HORN DR UNIT C	ESTES PARK	CO	80517
ZIEMKOWSKI MARK O/LESLIE B	331 FAR VIEW DR	ESTES PARK	CO	80517

SCHMID STEFAN

AMENDED PLAT
OF LOT 5, SUNNY ACRES ADDITION TO THE TOWN OF ESTES PARK,
COUNTY OF LARIMER, STATE OF COLORADO



SCALE 1" = 20'

LEGEND

- MEASURED DIMENSIONS
- PLATTED OR DEEDED DIMENSIONS
- FOUND MONUMENTATION
- ALLOTMENT MONUMENTATION
- SET #4 REBAR WITH PLASTIC CAP STAMPED "PLS 26874"
- DEDICATED ACCESS AND UTILITY EASEMENT

LOT AREA INFORMATION

LOT 5 = 50,822 S.F. = 1.17 ACRES
NEW AREA = 50,822 S.F.
PARCEL #85682-10-028
S.F. = 1,06 ACRES
METES & BOUNDS PARCEL = 4,609 S.F. = 0.11 ACRES

SURVEY NOTES: THIS SURVEY AND CASSETTE INFORMATION WAS TAKEN FROM THE PLAT OF LOT 5, SUNNY ACRES ADDITION TO THE TOWN OF ESTES PARK, COUNTY OF LARIMER, STATE OF COLORADO, RECORDED IN BOOK 1738 PAGE 279, RECORDED IN BOOK 1750 PAGE 323 AND AMENDED PLAT #57003184 AND MODIFIED AT RECEPTION #2004007264 IS HEREBY VACATED BY THIS PLAT. (REPLACED WITH DEDICATED EASEMENT SHOWN SEE SURVEYOR NOTE #3.)

EXISTING ACCESS EASEMENT RESEARCH WAS PERFORMED AND IT WAS DETERMINED THAT ALL EXISTING ACCESS EASEMENTS HAVE EITHER BEEN ABANDONED OR ARE NOT SPECIFIC ENOUGH IN THIS SURVEY TO BE MAINTAINED. THE LOCATION OF THE ORIGINAL ACCESS EASEMENT IN BOOK 1738 PAGE 279, RECORDED IN BOOK 1750 PAGE 323 AND AMENDED PLAT #57003184 AND MODIFIED AT RECEPTION #2004007264 IS HEREBY VACATED BY THIS PLAT. (REPLACED WITH DEDICATED EASEMENT SHOWN SEE SURVEYOR NOTE #3.)

THE UNLAWFUL UNIT FOR THIS SURVEY IS THE U.S. SURVEY FOOT.

ACCORDING TO COLORADO STATUTES, THE DATE OF THE DATE YOU FIRST DISCOVER SUCH DEFECT SHALL BE THE DATE YOU SHOULD BE CONSIDERED TO HAVE DISCOVERED SUCH DEFECT. THERE SHALL BE NO DEFECT IN THIS SURVEY UNLESS YOU FIRST DISCOVER SUCH DEFECT WITHIN TEN YEARS FROM THE CERTIFICATION DATE SHOWN HEREON.



FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 9485" ADDED ALUMINUM CAP STAMPED "W.L."

FOUND #4 REBAR WITH PLASTIC CAP STAMPED "5488"

FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 26874" LOCKED IN PLACE WITH 0.92" OF ACCEPTED MONUMENT

FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 26874" LOCKED IN PLACE WITH 0.92" OF ACCEPTED MONUMENT

FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 26874" LOCKED IN PLACE WITH 0.92" OF ACCEPTED MONUMENT

FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 26874" LOCKED IN PLACE WITH 0.92" OF ACCEPTED MONUMENT

NO.	DATE	REVISION



CERTIFICATION OF OWNERSHIP AND DEDICATION
I, THE UNDERSIGNED, BEING THE OWNERS OF THAT PART OF THE NW 1/4 OF SECTION 25, TOWNSHIP 3 NORTH, RANGE 73 WEST OF THE 6TH P.M. LARIMER COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO-WIT:
ALL OF LOT 5, SUNNY ACRES ADDITION TO THE TOWN OF ESTES PARK, COUNTY OF LARIMER, STATE OF COLORADO, RECORDED IN BOOK 1738 PAGE 279, RECORDED IN BOOK 1750 PAGE 323 AND AMENDED PLAT #57003184 AND MODIFIED AT RECEPTION #2004007264 IS HEREBY VACATED BY THIS PLAT. (REPLACED WITH DEDICATED EASEMENT SHOWN SEE SURVEYOR NOTE #3.)

TOWN ENGINEER'S CERTIFICATE
APPROVED BY THE TOWN ENGINEER OF ESTES PARK THIS ____ DAY OF 20__

NOTARY PUBLIC
I, _____, DO HEREBY CERTIFY THAT THIS AMENDED PLAT OF LOT 5, OF SUNNY ACRES ADDITION TO THE TOWN OF ESTES PARK, TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION.

BEARING STATEMENT
BEARINGS AND DISTANCES ARE BASED ON THE ASSUMPTION THAT THE SOUTH LINE OF THE METES AND BOUNDS PARCEL NO. 85682-10-028 BEARS TRUE BEARINGS AS SHOWN ON THIS PLAT.

VESTED RIGHTS STATEMENT
THIS PLAT DOES NOT VESTED PROPERTY RIGHTS PURSUANT TO ARTICLE 68 OF THE STATE CONSTITUTION.



LAZY B RANCH & WRANGLERS SPECIAL REVIEW 2016-01 – PUBLIC COMMENT

Due to the extensive amount of public comment, copies were not made for Commissioner's notebooks.

Comments can be viewed at www.estes.org/currentapplications. Open the project labeled "Highway 66 – 1665 – Lazy B Ranch & Wranglers Special Review 2016-01. Public Comment is the last item on the list. The most recent comments are always placed at the top of the document. It is likely we will receive additional public comments until the meeting on Tuesday. Please check the website often for new comments. I will try to keep it updated on an hourly basis, if needed.

If you prefer hard copies of the public comments, please let me know. I will be happy to print them for you.



Lazy B Ranch and Wranglers Special Review Development Plan

Estes Park Community Development Department, Planning Division
Room 230, Town Hall, 170 MacGregor Avenue
PO Box 1200, Estes Park, CO 80517
Phone: 970-577-3721 Fax: 970-586-0249 www.estes.org

ESTES VALLEY PLANNING COMMISSION

MEETING DATE & LOCATION: April 19th, 2016, 1:30 PM; Board Room, Town Hall,
170 MacGregor Avenue.

APPLICANT REQUEST:

Special Review Development Plan

STAFF OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC) and Estes Valley Comprehensive Plan; and
2. Provide a recommendation to the Planning Commission.

PLANNING COMMISSION OBJECTIVE:

1. Review for compliance with the Estes Valley Development Code (EVDC) and Estes Valley Comprehensive Plan;
2. Conduct a public hearing to consider applicant's testimony, public comment, and Town staff's findings and analysis; and
3. Provide a recommendation to the Estes Park Town Board of Trustees of approval or denial of the Special Review Development Plan application.

LOCATION: 1665 HWY 66, within the Town of Estes Park

OWNER/APPLICANT:

Randy Jackson and Michael Andrejek / Michelle Oliver

CONSULTANT/ENGINEER:

Engineer: Celine LeBeau, VanHorn Engineering & Surveying
Architect: Basis Architecture

STAFF CONTACT: Audem Gonzales, Planner I

REPORT SUMMARY AND PROJECT BACKGROUND:

This report describes a request for approval of a Special Review Development Plan to develop a 750 person capacity Chuckwagon Dinner and Live Entertainment facility on a 5-acre site located at 1665 HWY 66, within the Town of Estes Park. The property is zoned A-Accommodations. The development site is a small portion of the much larger 30.75-acre site that currently accommodates the Elk Meadow RV Resort. The proposal includes a 17,910 sq. ft. building, 192 space parking lot, widening of Mills Drive, installation of a right turn lane on Spur 66, and landscaping. The Development Plan is phased out into three phases over the course of 3 years.

Staff has reviewed this application for compliance with the Estes Valley Development Code and finds that if revised to comply with conditions of approval, the application will comply with applicable regulations. Therefore, staff recommends

approval of the Special Review Development Plan application, subject to conditions described in the staff report.

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SITE DATA MAPS AND TABLE:

The 5-acre development site includes frontage on Mills Drive. The land uses surrounding the site vary, with uses to the west being offices, facilities, and emergency response for Rocky Mountain National Park, uses to the south being single-family residential, a restaurant/tavern use to the east, and a RV park/campground to the north. Figure 1 (below) shows the overall vicinity of the project from an aerial view. Figure 2 shows the zoning districts in the vicinity of the development. Figure 3 shows Mills Drive, a 20-foot asphalt private drive, looking northwest.



Figure 1: Aerial Vicinity Map of Development Site



Figure 2: Zoning Map



Figure 3: Mills Drive looking northwest

Site Data Table

Parcel Number: 3534100001	Project Area: ~5-acres of the 30.75-acre parcel
Existing Land Use: The project area is currently used as RV overflow and storage	Proposed Land Uses: Entertainment Event, Major: (Chuckwagon Dinner and Live Entertainment Facility)
Services:	
Water: Town of Estes Park	Sewer: Upper Thompson Sanitation District
Open Space: Required: N/A	
Lot Coverage: Maximum allowed: 50%	Proposed: 22.3%
Building Uses:	
Phase 1: kitchen, bathrooms, mechanical room, employee bathroom, office, and employee lounge	4,560 sq. ft.
Phase 2: dining/performance hall	12,200 sq. ft.
Total Built Square Footage	17,910 sq. ft.
Hazards/Physical Features:	Mapped in the project vicinity?
Wildfire Hazard	No
Geologic Hazard	No
Wetlands	Yes
Streams/Rivers	No
Ridgeline Protection	No
Sensitive Wildlife Habitat	No

REVIEW PROCESS:

This application package includes:

Special Review of Development Plan Review (§3.5): A Special Review is required for this development plan. The proposed construction of an *Indoor Entertainment Event, Major* in the A-Accommodation zone district prompted the Special Review requirement.

Development Plans shall comply with all applicable standards set forth in the EVDC and demonstrate consistency with the policies, goals and objectives of the Comprehensive Plan. Special Review requires applications mitigate, to the maximum extent feasible, potential adverse impacts on nearby land uses, public facilities and services, and the environment.

Recommending Body: Estes Valley Planning Commission

Decision-Making Body: Estes Park Board of Trustees, tentatively scheduled for May 24, 2016.

Variances (§3.6): The BOA shall hear requests for variances where it is alleged that the provisions of this Code inflict unnecessary hardship and practical difficulties upon the Applicant.

Decision-Making Body: Estes Valley Board of Adjustment

Minor Modifications (§3.7): A minor modification is required for the 2.6' encroachment into a designated wetland setback.

Decision-Making Body: Staff level approval

REVIEWING AGENCY COMMENTS:

This request has been submitted to reviewing agency staff for consideration and comment. Received emails and memos are included as part of this staff report.

- **Town of Estes Park Shuttle Coordinator** memo dated January 21, 2016
- **Upper Thompson Sanitation District** memo dated January 25, 2016
- **Estes Valley Fire Protection District** memo dated January 27, 2016
- **Town of Estes Park Code Compliance Division** email dated January 28, 2016
- **Town of Estes Park Utilities Department** memo dated February 1, 2016
- **Town of Estes Park Public Works Department** memo dated February 19, 2016
- **Rocky Mountain National Park** memo received February 26, 2016
- **Larimer County Engineering** emails March 2, 2016 and April 6, 2016
- **Larimer County Department of Health and Environment** email dated March 4, 2016

PUBLIC COMMENTS:

In accordance with the notice requirements in the Estes Valley Development Code, legal notices were published in the Estes Park Trail-Gazette. Typical mailings include a 500-foot radius.

As of April 7, 2016, several written comments have been received for this application package. Written comments will be posted to www.estes.org/currentapplications if received after April 7, 2016.

The public comments received thus far have been mostly in opposition to the proposal. The majority of the written comments are from adjacent property owners. The most prevalent concerns they bring up are; traffic along Mills Drive, noise from the events held at the facility, and the parking situation for the Rock Inn. There have been a couple written public comments in support of this project which mention; continuing the cowboy/western tradition of Estes Park, diversifying entertainment businesses in Estes Park and building on previous Lazy B memories.

The applicant held a public meeting at the Estes Valley Library in the Hon dius Room on February 17th, 2016 from 6-7PM. Area residents were encouraged to attend and listen to a presentation and ask questions. A second public meeting at the Estes Valley Library was held on March 28th, 2016 from 7-9PM.

STAFF REVIEW:

Estes Valley Development Code

The following is a summary of the proposed development's compliance with applicable sections of the EVDC.

Use, Density and Dimensional Standards

Use (EVDC §4.4)

The proposed chuckwagon dinner and live entertainment facility is classified as an Entertainment Event, Major (indoor facility) use. General definition: Major entertainment event uses are characterized by activities and structures that attract people to specific (often large-scale) events or shows. Activities are generally of spectator nature. Accessory uses may include restaurants, bars, concessions, parking and maintenance facilities.

Entertainment Event, Major uses are permitted by Special Review in the A-Accommodations zone district.

Density and Dimensional Standards (EVDC §4.4; Table 4-5)

The following table demonstrates the application's compliance with the EVDC Density and Dimensional Standards.

	Required	Proposed
Minimum Lot Size	40,000 sq. ft.	~217,800 sq. ft.
Maximum Building Height	30-feet (32-feet allowed with slope adjustment)	26.25-feet
Maximum Floor Area Ratio	N/A	0.08%
Front Setback	15'	15'



Side Setback	15'	15'
Rear Setback	10'	10'

Lot Coverage (EVDC §4.3)

Lot coverage represents those parts of the site that are covered by development that prevents or impedes the passage or absorption of stormwater (e.g. buildings, parking, sidewalks). The development proposes a lot coverage percentage of 15%. The maximum allowed in the A-Accommodation zone district is 50%.

Grading and Site Disturbance Standards (EVDC §7.2)

The plan demonstrates compliance with general grading and site disturbance standards, including limits on raising or lowering natural grade and design of stormwater basins.

Tree and Vegetation Protection (EVDC §7.3)

The subject site has very little vegetation currently. There are a few trees located where the proposed parking lot is located. These trees will be replaced in the proposed landscaping plan for the site.

Landscaping and Buffers (EVDC §7.5)

The landscaping requirements for this development proposal include; street buffer landscaping, parking lot perimeter and interior landscaping, and interior site landscaping. The applicant has proposed a Three Phase landscaping plan that meets the requirements of Code, Phase 1 includes street buffer landscaping with 19 proposed trees and numerous shrubs and other plantings. Phase 2 includes 38 trees in and around the parking lot. This phase also includes numerous shrubs and other plantings. Phase 3 includes interior lot landscaping around the building. This phase proposes 7 trees and numerous shrubs and other plantings.

The overall landscaping plan calls for an extensive landscaped site with a variety of species. The street landscaping plan provided exceeds the street landscaping requirements of Code. All trees along Mills Drive will be planted 5 feet away from water and sewer mains to ensure there is no conflict with these lines. All landscaping will be irrigated with an automated underground irrigation system.

Wetlands and Stream Corridor Protection (EVDC §7.6)

This Section sets forth buffer and setback requirements intended to protect wetlands, rivers and streams from hazards associated with development. There are no delineated river or streams on or near the subject area. Two potential wetland habitat areas have been identified and conservatively mapped for this submittal. A formal JWD (Jurisdictional Wetland Delineation) shall be conducted once soils are thawed. The first potential wetland area is located west of the pond located on the site. A very small portion of the main building decking (2.6') is located within the 50-foot wetland setback. This encroachment will require a staff level Minor Modification. The second potential wetland area is located on the extreme west end of the site. The wetland area drains into an existing 15" culvert then into an existing swale that empties into the existing pond. The parking lot is located outside of the 50-foot wetland setback on the west end of the site. Staff will place a condition on this development plan that a formal JWD study be performed with results submitted to Community Development Staff for review.



Wildlife Habitat Protection (EVDC §7.8)

A wildlife habitat evaluation and impact analysis was provided and found no critical habitat or threatened/endangered species habitat on the site. No local wildlife species will be adversely affected by the proposed project. The Lazy B development does not propose any obstructions to critical wildlife movement corridors.

Exterior Lighting (EVDC §7.9)

Exterior lighting will be located at the required entry points of the new building, attached to the building and will be shielded and deflected downward. The proposal calls for reducing exterior lightning after 10 PM. Approval of exterior building lightning shall be addressed during the building permitting process.

The applicant has not provided a photometric study for the parking lot with this proposal. The parking lot phasing plan calls for construction to take place in Phase Three of the development. If the parking area is determined to be too large, the configuration of the lot may change, requiring an Amended Development Plan which will require a photometric study for the proposed light poles. Currently, three light poles are proposed. For parking lots containing more than 100 spaces, the maximum height for exterior luminaries is 25-feet. Staff shall place a condition of approval that a photometric study be performed during any final parking lot construction.

Operational Performance Standards (EVDC §7.10)

All land uses and new development within town limits shall comply with the Town of Estes Park noise ordinance set forth in Section 8.06.030. Sound levels for the A-Accommodations zone district shall not exceed 55 decibels during the hours of 7AM-8PM and 50 decibels between the hours of 8PM and 7AM. Staff shall require the applicant to perform a noise level study at the property line prior to the first show in the temporary tent to ensure compliance with the noise ordinance.

Off Street Parking and Loading (EVDC §7.11)

This Section sets forth a requirement for a Parking Study projecting parking demand and recommendations for Major Indoor Entertainment Event facilities. The Traffic Impact study prepared by Delrich Associates anticipates a full parking lot of around 200 vehicles. This number was derived from assuming a family event will have a car load of 3-4 passengers. A 750 max attendance with a 3.75 carload equals 200 cars. The applicant has provided a parking lot of 192 spaces, 6 handicap accessible spaces, 1 loading space, 5 charter bus spaces and a 10 bike capacity bike rack.

The applicant has provided 5 parking spaces for tour buses in the parking lot. The business plan includes contracting with bus tour companies bringing an average of 50 people per bus which would vastly reduce the parking space requirement. The project proposal also intends to utilize the free shuttle that currently stops at the entrance of the Elk Meadows RV Resort. This project provides a soft surface trail from the shuttle stop to the event facility.

The plan proposes a 3-Phase build out with the parking lot being built in the third phase. The reason for this is because the actual facility will not be built until Phase 2. During Phase 2, the full 750 capacity may be reached. With tour buses, free shuttle, and anticipated family car loads, the applicant wishes to re-explore actual traffic counts during the first two phases. The parking lot may be re-designed to account for a lower amount of cars on-site. Staff finds this request to be reasonable.

Any parking lot reconfiguration in the near future will require an amendment to any approved plan.

Code requires street side loading areas to be setback at least 110-feet from the street center line. The proposal calls for a 61.6' street center line setback. The applicant has submitted a Variance application for this request.

Adequate Public Facilities (EVDC §7.12)

Adequate services and facilities are available to serve the development proposal.

Sewer.

The plan proposes to connect into existing Upper Thompson Sanitation District sewer system via a new 6" service line approximately 525-feet in length.

Water and electric service.

The plan proposes to extend a 12" water main on the north side of Mills Drive for approximately 250-feet. This project requires the water main extension and a 20' utility easement along the north side of Mills Drive. The remainder of the water main extension passed this point would be the sole responsibility of an adjacent property or development proposal. There is also potential for a future 12" waterline to continue along Mills Drive that would access Rocky Mountain National Park.

The existing overhead electric lines will be buried during the installation of the water main. They will be buried in the same trench as the water main and be included in the same 20' utility easement.

Drainage.

Current drainage is conveyed as sheet flow across the property until it reaches the pond or area below the pond. From there, it follows the off-site drainage path to the Big Thompson River. The on-site pond is utilized for pass through and drainage from the developed area. The post development on-site storm flow will be handled through a number of conveyance methods ranging from flow in streets/curb and gutter, overland flow, and flow through catch basins and in storm sewer pipes.

Fire Protection.

The Estes Valley Fire Protection District has included Conditions of Approval for the proposed development included in the enclosed memo dated January 27, 2016.

Transportation.

All developments shall be required to demonstrate that there will be no significant adverse impact on existing transportation level of service, access and vehicular movement on any Arterial or Collector Street or intersection within on-quarter mile of the site or that any such adverse impact has been mitigated to the maximum extent feasible.

The traffic study performed by Delrich Associates concludes that a southbound right turn lane is required at the intersection of Spur 66 and Mills Drive. The southbound right-turning traffic at the start peak hour meets the threshold requiring a right turn lane at this intersection. Given the other land uses that are served by Mills Drive, it is not likely that the right turn lane is or will be required during any other hour of the day. There is sufficient County ROW to accommodate a right turn lane at this

intersection, approximately 70-feet. Larimer County Engineering staff and Town of Estes Park Engineering staff have both agreed with the right turn lane requirement.

The traffic study also recommends a limited time all-way- stop sign control condition at the intersection of LCR69B/US HWY 66. This would require CDOT approval.

Currently, Mills Drive is approximately 20-feet wide with asphalt and no curb and gutter. Public Works is requiring the private drive to meet local street standards with 45-feet of dedicated ROW, 24-feet of asphalt and curb and gutter on both sides up to the entrance of the Lazy B development. Currently, the ROW width for the private drive is 30-feet. This proposal is dedicating an additional 15-feet on the north of Mills Drive. The existing 30-feet of ROW extends south of Mills Drive to the south end of the Elk Meadow property line. All road widening and curb and gutter will take place in the existing ROW for Mills Drive.

Street Design and Construction Standards (EVDC Appendix D)

This development triggers a sidewalk to be built along Mills Drive. The applicant and staff do not feel constructing the sidewalk at this time is reasonable as it would only extend to the property line to the east of this development. Public Works has requested that the design of the walk and a cost estimate be provided in order to allow cash-in-lieu for the sidewalk.

Other applicable standards found in Appendix D, such as street construction and design standards, driveway access, erosion control and tree and vegetation protection during construction and grading activities, shall be addressed with construction plans.

Estes Valley Comprehensive Plan

The proposed project is located within the Spur 66 Planning Sub-Area of The Estes Valley Comprehensive Plan. The property is designated as Multi-Family Residential which is not aligned with the current zoning, A-Accommodations. The sub-area plan has several listed guidelines that are unique to Spur 66 and either support or do not support the proposed project;

Guidelines that support project

- Commercial uses should not be extended along the Spur. They should be contained within their existing locations. *(Staff comment: The proposed commercial use is a permitted commercial use at this location by Special Review. The applicant is proposing a commercial project in an area that currently allows commercial uses.)*
- Maintain the character of the Spur by setting buildings well back from the roadway. *(Staff comment: The plan proposes to set the building back further from Mills Drive than the 15-foot setback requires. Also, this proposal places the facility approximately 240 feet from the east property line. The east property line is the closest boundary to Spur 66.)*
- The campground at the portal should not be expanded. Campgrounds should be limited to the existing number. *(Staff comment: This proposal greatly reduces the land availability for campground utilization and expansion. The applicant has stated they are interested in subdividing*

the parcel to have their use contained on a separate lot from the campground.)

Guidelines that do not support project

- The commercial campground at the Spur 66 Park entrance intersection should evolve into housing. (Staff comment: *The campground property is roughly 30.75-acres with this proposal using ~5-acres. There is adequate land to re-develop this entire site with various land uses.*)

In addition, Staff finds the proposed development advances several adopted Community-Wide Policies, including:

Community Design:

- Avoid the use of roofing materials which are light colored or reflect light.
- The natural colors of wood and stone are most desirable for building exteriors.
- Facades should be broken up with windows, doors or other architectural features to provide visual relief.
- Lighting should be shielded and directed downward, so that the light source is not visible from beyond the property line, and does not illuminate surrounding properties or the sky.

Growth Management:

- Encourage infill of older core areas in order to reduce infrastructure costs.

Mobility and Circulation:

- Implement access control improvements as development occurs.
- Encourage movement toward alternative modes of transportation.

Economics:

- Maintain a unique blend of businesses, resident and visitors, without negatively affecting the natural beauty of the Estes Valley.
- Sustain and support the existing tourism industry and marketing programs.
- Establish the basis for a sound tourism market and sustainable economic climate.

Intergovernmental Coordination:

- The Town and the County will encourage redevelopment and infill as a primary tool to create a compact community and to prevent sprawl.

Special Review Criteria

Special Reviews are development plans that include uses that by their nature have potential impact on surrounding properties. Specifically, these reviews require applications to mitigate, to the maximum extent feasible, potential adverse impacts on nearby land uses, public facilities and services, and the environment.

The applicant has identified several potential impacts on nearby land uses, public facilities and services, and the environment. Below is a summary of how the applicant has proposed to mitigate these potential impacts:

1. Traffic and parking considerations



- a. A traffic study was provided with this application and that study determined that at turn lane from Spur 66 onto Mills Drive will be required.
- b. Mills Drive is proposed to be widened to 24' with curb and gutter from the entrance onto Mills Drive from Spur 66 to the entrance of the Lazy B Ranch and Wranglers site.
- c. The entrance to the event facility is proposed to come off of Mills Drive to reduce the potential for backing up along Spur 66. Also, having the entrance off of Mills Drive is what would be required if this development area were to subdivide from the larger 30.75-acre parcel.
- d. The applicant has proposed hiring an off-duty traffic control officer during peak traffic periods each evening during the summer season.
- e. The applicant has proposed utilizing the free Estes Park shuttle service to offer an alternative mode of transportation to the event facility.
- f. The applicant has proposed contracting with bus tour companies to offer an alternative mode of transportation to the event facility. The proposed parking lot provides five parking spaces for tour buses.
- g. A shuttle service is proposed to be provided for Lazy B employee transportation to and from their homes.
- h. Limited employee housing may be provided on-site

2. Environmental Impacts

- a. The development area has one designated wetland area. The preliminary wetland screening has found a potential second wetland area on the far west side of the site. A formal Jurisdictional Wetland Delineation will be conducted once soils are thawed.
- b. No critical habitat or threatened/endangered species habitat were found on the site.

3. Noise impact and hours of operation

- a. The proposed hours of operation are 7 nights a week from 5-8PM.
- b. Music performances are proposed to occur only from 7-8PM.

4. Other potential impacts

- a. Light from headlights of cars as they exit should only occur for a short time period after 8PM. The extensive landscape buffer along Mills Drive offers a filter from light and noise.
- b. The viewshed to the north from residents south of Mills Drive will be improved by this development proposal. Currently, the view consists of broken down wire fence, high wires, piles of debris and dirt, and a lot full of RV's. This proposal calls for a tree lined Mills Drive with overhead power lines to be buried underground in the same trench that is excavated for the new water main. The proposed building will block the view of the RV lot and improve the overall appearance of the property.
- c. Dust from the dirt parking lot (first two project Phases) will be mitigated by surface spraying (water or soil tackifier) prior to events or during high wind storms.

Air Quality impacts

Rocky Mountain National Park has expressed concern about potential air quality issues this proposal may present by grilling large quantities of beef and chicken. Specifically, the release of particulate matter (PM) and volatile organic compounds (VOCs) into the air. The national park has evaluated weather data over the past ten years and determined from May through October (the proposed Lazy B operating season) the wind blows from the east 21% of the time. They have expressed concern that pollutants from food preparation will enter the park.

This concern was routed to the Larimer County Department of Health and Environment. They consulted with the Colorado Department of Public Health and Environment on the air quality regulations. It is opinion of the LCDHE that the Lazy B source by itself does not rise to the level of needing an air emissions permit unless a charcoal or wood-fired cooker will be used and exceed the threshold amount of 17 tons of wood/year

Variances and Minor Modification requests

The applicant for the Lazy B Ranch is requesting one Variance and one Minor Modification from the Estes Valley Development Code.

1. Variance to 7.11.N.2.b. Off-Street Loading Requirements: location
Street side loading docks shall be set back at least seventy (70) feet from the street property line or one hundred ten (110) feet from the street center line, whichever is greater.

This proposal places the loading space 61.6' from the proposed Mills Drive center line. This distance does not comply with Code requirements, therefore a Variance has been applied for by the applicant.

2. Minor Modification to 7.6.E.2.b Wetland and Stream Corridor Protection Buffer/Setback
The proposed plan shows the covered deck of the main facility building encroaching into a 50-foot wetland setback by 2.6'. All buildings, accessory structures and parking lots shall be set back at least fifty (50) feet horizontally from the delineated edge of a wetland.

Per Code requirements for Minor Modifications, up to a 10% deviation from general development standards may be granted at a Staff Level if the modification advances the goals of the Comprehensive Plan and relieves a practical difficulty in developing the site.

Community Wide Policy in the Comprehensive Plan

- 2.2 Locate and design buildings to fit the land. Avoid excessive cuts and fills by stepping buildings down sloping sites.

Staff comment: The 15-foot front setback on this site greatly inhibits the buildable area of the site. Coupled with landscaping buffer widths and a second wetland setback area, the applicant has proposed a building that fits the needs of their use that is mostly contained outside of any setback. A 2.6'

encroachment into a wetland setback is very minimal. Staff finds that the building is designed to fit the land and natural barriers that are on-site.

Development Phasing Plan

Phase 1 (2017): Permanent kitchen and bathroom facilities (4,560 SF), ADA compliant concrete sidewalks, paved ADA compliant parking spaces, temporary dining tent (8,712 SF total, 63 tables and 200 SF indoor stage), dirt parking lot, landscape buffer along Mills Drive, Mills Drive road improvements, new site entrance off Mills Drive, water main extension, sanitary sewer service line, and soft surface trail from tent site to free shuttle stop on Spur 66.

Phase 2 (2018): Construction of final dining/performance hall (12,200 SF), when added to the previous 4,560 SF will total 17,910 SF), internal lot landscaping, and installation of right-turn lane at the intersection of Spur 66 and Mills Drive.

Phase 3 (2019): Construction of parking lot, parking lot curb and gutter, storm sewer installation, parking lot landscaping.

STAFF FINDINGS:

Based on the foregoing, staff finds:

1. If revised to comply with recommended conditions of approval, the application will comply with applicable sections of the Estes Valley Development Code, as described in the staff report.
2. The application is consistent with the policies, goals and objectives of the Comprehensive Plan.
3. Adequate services and facilities are available to serve the development.
4. The Planning Commission is the Recommending Body, and the Town Board of Trustees is the Decision-Making Body for the Special Review application.

STAFF RECOMMENDTION:

Staff recommends **APPROVAL** of the Special Review application subject to the following **CONDITIONS**:

1. Compliance with affected agency emails and memos:
 - a. **Upper Thompson Sanitation District** memo dated January 25, 2016
 - b. **Estes Valley Fire Protection District** memo dated January 27, 2016
 - c. **Town of Estes Park Utilities Department** memo dated February 1, 2016
 - d. **Town of Estes Park Public Works Department** memo dated February 19, 2016
 - e. **Larimer County Engineering** emails March 2, 2016 and April 6, 2016
2. The applicant shall submit an amended road design plan set addressing the comments from Larimer County Engineering in regards to the right turn lane being extended.
3. The applicant shall amend the development plan set as follows:

- a. Change 125PPL/Bus to 50PPL/Bus
 - b. Remove installation of right turn from Phase 1 and include in Phase 2 plan
 - c. Under required parking, change 3.5 people/vehicle to 3.75 people/vehicle, per traffic study analysis.
 - d. Change required 215 spaces to 200 spaces, per traffic study analysis
 - e. Change water main extension distance to building from 525' to 250'
4. Variance approval by the Board of Adjustment is required for off-street loading area location.
 5. A noise reading shall be performed prior to the first show in the temporary tent to ensure compliance with the noise ordinance. Noise study results shall be submitted to staff for review and approval.
 6. Dust mitigation efforts shall be performed by the applicant as proposed in the Statement of Intent for the Phase 1 and Phase 2 dirt parking lot prior to every show and during high wind storm events.
 7. A JWD (Jurisdictional Wetland Delineation) shall be conducted on the site to formally delineate the potential wetland areas. Results shall be submitted to staff prior to the Board of Trustee meeting.
 8. Plans for the food service operations shall be approved by the Larimer County Department of Health and Environment prior to issuance of a building permit.
 9. A photometric study shall be submitted to staff before construction of the final parking lot design.
 10. 20' Utility easement shall be recorded separately from development plan
 11. Construction plans shall be reviewed and approved prior to issuance of any building or grading permit.

SAMPLE MOTIONS

1. I find that the application substantially meets the criteria above, and move to recommend **APPROVAL** of the Special Review application with the conditions recommended by Staff.
2. I find that the application does not substantially meet the criteria above, and move to recommend **DENIAL** of the Special Review application.
3. I find that the applicant has not provided sufficient information to review the application and move to **CONTINUE THE HEARING** to provide adequate time to review additional materials.

Attachments:

1. Statement of Intent
2. Application
3. Public meeting #1 minutes
4. Development Plan Set
5. Traffic Study Memo
6. Reviewing Agency Comments





TOWN OF ESTES PARK



Development Review Comments

January 21, 2016

To:

Audem Gonzales

Re:

Lazy B Ranch & Wranglers
Two Metes & Bounds parcels
1665 Hwy 66

Audem,

There are no comments from the Transportation Department (Town shuttles) regarding the proposal.

Respectfully submitted,

Brian Wells

Shuttle Coordinator
Visitor Services
Community Services Department
Town of Estes Park

Office: 970-577-3963
Email: bwells@estes.org
Web: www.estes.org/shuttles



P.O. Box 568 • Estes Park, CO 80517
Ph: 970-586-4544 • Fax: 970-586-1049
www.utsd.org

January 25, 2016

Audem Gonzales Planner I
Town of Estes Park
P.O. Box 1200
Estes Park, CO 80517

Re: Lazy B Ranch & Wranglers
Two Metes & Bounds parcels
1665 Hwy 66

Dear Audem:

The Upper Thompson Sanitation District submits the following comments for the above referenced property:

1. Per Van Hom Engineering flow calculations a 6 inch sanitary sewer will be adequate to service the proposed facility.
2. The District will require the proposed sanitary sewer to be installed per District Rules and Regulations. Metal slip top boxes will be required over 4 inch cleanouts in the roadway to protect the cleanouts.
3. An external grease interceptor for proposed building shall be sized and installed according to District Rules and Regulations.

If you have any questions or need further assistance, please do not hesitate to contact me.

Respectfully,

Todd Krula
Lines Superintendent



ESTES VALLEY FIRE PROTECTION DISTRICT

Serving the Residents and Visitors of the Estes Valley with Superior Fire and Safety Services.

PLAN REVIEW COMMENTS

Date: January 27, 2016

Project Identification: Lazy B Ranch Chukwagon and Theater

Location: 1665 HWY 66

Referral: Completeness Review for "Lazy B Ranch Chukwagon and Theater

The Estes Valley Fire Protection District has reviewed the submitted material describing the proposed project referenced above, and has the following comments (conditions of approval):

Phase one Temporary Dining Tent. (Conditions of approval):

1. Please see Tent & Canopy Checklist for permitting (plan submittal requirements) and Tent & Canopy General Requirements sheet attached. Tents or membrane structures shall not be located within 20 feet of lot lines, buildings, other tents or membrane structures, parked vehicles or internal combustion engines. For the purpose of determining required distances, support ropes and guy wires shall be considered as part of the temporary membrane structure or tent.
2. A tent permit applications, plans and fee schedule shall be submitted to the Estes Valley Fire Protection District.

Phase one kitchen / Bathrooms and new Dining Building (Conditions of approval).

1. The proposed (extinction) water line and fire hydrant shall be in phase one.
2. Per Fire Code Section 503.2.3 fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities. Field inspection required.
3. Fire apparatus access roads shall be permanently signed and / or marked "NO PARKING FIRE LANE" in accordance with municipal sign/traffic standards.
 - A. Access roads less than 26 feet wide shall be marked as fire lanes on both sides of the road.
 - B. Access roads at least 26 feet wide but less than 32 feet wide shall have at least one side of the road marked as a fire lane.
 - C. Access roads at least 32 feet wide need not have fire lane markings.

Prior to the issuance of a building permit the following requirements shall be met:

1. Construction plans (access / roads, water line system design) shall be reviewed and must meet approval of the Fire District.
2. The new required fire hydrant shall be installed. The hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the fire District. The Town of Estes Park must approve the installation and oversee the testing of water mains and hydrants.



ESTES VALLEY FIRE PROTECTION DISTRICT

Serving the Residents and Visitors of the Estes Valley with Superior Fire and Safety Services

3. Estes Valley Fire Protection District understands that this building will be protected by an automatic sprinkler system and fire alarm system based on occupancy (chapter 9). The following requirements shall apply:
- A. An on-site hydrant flow test shall be conducted by the Water Division / Fire District. The responsible party shall contact the Fire District office at 970-577-3689 to arrange for the flow test.
 - B. All underground mains and lead-in connections to sprinkler system risers shall be completely flushed before connection is made to the sprinkler piping. A completed "Contractor's Material and Test Certificate for Underground Fire Line Piping" is required to be forwarded to the Fire District prior to rough-in sprinkler inspections. Private contractor installing underground fire line piping between a public water main and a sprinkler system shall provide the Fire District with evidence that they are currently registered with the Colorado Division of Fire Safety as a Fire Suppression System Contractor- Underground. The fire service main shall be hydrostatically tested at not less than 200 psi for two hours and flushed at a minimum flow rate as determined by the pipe size for a sufficient time to ensure thorough cleaning. The Fire District has not reviewed the fire alarm plans for code compliance. See Fire Permits below.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition) and the International Building Code (2009 Edition).

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Estes Valley Fire Protection District. If you have any questions please feel free to contact me.

Sincerely,

Marc W. Robinson
Fire Marshal
970-577-3689
mrobinson@estesvalleyfire.org

Audem Gonzales <agonzales@estes.org>

Fwd: REFERRAL FOR COMMENT: COMPLETENESS REVIEW - Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special Review 2016-01

1 message

Linda Hardin <lhardin@estes.org>

To: Audem Gonzales <agonzales@estes.org>

Thu, Jan 28, 2016 at 4:26 PM

Hey Audem,

The Elk Meadow RV Park has an outstanding code compliance issue that should be resolved before they open in May. Until that case is closed, no permits should be allowed.

Thanks,
Linda

----- Forwarded message -----

From: **Karen Thompson** <kthompson@estes.org>

Date: Wed, Jan 20, 2016 at 4:31 PM

Subject: REFERRAL FOR COMMENT: COMPLETENESS REVIEW 2016-01

66 - Lazy B Ranch & Wranglers Special Review 2016-01

To: Frank Lancaster <flancaster@estes.org>, Alison Chilcott <achilcott@estes.org>, 05 Kevin Ash <kash@estes.org>, publicworks <publicworks@estes.org>, 07 Susie Parker <sparker@estes.org>, 08 Jeff Boles <jboles@estes.org>, Cliff Tedder <ctedder@estes.org>, Steven Rusch <srusch@estes.org>, 09 Reuben Bergsten <rbergsten@estes.org>, Joe Lockhart <jlockhart@estes.org>, Will Birchfield <wbirchfield@estes.org>, 12 Marc Robinson <mrobinson@estesvalleyfire.org>, Linda Hardin <lhardin@estes.org>, Kate Rusch <krusch@estes.org>, 22 Traci Shambo <tshambo@larimer.org>, cjones@larimer.org, 32 Rick Spowart <rick.spowart@state.co.us>, Chris Bieker <chris@utsd.org>, 43 Todd Krula <todd@utsd.org>, Matt Allen <matt@utsd.org>, 44 Melissa Mason <Melissa@utsd.org>, Larry Gamble <larry_gamble@nps.gov>, Brian Wells <bwells@estes.org>
Cc: Audem Gonzales <agonzales@estes.org> virtualsupport oliver@gmail.com, Celine LeBeau <celinevhe@airbits.com>

Good Afternoon -

Attached please find the guidelines for commenting on **COMPLETENESS** for the project listed above. All review documents can be found at www.estes.org/currentapplications. Scroll to Highway 66 - 1665.

Completeness comments are due on or before **Monday, February 1, 2016**. Please copy the applicant (virtualsupport.oliver@gmail.com) and the consultant (celinevhe@airbits.com) on your comments. Thank you.

I will be out of the office beginning January 21, 2016, returning February 1, 2016. **Please send all comments directly to Audem Gonzales at** agonzales@estes.org. Thank you.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org



TOWN OF ESTES PARK

Inter-Office Memorandum

To: Community Development

From: Steve Rusch

Date: 2/1/2016

Re: REFERRAL FOR COMMENT: COMPLETENESS REVIEW - Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special Review 2016-01

The Utilities Department has the following Completeness Review comments for the above application:

Water Division:

The above application is complete for Water Division review but **not approved** as waterline construction drawings for the water line installation or issuance of any building permits.

For verification, this property must show proof of inclusion in the Northern Colorado Water Conservancy District and the Municipal Subdistrict.

A Water Main Extension will be required for service, including Fire Protection. This infrastructure must be installed; testing performed/passed and accepted by the Division prior to issuance of any building permits. Any project phasing of the infrastructure must be submitted with the construction drawings for approval prior to construction. Phased infrastructure must be completed and accepted prior to issuance of any building permits within the phase.

Construction Drawings are required and must be submitted for review, approval and signatures by the Utilities Director or his designated representative. No installation of any project infrastructure is allowed until the Construction Drawings have been signed. All water main lines and easements must be deeded to the Town of Estes Park. Along with the submission of the construction drawings provide the contact information of the firm or person acting as Utility Construction Manager for the project.



TOWN OF ESTES PARK

Inter-Office Memorandum

Construction drawings must include:

- Plan and profile to show potential conflicts between water and other utilities including culverts, show Utility Easement locations when utility is not in Road Right of Way.
- Metering/Tap location plan (drawing) indicating tap locations and sizes, water meter locations and sizes, and buildings served by each.

All water line design and construction shall be done according to the Water Utility Policies and Standards. All water main lines and easements must be deeded to the Town of Estes Park.

All domestic water service lines are required to have a pressure reducing valve installed at the point of entry to the building. Applicant must contact the Water Division (970)577-3625 to discuss additional plumbing requirements.

All water lines are required to have a minimum of 10 ft. horizontal separation from both sanitary sewer and storm sewer. Additionally, water lines are required to have a minimum 4 ft. horizontal separation from all other utilities.

All commercial properties, fire suppression lines, multi-family dwellings and irrigation are required to have backflow prevention devices installed on the water service lines, contact Steve Rusch at 577-3625 or srusch@estes.org with any questions regarding the backflow devices or requirements.

A Metering/Tap location plan (drawing) including meter sizing, meter locations, tap locations and addresses served by each must be submitted to the Water Division prior to issuance of any building permits.

Engineering must contact the Water Division at 577-3625 for details regarding final tap and service line sizing prior to any construction.

If any structure is required to have a Fire Suppression System, a detailed drawing must be turned in to the Water Division noting:

- Location, sizing and type of backflow prevention device(s)
- Engineered flow requirements for the fire sprinkler system, pipe size based on NFPA Table 10.10.2.1.3, Fire flow produced at a maximum velocity of **10ft/sec.**

Pipe Size	Flow Rate
2"	100 gpm
4"	390 gpm



TOWN OF ESTES PARK

Inter-Office Memorandum

6"	880 gpm
8"	1560 gpm
10"	2440 gpm
12"	3520 gpm

Spill control method must be shown for proper disposal of discharge from the relief valve, indicating location and sizing of drainage capable of accommodating the discharge that could occur.

Fire suppression lines require both a chlorination and pressure test, conducted by a representative of the Water Division prior to acceptance. Any Fire suppression line servicing a building from the water main is a private service line and must be noted as such on the Development Plan and the Subdivision Plat. Future repair or maintenance required on this service is the sole responsibility of the property owner. Fire suppression lines require a state certified fire line installer and must have the appropriate forms completed and submitted to the Estes Valley Fire Marshal.

All construction and processes shall be in accordance with the provisions of the International Fire Code (2009 Edition), the International Building Code (2009 Edition) and Town of Estes Park Codes and Standards.

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Town of Estes Park Water Division.

Light and Power:

- Please schedule a required meet at site with Joe Lockhart, Line Superintendent at (970)577-3613.
- All trenching and conduit will be performed and installed by the Town of Estes Park Light and Power Division. This will be invoiced to the developer.
- Light and Power requires one 1½" orange PVC spare conduit from the junction box/transformer into the building at Light and Power's expense.
- Utility pedestals must be spaced at a minimum of one foot apart.



TOWN OF ESTES PARK

Inter-Office Memorandum

- Transformers cannot be placed more than 250 feet from the building being serviced.
- All new meter cans must have a bypass
- All infrastructures must be paid in advance to the Town of Estes Park. No Building permits will be approved by Light & Power until such time.
- All new construction must be underground.
- Service line trenching & conduit (between the meter and the building) to be provided and installed by developer to Town specifications.
- All other material will be purchased from & installed by the Town of Estes Park.
- All Town of Estes Park Light and Power lines, (Primary/Secondary) must have a 20 ft. utility easement. This easement can be shared by water, phone and cable.
- Water must be at least 4ft from electric.
- All services must be on the owner's property or be within a designated easement.
- The size of the service must be shown on the electrical drawings.
- All existing lines must be shown on the electrical drawings.
- Transformers/junction boxes must be in an easement, or if possible on the property line.
- All primary lines must be 4ft deep with red warning tape at 2ft.
- All subdivision must be designed by an electrical engineer.
- All pipes must be schedule 40 gray PVC pipe, if there are more than 4 pipes in a trench then all conduit must be put into a pipe rack. There must be 2-2inch and 2-4inch conduits in a primary trench.
- Town must have ownership of all road crossings.
- On underground electric services, it will be the electrician's responsibility to dig them into the transformers or pedestals.
- The electrician will need to schedule with L&P to unlock and open transformers or pedestals.
- All temporary and permanent electric services will be connected by Light & Power within 5 business days after the state electrical inspection & fees are paid.
- Permanent meter sockets must be permanently marked with address or unit number.



TOWN OF ESTES PARK

Inter-Office Memorandum

- All spare conduits will be provided by Light and Power and to be installed by the developer at their cost. **Light and Power will not reimburse contractor or developer for conduit obtained elsewhere.**

Nothing in this review is intended to authorize or approve any aspect of this project that does not strictly comply with all applicable codes and standards. Any change made to the plans will require additional review and comments by the Town of Estes Park Light and Power Division.



Memo

To: Community Development
From: Kevin Ash, PE, Public Works Engineering Manager
Greg Muhonen, PE, Director of Public Works
Date: February 19, 2016
RE: Lazy B Chuckwagon Development Plan

Public Works offers the following comments and conditions on the Lazy B Chuckwagon Development Plan application as submitted. Comments and Conditions are applicable for plans received on February 5th, 2016.

Transportation:

Lazy B Chuckwagon Traffic Impact Study (Delich Associates, 12-14-2015)

1. Condition: A southbound right turn lane on Spur 66 is recommended by the traffic study. The recommendation from the traffic engineer is that this turn lane not be installed in the first year of operation – but should be installed with the second year and phase 2 construction. Public Works agrees with this recommendation.
2. Condition: The traffic study recommends a limited time all-way stop sign control condition at LCR69B/Mills Drive. This would require CDOT approval. The viability of this mitigation measure should be explored further by the applicant.
3. Condition: Parking stops orientation for the Old Rock Inn indicate that guests at the establishment back into LCR69B to leave. This condition should not exist and the installation of a dedicated turn lane will only increase the conflicts with this situation. Further mitigation of this conflict should be explored and resolved.
4. Condition: Requested Waiver from Ordinance 8-05#, EVDC Appendix-D, Street Design and Construction Standards. Public Works does not have enough detail to support the applicant's request to not meet the maximum allowable road grades. There needs to be more information provided as to what the existing condition is (grades) and what the proposed is. What code requirement or standard specifically is not being met?
5. Condition: Requested Waiver from Section 7.11.O.2, EVDC Parking and Loading Area Design Standards. Public Works does support the applicant's request to not install parking lot paving and curb until Phase 3.

6. Condition: Requested Waiver from Section 10.5.D.2, EVDC Sidewalks, Pedestrian Connections and Trails. Public Works does not support the requested waiver as written. Design of the walk should be included in the plans. The design should show that a walk can be installed without impact to utilities, landscaping, roadway, adequate row, etc. The design should be in place to support the cost estimate. An agreement for construction of the walk funding (cash-in-lieu) could be supported.
7. Condition: Requested Waiver from EVDC 7.11D, Minimum Off-Street Parking Requirements. Public Works supports the applicant's request to defer the traffic study required parking spaces for the first 2 phases of construction. Total parking spaces will be required by Phase 3.

Drainage & Grading:

DRAINAGE REPORT (Van Horn Engineering & Surveying, January 20, 2016).

1. Condition: A developed drainage plan should be provided in the drainage report and include basins, contours, curb and gutter, slopes, inlets, swales, ponds and any drainage related structure.
2. Condition: Infrastructure calculations should clearly reference a specific item and location. Specifically – an inlet calculation worksheet for Parking Lot Area 1 is provided. However, there is not an adequate reference location map in the report to confirm that this is evaluated adequately.
3. Condition: The drainage report needs to detail the drainage impact at the Mills Drive/LCR69B intersection. Runoff from Mills Drive is being placed in curb and gutter and the outfall design and easement negotiation will need to be complete.

Miscellaneous:
PHASING PLANS

1. Condition: Phasing plans are confusing. Phase 1 plans should screen back proposed improvements that phases 2 and 3 will install. Parking Lot appears to be a fully installed improvement with Phase 1.



United States Department of the Interior

NATIONAL PARK SERVICE
Rocky Mountain National Park
Estes Park, Colorado 80517

IN REPLY REFER TO:
A3815 (ROMO)

FEB 26 2016

Estes Valley Planning Commission
P.O. Box 1200
Estes Park, CO 80517

Dear Commissioners:

We have reviewed the Lazy B Ranch & Wranglers development proposal. The subject property is contiguous with the east boundary of Rocky Mountain National Park, and Mills Drive serves as a primary means of ingress and egress for park offices, facilities, emergency response, and housing units for permanent and seasonal employees. There are several residential units occupied year-round by park employees that are located within 800 feet of the property, and we have office space and a fire station within 300 feet of the property. Because this project has the potential to impact park employees, service providers, and residents, we offer the following comments for your consideration:

1. We are not in favor of using Mills Drive as the primary access to the property due to traffic conflicts and current parking issues along the road. Rocky Mountain National Park and the Estes Valley Fire Protection District jointly operate a fire station located immediately west of the subject property. This fire station currently serves the west end of the Estes Valley, including the YMCA of the Rockies, and as our station for wildland fire response. We are concerned about egress for emergency vehicles on Mills drive at the conclusion of the nightly show. We would prefer to see the main entrance remain on Highway 66 where it is currently located.
2. We are not in favor of using a tent because of potential noise impacts. The stage show will use amplified sound for up to 180 days per year lasting one hour every evening. We believe the proposed activities belong within a building where amplified sound and crowd noise can best be mitigated.
3. To protect the night sky, we favor exterior lighting that uses sharp cutoff fixtures that are turned off each night following the conclusion of the show.
4. We would prefer to have an absolute date identified for paving the parking lot. While the parking lot remains unpaved, dust control will be important and should be diligently monitored and enforced.



5. For the chuck wagon supper, the Lazy B is planning to prepare up to 750 meals each night, which includes grilling beef and chicken. This has implications for air quality, including the release of particulate matter (PM) and volatile organic compounds (VOCs). VOCs contribute to the formation of ozone. The kitchen operation should comply with federal, state, and local air quality standards.

Rocky Mountain National Park is a Class 1 Airshed, which warrants special protection under the Clean Air Act. After evaluating weather data for the past ten years, we have determined that from May through October (the proposed Lazy B operating season) the wind blows from the east (anything on the compass rose from NNE to SSE) twenty-one percent (21%) of the time. During those times, and when the Lazy B is preparing food, the pollutants from the kitchen will be moving into the park.

We appreciate the opportunity to review the development proposal. If you have any questions or concerns about the comments we have provided, please contact Larry Gamble. He can be reached at (970) 586-1320 or larry_gamble@nps.gov.

Sincerely,



Ben Bobowski
Acting Superintendent

cc: Michelle Oliver
Randy Jackson
Van Horn Engineering - Celine LeBeau



Audem Gonzales <agonzales@estes.org>

Re: REFERRAL FOR COMMENT: COMPLETENESS REVIEW - Metes/Bounds located at 1665 Hwy 66 - Lazy B Ranch & Wranglers Special Review 2016-01

1 message

Traci Shambo <shambott@co.larimer.co.us>
To: Karen Thompson <kthompson@estes.org>
Cc: Audem Gonzales <agonzales@estes.org>, "celinevhe@airbits.com" <celinevhe@airbits.com>, Brian Fraaken <bfraaken@larimer.org>

Wed, Mar 2, 2016 at 4:53 PM

Karen (cc - Audem & Celine) -

I know this is only a completeness review at this time but I wanted to share a few comments we will want addressed at the preliminary stage.

- I discussed the sketch/preliminary turn lane concepts with our transportation folks. Our position is that the right turn lane needs to be constructed with this use. And we would like to see turn lane designed such that it is extended to include the adjacent driveway and then start the shortened taper. This would keep the driveway out of the taper.
- Access, circulation, and parking at the Rock Inn will be modified as a result of this plan. We would like assurances that the parking lot and access points will adequately function with the proposed design. We would also like information on whether there has been discussions with the owners of the Inn on these changes and what their position is regarding these changes.
- The plan discusses a curb and gutter section along Spur 66. We will want to see detailed elevations to verify that the drainage off of the Old Rock Inn parking area will still be conveyed downstream.
- More detailed construction and striping plans for the work in the ROW will be required with the preliminary and final reviews.
- County ROW work permits will be required for the work on Spur 66.
- The downstream path of flow, on the south side of Spur 66, between the two properties, should be confirmed to be adequate for any proposed changes in drainage patterns.

Perhaps a meeting at the site will be beneficial as part of the preliminary review process where more detailed information is submitted.

Thank you.

On Wed, Jan 20, 2016 at 4:31 PM, Karen Thompson <kthompson@estes.org> wrote:

Good Afternoon -

Attached please find the guidelines for commenting on **COMPLETENESS** for the project listed above. All review documents can be found at www.estes.org/currentapplications. Scroll to Highway 66 - 1665.

Completeness comments are due on or before **Monday, February 1, 2016**. Please copy the applicant (virtuaisupport.oliver@gmail.com) and the consultant (celinevhe@airbits.com) on your comments. Thank you.

I will be out of the office beginning January 21, 2016, returning February 1, 2016. **Please send all comments directly to Audem Gonzales at agonzales@estes.org.** Thank you.

Karen Thompson
Executive Assistant
Community Development Department
Town of Estes Park
Phone: 970-577-3721
Fax: 970-586-0249
kthompson@estes.org



Audem Gonzales <agonzales@estes.org>

Spur 66 ROW adjacent to Rock Inn

1 message

Traci Shambo <shambott@co.larimer.co.us>
To: Audem Gonzales <agonzales@estes.org>

Wed, Apr 6, 2016 at 2:33 PM

Audem -

I wanted to clarify that the primary function of County Public Right-of-way is for public infrastructure such as additional lanes, widened shoulders, bike lanes, sidewalks, etc. Needed improvements to the County road system to improve the operation and safety of the road would take precedence over a historic use of the right-of-way by a private landowner. An historic use of public ROW does not necessarily equal a legal right for that use.

Traci Shambo, P.E.

Larimer County Engineering Department
200 West Oak St, Suite 3000
P.O. Box 1190
Fort Collins, CO 80522
Phone: (970) 498-5701
tshambo@larimer.org



Audem Gonzales <agonzales@estes.org>

Fwd: Lazy B Wranglers Application

1 message

Doug Ryan <ryandl@co.larimer.co.us>

To: Audem Gonzales <agonzales@estes.org>

Cc: larry_gamble@nps.gov

Fri, Mar 4, 2016 at 2:53 PM

Hi Audem,

Following your email message from February 17, I consulted with the Colorado Department of Public Health and Environment on the air quality regulations for the potential air emissions at the Lazy B Wranglers due to the proposed chuckwagon dinner and theater with its associated cooking. Staff in the Air Pollution Control Air Division at CDPHE provided two messages (below), one for the stationary source emission control standards that apply statewide, and a separate message about standards in the Class 1 airshed that impacts the National Park.

The information from Paul Carr relates to the emission standards and need for an air emissions permit that pertain to the cooking operation regardless of location. He indicated most food cooking sources are exempt from the need to obtain an air emissions regulation. The exceptions are charboilers and wood fired equipment which do need permits if their emissions exceed defined thresholds. Mr. Carr said he doubts they would exceed those thresholds, and cited the Burger King example and noted that their charcoal busy operations typically fall below the thresholds. The need to file an Air Pollution Emissions Notice and potentially obtain an emissions permit would be 17 tons of wood/year.

Lisa Devore, in her message from March 2, provided additional information pertaining to the emission standards that apply specifically to Class 1 airsheds - including Rocky Mountain National Park. She indicated that emission standards in these case apply through standards administered at the state and federal level for the New Source Reduction (NSR) and Prevention of Significant Deterioration (PSD) requirements. Lisa Devore indicates that those standards apply to sources that generate at least 100 tons of emissions per year. Those large operations are considered "major sources" and would be much larger than what a restaurant cooker would produce.

Larry Gamble is raising important concerns about the importance of protecting air quality in the Park. My conclusion from the Air Pollution Control Division is that this source by itself does not rise to the level of needing a air emissions permit unless a charcoal or wood-fired cooker will be used and exceed threshold amounts.

In order to assure compliance with air emission standards, the Town Board could consider a condition that requires the applicant to submit an Air Pollution Emissions Notice (APEN) to the Colorado Department of Public Health and Environment if they intend to use either a charbroiler or wood fired cooking equipment. The state evaluates submitted APENs and makes a written determination if an emissions permit is needed or not.

On another topic related to this application, if this application is approved, the applicant would need to have plans for the food service operations approved by our Department prior to issuance of building permits.

Thanks for contacting us with this information. I will also copy my message to Larry Gamble so that we all have the same information.

Doug Ryan
Larimer County Department of Health and Environment
1525 Blue Spruce Drive
Fort Collins CO 80524

(970) 498-6777
ryandl@co.larimer.co.us

Statement of Intent

For the Lazy B Ranch and Wranglers Development Plan and Special Review

January 20, 2016

Revised February 4, 2016

Introduction

The Lazy B is an effort to re-establish a powerful landmark business model that offers a Chuck Wagon Supper and Show within the Western History theme of a cowboy's way of life and his music. Reflecting all the great qualities of the original Lazy B, the new business will offer quality food and entertainment at an even higher standard. Historically, part of many tourists' vacations in Estes included a visit to the Lazy B, which was known for their Chuckwagon Supper and Show. The Lazy B opened in the early 1960s, attracted between 750- 1200 guests each night during the summer season and operated successfully for 45 years. Since the doors closed in 2005, countless visitors, as well as locals, have been disappointed upon discovering that their favorite Estes event no longer exists.

Operation

The Lazy B development project is presented in Three Phases, with Phase One as a seasonal venue and Phase Two beginning as a year-round venue. Phase One will operate from 5:00-8:00 seven nights a week from mid-June through mid-October, with fewer performance days during the two weeks prior and after those dates.

Phase Two permits expanded hours, due to the completion of the entire building, which will be determined by each specific event. Year round operation supports the following objectives: (1) to drive consistent tax dollars to the Town of Estes, (2) to attract a younger demographic from the Front Range to the Estes Valley by offering diverse and high quality live musical performances, festivals, contests and events that expand the commonly held image of Estes Park, (3) to offer special holiday events including Chuck Wagon Suppers and Shows that continue to draw tourists and residents from along the entire Front Range, (4) to offer corporate events and wedding receptions, (5) to work closely with other local businesses and hotels to create desirable "getaway" packages, (6) to provide educational, creative events and opportunities for youth that carry on the legacy of Western Heritage in a variety of forms, including Western Music, Western Art, Cowboy Poetry, Western Craft, etc. and that support

intergenerational interaction and (7) to employ a core staff year round as well as drive revenue to local craftsman, vendors and businesses.

Economic Development and Market Research

As business owners we seek, not only to create and maintain an extremely profitable and successful business, but to support the Town of Estes Park in ways that contribute to the goals for economic growth and sustainability that have been set by the town. Our business goals are aligned with the same priorities that have been presented by Avalanche Consulting, who was hired to assist with economic development in the Estes Valley. Our market research and strategy are available upon request.

Property

Located at 1665 HWY 66, the Elk Meadow RV Resort property is the ideal location for the Lazy B. The property is in a low-density location, is adjacent to an establishment which is already serving food and providing entertainment and is on the free Estes Park shuttle system route. The area directly to the South of our property across Mills Drive is zoned A-Accommodations and Commercial zoning currently exists along the Hwy 66 corridor.

Our plan includes transforming five of the 30.75 acres of the RV park, currently used as RV overflow and storage, into a revenue-producing venue that directly supports the town. The zoning is generally intended to accommodate high-intensity resort and hotel uses and incidental commercial uses (such as hotel dining hall or bars). Our proposed use would fall under the category of Major Event Indoor Facility and would operate much as a dinner theater. We are proposing a Three Phase Development Plan with the option of completing the full building and parking lot sooner if we are able.

A 20' utility easement will be dedicated to the Town of Estes Park by a separate document along the south property line for the proposed water main and buried electric line. Additionally, 15' of R-O-W shall be dedicated along the south property line together with the current 30' dedicated R-O-W dedicated by a document in Book 506 at Page 71.

Three Phase Development Proposal and Site Requirements

Phase One (2017)

Phase One will consist of a permanent kitchen, bathroom facilities, ADA compliant concrete sidewalks, paved ADA compliant parking spaces, temporary dining tent, dirt parking lot, landscape buffer along Mills Drive, Mills Drive road improvements, new site entrance off Mills Drive, a water main extension, sanitary sewer service line and a right-hand turn lane constructed on HWY 66.

Phase One Construction includes a two-story 4,560 square foot building 26' 3" high, which will house a kitchen, bathrooms, mechanical room, employee bathroom on the first floor and an office and employee lounge, bathroom and shower on the second floor. This building will eventually be joined to the final structure, which will be built as part of Phase Two. An ADA compliant concrete walkway will be constructed from the ADA parking spaces to the tent, bathrooms, food service area and around the southern portion of the building.

A temporary tent will be erected to serve as the dining and entertainment facility for Phase One, which will require a permit and will be permitted for 180 maximum consecutive days. The tent will be erected on the dirt, next to the kitchen building. 63 picnic tables will be arranged within the confines of the tent, each able to seat 12 people and allowing for handicapped seating wherever necessary. A portable stage will be built on the north side of the tent, will measure 10x20 and will serve as the location for the Western Show. A sound and light system will also be installed within the tent, as well as portable heaters as needed. Seating will be provided for up to a maximum of 750 people, where individuals will eat and watch the show.

No cooking will be performed inside the tent, no open flame and all additional fire requirements shall be met. Food will be served from a line within the kitchen building and patrons will re-enter the seating area to eat and watch the show.

A soft-surface trail will be constructed from the dining tent site to the Elk Meadow RV gravel driveway to access the free Estes Park shuttle.

Phase Two (2018)

Phase Two will consist of landscaping the internal lot area (building screening), construction of the final dining/performance hall (12,200 SF), which will replace the temporary dining tent and will be a total of 17,910 square feet including kitchen and bathrooms (built in Phase One). The dining hall will house the dining tables, benches and stage.

Phase Three (2019)

Phase Three includes the addition of a permanent asphalt parking lot, parking lot curb and gutter, storm sewer installation, and parking lot landscaping.

Traffic and Parking Considerations

A traffic study was conducted by Matt Delich, of Delich Associates. The study and associated memo are included with this submittal.

The traffic study determined that a turn lane from HWY 66 onto Mills Drive will be required in both directions.

Mills Drive will be widened from Hwy 66 to Main Entrance to 24' with curb and gutter from HWY 66 to the entrance of our site.

A New Entrance will be constructed on the property so that the Main Entrance to the event will be from Mills Drive, not from HWY 66.

Additional traffic solutions are:

- Hiring an off-duty police officer for traffic control during peak traffic periods (before and after the events) each evening during summer season.
- Using the existing free Estes Park shuttle service.
- Because the event will attract primarily families and groups, we anticipate each car will contain 3-4 passengers, which minimizes the number of cars.
- A temporary parking lot will be constructed to the specifications set forth by Van Horn Engineering and shall be a dirt parking lot during the first two project Phases, providing

192 parking spaces the first year, with a re-evaluation of parking needs for the second year.

- Contracting with bus tour companies brings an average of 50 people per bus and vastly reduces parking and traffic impact and will be a significant part of our business.
- A shuttle service will be provided by Lazy B for employee transportation to and from home.
- Limited employee housing may be provided on site.

Landscaping

- The Landscaping Plan for development area will be 1 tree /3 shrubs for every 1,000 sq. ft. of impervious surface, excluding parking lots, but including sidewalks, drives and other hard surfaces.
- Landscape Street Frontage Buffering- Section 7.5 of the Estes Valley Development Code (EVDC) requires one tree for every 40 feet be planted and 1 shrub for each 15 feet of street frontage to buffer developed frontage as viewed from adjacent street. This requirement will be exceeded and will be planted upon undulating topography, with trees planted 5 feet away from water and sewer mains.
- Landscape Parking Lot Buffering- Parking lot landscaping will comply with requirements set forth in EVDC Section 7.5

Environmental Impacts

A Preliminary Wetland Screening and Wildlife Mitigation Plan are being submitted for this project. The Preliminary Wetland Screening will be followed by a more thorough Wetland Delineation due to the presence of frozen ground during the time of the field investigation. The wetland habitat has been mapped conservatively. The Jurisdictional Wetland Delineation will be conducted once soils are thawed and will provide a more accurate wetland boundary, no larger than the areas shown on the development plan. The development is proposed outside the 50' wetland habitat buffer (as prescribed by the EVDC) around the conservative wetland habitat boundary.

No critical habitat or threatened/endangered species habitat was found on the site. Potential impacts to wildlife and their habitats are listed within the Wildlife Mitigation Report.

Public Meeting

A public meeting will be held to announce our intention open the Lazy B on February 17, 2016 at the Estes Park library and the minutes of this meeting shall be submitted to the Town of Estes Park prior to the Planning Commission Meeting.

We believe the response will be overwhelming positive. We have already met with hotels, local businesses, several residents and passing tourists and our idea has been met with enthusiasm and support. The public will be invited through advertisement in the local paper and word of mouth. We will provide a power point presentation with a Q&A session. At least one of the owners will be present, along with some of our staff and supporters of the project to describe the project and provide answers to any questions or concerns our neighbors may have.

Noise Impact and Hours of Operation

Our hours of operation will be 7 nights a week from 5:00-8:00 p.m. The music performance will last only one hour; from 7:00-8:00. The impact of our show, from the perspective of noise, is very limited and lasts only one hour per day. Live musical performance is not something new in this neighborhood. The Rock Inn, which is adjacent to our property, hosts bluegrass, rock and roll, open mic nights, etc. and the performances go on for several hours. Elk Meadow also supplies live entertainment throughout the summer within the snack and bar area on site. The buildings owned by the National Park, adjacent to our property from the west, also have a history of hosting jam sessions.

Miscellaneous Potential Project Impacts

Additional potential impacts of this project include:

- Light from the headlights of cars as they exit just after 8:00 p.m. The parking lot, as described in the parking section of this document describes the landscaping that will filter light and noise.
- The view to the north may be obstructed from residences on Mills Drive. The landscaping and overall site improvements we are proposing provide a vast improvement for neighbors in all directions and only enhance their existing view, which currently consists of a broken down wire fence, high wires, piles of debris and dirt, and a lot full of RVs. The overhead lines that run along Mills Drive will be buried in the same trench that is excavated for the new water main. The proposed landscaping will replace

the dilapidated fence and provide screening from the existing RVs that fill the park. The proposed building will also block the view of the RV lot and improve the overall appearance of the property.

- Dust from the dirt parking lot (first two project Phases only) will be mitigated by surface spraying (water or soil tackifier) prior to events or during high wind storms.

Requested Waivers

Multiple waivers are being requested for this project engineering and feasibility hardships:

Waiver from Ordinance 8-05 #, Appendix D. Street Design and Construction Standards. Mills Drive improvements combined with the construction of a new right-hand turn lane off HWY 66 will not meet EVDC engineering requirements without significant impact to adjacent properties (four feet of cut along both sides of Mills Drive would be required). Due to limited R-O-W availability and trying to match existing cross-slope grades at the intersection of HWY 66 and Mills Drive while maintaining positive drainage and transition from a super-elevated road to a crowned road, grades must exceed the maximum values. The proposed design attempts to meet the required grades as closely as possible.

Waiver from Section 7.11.O.2. Ordinance 8-05 #, Parking and Loading Area Design Standards. A waiver for parking lot paving a curb and gutter is requested for the first two project Phases and shall be completed in the final project Phase 3. A waiver for the loading space location (the back of the building is along the street frontage) is requested with the understanding that additional screening is provided.

Waiver from Section 10.5.D.2. Sidewalks, Pedestrian Connections and Trails. A sidewalk is normally required along Mills Drive to provide connectivity. A waiver to designing and constructing the sidewalk with this project is requested. Future sidewalk design and construction may be ensured by providing cash in lieu.

Waiver from Section 7.11.D. Minimum Off-Street Parking Requirements. A waiver to the required number of parking spaces for the first two Phases is being requested due to limiting environmental impact on Site (i.e., wetland habitat and associated buffers). The total number of parking spaces required for the maximum capacity of the event center is calculated to be between 188 and 214 (3.5 to 4 ppl/vehicle according to the Traffic Study). Four buses are projected to regularly transport people to the events and should minimize the number of vehicles parking on site. Additionally, an employee shuttle shall be available for commuting and the Estes Park free shuttle picks up along HWY 66 at an alternate site entrance (a soft surface trail to this shuttle stop is proposed with this project).

Waiver from Section 7.6.E. Wetland and Stream Corridor Protection Buffer/Setback

Areas. The deck of the proposed building encroaches into the wetland buffer (Wetland B) 2.6'. The deck is cantilevered over the buffer, therefore no structural components are in the buffer.

Waiver from Section 7.6.D.3 Wetland and Stream Corridor Protection. Boundary

Delineation. Due to frozen soils and ice swells, soil pits could not be dug to characterize soils for a Jurisdictional Wetland Delineation (JWD). A preliminary wetland screening was conducted to obtain the most conservative wetland boundary line until soils thaw to conduct a JWD.



ESTES VALLEY DEVELOPMENT REVIEW APPLICATION



Submittal Date: _____

Type of Application	Development Plan	Boundary Line Adjustment	Condominium Map
<input checked="" type="checkbox"/> Development Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Preliminary Map
<input checked="" type="checkbox"/> Special Review	<input type="checkbox"/> ROW or Easement Vacation	<input type="checkbox"/>	<input type="checkbox"/> Final Map
<input type="checkbox"/> Rezoning Petition	<input type="checkbox"/> Street Name Change	<input type="checkbox"/>	<input type="checkbox"/> Supplemental Map
<input type="checkbox"/> Preliminary Subdivision Plat	<input type="checkbox"/> Time Extension	<input type="checkbox"/>	
<input type="checkbox"/> Final Subdivision Plat	<input type="checkbox"/> Other: Please specify _____	<input type="checkbox"/>	
<input type="checkbox"/> Minor Subdivision Plat		<input type="checkbox"/>	
<input type="checkbox"/> Amended Plat		<input type="checkbox"/>	

General Information

Project Name: Lazy B Ranch and Wranglers

Project Description: Chuckwagon dinner and live entertainment establishment

Project Address: 1665 HWY 66, Estes Park, CO 80517

Legal Description: Two parcels located in the NE 1/4 of Section 34, Township 5 North, Range 73 West of the 6th P.M.

Parcel ID #: 35341-00-001

Site Information

Lot Size	Area of Disturbance in Acres
30.75 acres	
Existing Land Use	RV Park, camping and Sit
Proposed Land Use	RV Park, camping, storage and chuckwagon dinner/entertainment
Existing Water Service	Town <input checked="" type="checkbox"/> Well <input type="checkbox"/> None <input type="checkbox"/> Other (specify) _____
Proposed Water Service	Town <input checked="" type="checkbox"/> Well <input type="checkbox"/> None <input type="checkbox"/> Other (specify) _____
Existing Sanitary Sewer Service	<input type="checkbox"/> EPSP <input checked="" type="checkbox"/> UTSD <input type="checkbox"/> Septic <input type="checkbox"/> None
Proposed Sanitary Sewer Service	<input type="checkbox"/> EPSP <input checked="" type="checkbox"/> UTSD <input type="checkbox"/> Septic <input type="checkbox"/> None
Is a sewer lift station required?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Existing Gas Service	<input type="checkbox"/> Xcel <input checked="" type="checkbox"/> Other _____
Existing Zoning	Accommodations (A)
Proposed Zoning	Accommodations (A)
Site Access (if not on public street)	Mills Drive
Are there wetlands on the site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Site staking must be completed at the time application is submitted. Complete?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Primary Contact Information

Name of Primary Contact Person	Randy Jackson/ Michelle Oliver
Complete Mailing Address	2105 East 11th Street Suite 180 Loveland, CO 80537
Primary Contact Person is	<input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input type="checkbox"/> Consultant/Engineer

Attachments

Application fee	<input checked="" type="checkbox"/>
Statement of intent	<input checked="" type="checkbox"/>
3 copies (folded) of plat or plan	<input type="checkbox"/>
11" X 17" reduced copy of plat or plan	<input checked="" type="checkbox"/>

Please review the Estes Valley Development Code Appendix B for additional submittal requirements, which may include ISO calculations, drainage report, traffic impact analysis, geologic hazard mitigation report, wildfire hazard mitigation report, wetlands report, and/or other additional information.

Contact Information

Record Owner(s) Randy Jackson and Michael Andrzelek

Mailing Address 2105 East 11th Street Suite 180 Loveland, CO 80537

Phone 970-214-1348

Cell Phone 970-214-1348

Fax

Email rjack@me.com

Applicant Michelle Oliver

Mailing Address 2810 Dunraven Lane Estes Park CO 80517

Phone 970-507-0317

Cell Phone 970-507-0317

Fax

Email virtualsupport.oliver@gmail.com

Consultant/Engineer

Van Horn Engineering and Surveying, Inc., Celine LeBeau

Mailing Address 1043 Fish Creek Road, Estes Park, CO 80517

Phone 970-586-9388

Cell Phone

Fax

Email celinevhe@arbits.com

APPLICATION FEES

For development within the Estes Valley Planning Area, both inside and outside Town limits

See the fee schedule included in your application packet or view the fee schedule online at:

www.estes.org/ComDev/Schedules&Fees/PlanningApplicationFeeSchedule.pdf

All requests for refunds must be made in writing. **All fees are due at the time of submittal.**

MINERAL RIGHT CERTIFICATION

Article 65.5 of Title 24 of the Colorado Revised Statutes requires applicants for Development Plans, Special Reviews, Rezoning, Preliminary and Final Subdivision Plats, Minor Subdivision Plats if creating a new lot, and Preliminary and Final Condominium Maps to provide notice of the application and initial public hearing to all mineral estate owners where the surface estate and the mineral estate have been severed. This notice must be given 30 days prior to the first hearing on an application for development and meet the statutory requirements.

I hereby certify that the provisions of Section 24-65.5-103 CRS have been met.

Names:

Record Owner PLEASE PRINT: Randy Jackson Michael Andrzelek

Applicant PLEASE PRINT: Michelle Oliver

Signatures:

Record Owner

Applicant

Randy Jackson
Michelle Oliver

Date

Date

1/18/16

7/28/2016

APPLICANT CERTIFICATION

Contact Information

Record Owner(s) Randy Jackson and Michael Andzrejek

Mailing Address 2105 East 11th Street Suite 180 Loveland, CO 80537

Phone 970-214-1348

Cell Phone 970-214-1348

Fax _____

Email jack@me.com

Applicant

Michelle Oliver

Mailing Address 2810 Dunraven Lane Estes Park CO 80517

Phone 970-507-0317

Cell Phone 970-507-0317

Fax _____

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Mailing Address 1043 Fish Creek Road, Estes Park, CO 80517

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APPLICATION FEES

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I hereby certify that the provisions of Section 24-65.5-103 CRS have been met

Names:

Record Owner PLEASE PRINT: Randy Jackson Michael Andzrejek

Applicant PLEASE PRINT: Michelle Oliver

Signatures:

Record Owner 

Date 1-19-16

Applicant 

Date _____

APPLICANT CERTIFICATION

- ▶ I hereby certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that in filing the application I am acting with the knowledge and consent of the owners of the property
- ▶ In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Estes Valley Development Code (EVDC)
- ▶ I acknowledge that I have obtained or have access to the EVDC, and that, prior to filing this application, I have had the opportunity to consult the relevant provisions governing the processing of and decision on the application. The Estes Valley Development Code is available online at <http://www.estes.org/ComDev/DevCode>
- ▶ I understand that acceptance of this application by the Town of Estes Park for filing and receipt of the application fee by the Town does not necessarily mean that the application is complete under the applicable requirements of the EVDC.
- ▶ I understand that this proposal may be delayed in processing by a month or more if the information provided is incomplete, inaccurate, or submitted after the deadline date
- ▶ I understand that a resubmittal fee will be charged if my application is incomplete
- ▶ The Community Development Department will notify the applicant in writing of the date on which the application is determined to be complete.
- ▶ I grant permission for Town of Estes Park Employees and Planning Commissioners with proper identification access to my property during the review of this application
- ▶ I acknowledge that I have received the Estes Valley Development Review Application Schedule and that failure to meet the deadlines shown on said schedule may result in my application or the approval of my application becoming null and void. I understand that full fees will be charged for the resubmittal of an application that has become null and void

Names:

Record Owner PLEASE PRINT Randy Jackson Michael Andrejek
 Applicant PLEASE PRINT Michelle Oliver

Signatures:

Record Owner _____
 Applicant _____



Date 1-19-16
 Date _____

Public Meeting for Lazy B Ranch and Wranglers was held in the Hondius Room at the Estes Park Library February 17th, 2016 from 6:00-7:00 p.m

There were 14 people in attendance, names are registered on the sign-in sheet.

Michelle Oliver presented a powerpoint that described the overall project, including the mission, the phasing project, the site, the timeline, menu, western show, etc. A copy of the site plan was shared with attendees Questions were then encouraged.

The first topic of concern was parking. Michelle explained that Lazy B would be bringing guests in on tour busses. Celine mentioned that we would also have access to the shuttle. It was argued that the shuttle doesn't hold many people. Michelle mentioned that the shuttle was helpful, but that Lazy B would be managing parking by pre-selling to tour busses and balancing that with local sales.

Questions about tour busses:

1. Where do they park? A: It was explained that we have special bus parking area.
2. Do they turn off the busses during the show? A: Yes.
3. If tour busses are a main means of bringing guests, how does this help resorts and hotels and the community? A: All about controlling the numbers, Pre-sales to tour busses balanced with available tickets here.

The main entrance on Mills was addressed. Temporary permit was addressed and temporary venue was described-balancing numbers of pre-sales to busses with cars.

Question:

1. Why did you not choose the main entrance to the RV Park for entrance to Lazy B?
A: We cannot interfere with current operations at RV park. Cannot use one entrance for two venues.
2. What about our vacation rental? We have people who might come in at 4:00 or 5:00.
They will be in a traffic jam?

A: Traffic control with officers and turn lane was discussed.

Mr. Gonzales was mentioned in relation to the discussion of the new entrance and the widening of Mills Drive. Mr. Nuyes, a property owner off Mills drive said he had met with Mr. Gonzales twice regarding his concerns about his property and found him to be personable, respectful, and knowledgeable about the project and expressed a genuine interest in the residents understanding of what was planned. He said that Mr. Gonzales had explained the details regarding his property and he planned to visit with him again. At the end of the meeting he said that he fully supported the project as long as it did not interfere with his property line or ability to park on his property.

Comment: Western Music is dying. Do you really think you are going to get people interested in this? Answer: The average chuckwagon is serving 950 per night. Estes Park tourists want the historical cowboy event. This event belongs here. We need more family entertainment. The show was described in detail.

Comment: On the town website I saw that you want to encourage youth and diversity and I saw the menu, which does not breed diversity. Dietary restrictions are real. For me, country music belongs in Nashville. A chuckwagon is not diverse. Where is the inclusion to make Estes more diverse?

Reply:

Chuckwagon is a niche, but fits into the Western Heritage that Estes is. We are going to have a vegetarian option. Gluten free may be considered in the future. Not first year or two. Chuckwagon is primarily a tourist destination. We meet the need of residents because as residents, we become a bed and breakfast for friends and family and want entertainment to offer. As a year round venue we will be exploring additional ways that supply divers entertainment, but still reflect the basic values of Estes Park.

Question:

You are going to be serving alcohol. Are people going to be allowed to wander off your premises with alcohol? No.

Who is going to stop them? They will not be allowed to leave with alcohol.

Comment: We live right across from the entrance.

Comment: Well, there is a bar right there-The Rock Inn

Yes but you are bussing people in and they will get drunk. Answer:This is a family event.

But you are taking our parking away! According to Mr. Gonzales, they will not encroach on our property.

Celine explained the boundaries and invited everyone to come see the larger plan at the office. She said Elk Meadow owns the property across Mills and concerns continued to be voiced about the widening of Mills and how it would negatively impact property.

Chuck mentioned that the road improvements were beneficial for property owners. Meryl voiced additional fears that her front yard parking would be taken away.

Michelle mentioned to Kerry, that once everything was in place, The Rock Inn could potentially lease Lazy B's parking lot. She said emphatically, that this project was absolutely not going to happen and she would make sure.

Jill, a neighbor voiced concerns about taking away the grass the elk feed on and concerns that children would leave trash in the tent that would attract bears.

The majority would like to see an entrance other than on Mills Drive. Mr. Nys said he agreed with and supported the project as long as his front yard was left intact.

Meeting adjourned.

Michelle Oliver
Lazy B Ranch and Wranglers
lazybranchandwranglers.com
970-507-0317

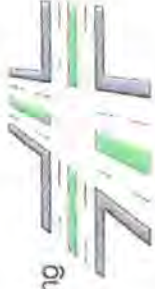
Owner	Owner II	Address	City	ST	Zip
1700 HWY 66 LLC - NEW SPALL LLC	LITTLE CURRENT CONSULTING LLC	PO BOX 1379	LONGMONT	CO	80502
BOOTH THOMAS	MIKOLITCH JANET	1681 HIGH DR	ESTES PARK	CO	80517
BOWEN LAWRENCE O/KAREN S		2211 REED RD	SPARTA	MO	65753
BURROUGHS ANTHONY S/VIOLA MANZANARES	CAROLYN W	39701 W COUNTY ROAD 47	AULT	CO	80610
CAMPBELL RICHARD M	STEWART MICHAEL D (1/2)	1440 LITTLE RAVEN ST NO 307	DENVER	CO	80202
CRAIN JESSIE M TRUST (1/2)		122 52ND AVE	GREELEY	CO	80634
ELK MEADOW RV ESSENTIAL GROUP LLC	GRIFFITH CHARLES LESLIE/DM/JT	17800 W COLFAX AVE	GOLDEN	CO	80401
FENTON MARY ESTHER		ADDRESS UNKNOWN			
FERRELLGAS INC	TRUST	ONE LIBERTY PLAZA	LIBERTY	MO	64068
FRANKLIN LAURIE B		5345 MISSION WOODS RD	MISSION WOODS	KS	66205
GRIFFITH HARVEY E/DALE E		1187 GRIFFITH CT	ESTES PARK	CO	80517
GRIFFITH MIKE		1670 HIGHWAY 66	ESTES PARK	CO	80517
HARVEY DALE L		1641 HIGH DR	ESTES PARK	CO	80517
HENNINGER FAMILY TRUST		4965 ELDRIDGE ST	GOLDEN	CO	80403
HOLMAN ROBERT G		310 JASMINE ST	DENVER	CO	80220
JOSEPH ANN L	REBECCA B	5362 MAGGIE LN	EVERGREEN	CO	80439
LAMB CAROLYN SUE		1920 E MARYLAND AVE UNIT 23	PHOENIX	AZ	85016
LANDING LLC		1774 HIGHWAY 66	ESTES PARK	CO	80517
MCDOUGALL JOHN L	DEBORAH C	1861 HIGH DR	ESTES PARK	CO	80517
NOYES KRISTI		1707 MILLS DR	ESTES PARK	CO	80517
ONORATO JAMES W		2840 W 21ST ST 29	GREELEY	CO	80634
PAIGE VIRGINIA HOWARD SHULER		1411 WHEELER DR	MANSFIELD	TX	76063
PARKVIEW ENTERPRISES LLC		1675 HIGHWAY 66	ESTES PARK	CO	80517
R A O PLAZA CORP		1565 HIGHWAY 66	ESTES PARK	CO	80517
REETZ HOSTELRY LLC		1852 HIGHWAY 66	ESTES PARK	CO	80517
ROCKY MOUNTAIN LAWN CARE	AND LANDSCAPING	PO BOX 3558	ESTES PARK	CO	80517
RUMLEY HELEN L	FERRIS SHARON K	PO BOX 791	ESTES PARK	CO	80517
SANTAGATI CHARLES S/CHRISTINA E		544 COLUMBINE AVE	ESTES PARK	CO	80517
SCHWARTZ ALICE D		1631 HIGH DR	ESTES PARK	CO	80517
SEMEYN DOUGLAS P		PO BOX 20538	ESTES PARK	CO	80517
SIGLER MONICA		PO BOX 2116	ESTES PARK	CO	80517
SMITH ROBERT M TRUST		445 D VALLEY RD	ESTES PARK	CO	80517
SMITH RONALD J	SHERBENOU DONNA D	8993 E 24TH PL NO 106	DENVER	CO	80238
SPICKNALL LOLA MAE		175 W 6TH ST	AKRON	CO	80720
TERRY LONNIE/JULIE ANNE TERRY		524 WYOMING CIR	GOLDEN	CO	80403
UNITED STATES OF AMERICA	ROCKY MOUNTAIN NATIONAL PARK	1311 S COLLEGE AVE	FORT COLLINS	CO	80524
VETTER JAY A/MAUREEN H		1711 MILLS DR UNIT A	ESTES PARK	CO	80517
WAAS BARBARA L/PETER V	BRUNER SAMUEL K/MARILYN S	6901 W 69TH ST	OVERLAND PARK	KS	66204
WALLACE PAMELA M/TIMOTHY P		595 OURAY DR	ESTES PARK	CO	80517
WHITE DANIEL M/ANN MARIE	WHITE WILLIS H/MAURIA K	PO BOX 84815	FAIRBANKS	AK	99708
WILLIAMS DANIEL E/MARY M		PO BOX 1591	ESTES PARK	CO	80517
WILSON RICHARD ROBB/MARY FRANCES		4481 RIBBON CT	LOVELAND	CO	80537
WOOD MELISSA W/WALLACE R		1007 URBANCREST DR	CINCINNATI	OH	45226
YANEKIAN JULIANA H	Lazy B Ranch & Wranglers SR 2016-01.xls	1007 URBANCREST DR	LEESBURG	VA	20176

DELICH ASSOCIATES

Traffic & Transportation Engineering

2272 Glen Haven Drive Loveland, Colorado 80538

Phone: (970) 669-2061 Fax: (970) 669-5034



MEMORANDUM

TO: Celine Lebeau, Van Horn Engineering
Michelle Oliver, Lazy B Ranch and Wranglers
Randy Jackson

FROM: Matt Delich

DATE: January 13, 2016

SUBJECT: Lazy B Chuckwagon – Auxiliary Lane Analysis
(File: 1585ME02)

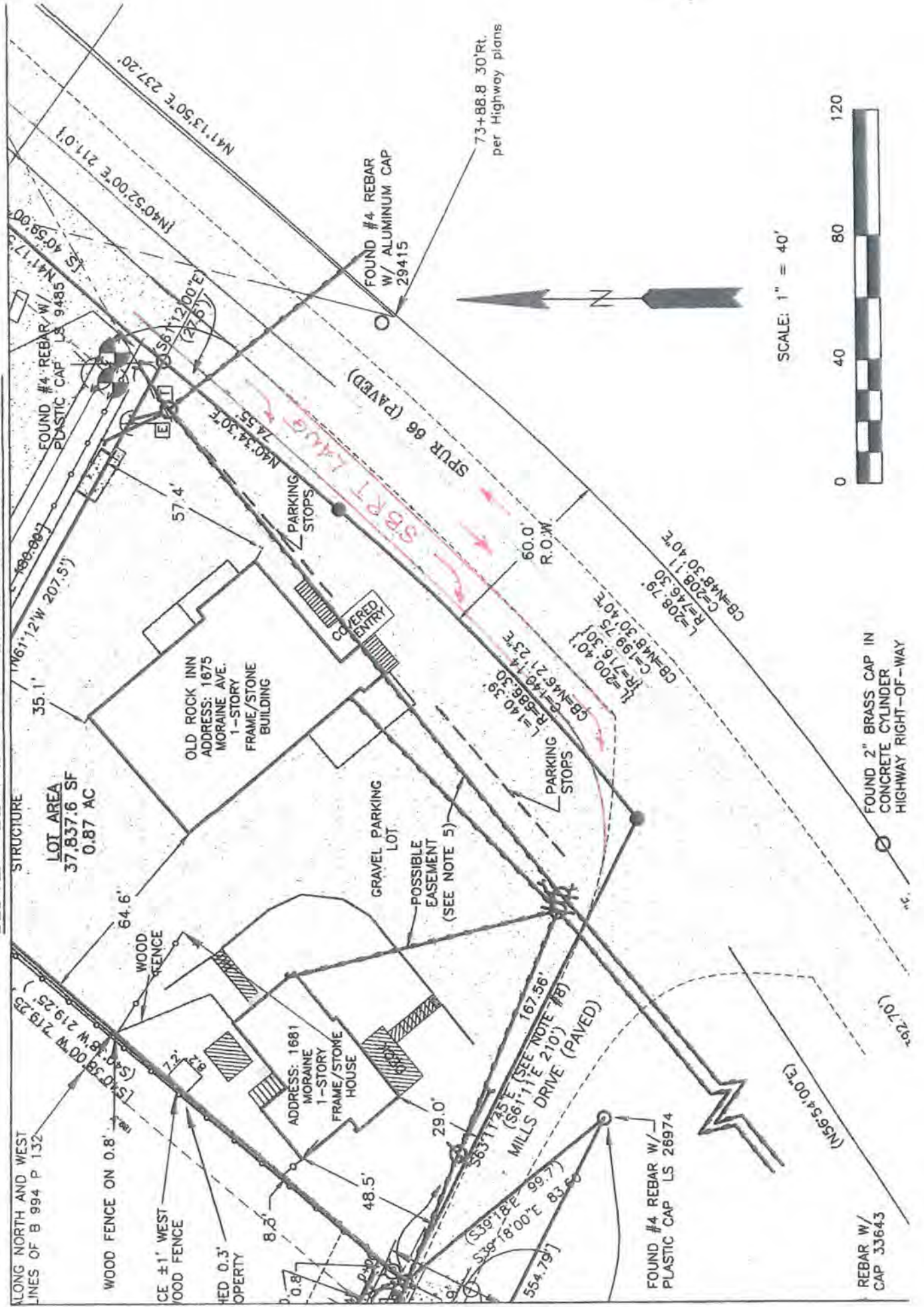
This memorandum documents my recommendation with regard to the southbound right-turn (SBRT) lane on LCR69B approaching Mills Drive. I had some phone conversations and email exchanges with Van Horn Engineering staff. I related my recommendation verbally.

The 'Lazy B Chuckwagon Traffic Impact Study' dated December 14, 2015, indicated that a SBRT lane is required based upon the entering traffic volume prior to an event/show at the site. At the posted speed of 40 mph and category NR-B highway, this SBRT lane should provide storage and bay taper. The storage component is 200 feet and the bay taper ratio in 12:1 (144 feet for a 12 foot lane). The SBRT lane of 200 feet will extend from the return at Mills Drive to the tree line between the Old Rock Inn and the driveway to the RV Park. It is at the end of the full lane width area that the bay taper begins. It is not good practice to have a driveway in the bay taper of an auxiliary lane. It is recommended that the bay taper not be included in the design, since it would cross the existing driveway to the RV Park. Attached are hand sketches of the SBRT lane.

The drawing, provided by Van Horn Engineering, shows parking stops just north of Mills Drive within the property of the Old Rock Inn. These parking stops indicated 90 degree parking. A vehicle backing out one of these spaces will impact the SBRT lane. Therefore it is my recommendation that only parallel parking be allowed in front of the Old Rock Inn.



EXISTING CONDITIONS AT MILLS DRIVE AND HWY 66 INTERSECTION





1" = 60'

Google earth

DELICH ASSOCIATES Traffic & Transportation Engineering
2272 Glen Haven Drive Loveland, Colorado 80538
Phone: (970) 669-2061 Fax: (970) 669-5034



MEMORANDUM

TO: Michelle Oliver, Lazy B Ranch and Wranglers
Town of Estes Park

FROM: Matt Delich

DATE: December 14, 2015

SUBJECT: Lazy B Chuckwagon Traffic Impact Study
(File: 1585ME01)



This memorandum addresses the transportation impacts of the proposed Lazy B Chuckwagon event venue in Estes Park, Colorado. The site location is shown in Figure 1. It is on the north side of Mills Drive, west of Larimer County Road 69B (LCR69B). The site is currently vacant. The scope of this traffic impact study (TIS) was discussed with Kevin Ash, Estes Park Public Works Engineering Manager. A memorandum TIS was requested.

Figure 2 shows the current geometry and control at the key intersections. The US36/LCR69B intersection is essentially an interchange with yield control at most junctures. There is stop sign control for westbound to southbound traffic on US36 entering LCR69B. There is stop sign control on Mills Drive at the LCR69B/Mills intersection. The posted speed on US36 is 35 mph east and west of LCR69B. The posted speed on LCR69B is 40 mph. Mills Drive is approximately 20 feet wide. There are no sidewalks or bike lanes along either road in the area. In the 'high season,' the Estes Park Free Shuttle (Brown Route) operates on LCR69B.

Traffic studies require peak hour turning movement counts at the key intersections. Contact with regard to the preparation of this TIS was made in October 2015. This is after the 'high season' in Estes Park. Therefore, it was agreed that available 'high season' traffic data (CDOT and Larimer County) would be used to develop/synthesize the base data at the key intersections in the area. Some of the available traffic counts are a number of years old. Annual traffic data from the CDOT continuous count location on US34 was used to adjust the available traffic data on US36 and on LCR69B. For the Lazy B Chuckwagon event venue, the peak analysis hours are the hour before the start of a show (5-6 pm) and the hour after the end of a show (8-9 pm). US36 is one of two access roads on the east side of Rocky Mountain National Park (RMNP). In the 5-6 pm hour, there are typically significant exits from RMNP. This volume steadily decreases into the evening. In the 5-6 pm hour, entrances to RMNP are less than 150 vehicles and tend to decrease into the evening. Figure 3 shows 2015 synthesized peak hour traffic at the key intersections.



Table 1 shows the synthesized 2015 start and end peak hour operation at the key intersections. Calculation forms are provided in Appendix A. A description of level of service for unsignalized intersections from the 2010 Highway Capacity Manual is provided in Appendix A. During the analyzed peak hours, the calculated delay for the controlled movements (stopped legs) is commensurate with level of service C or better (delay ≤ 25 seconds/vehicle). Acceptable operation at unsignalized intersections during the peak hours is defined as level of service C or better on any approach leg.

Figure 4 shows the site plan of the Lazy B Chuckwagon event venue. The Lazy B Chuckwagon will be developed in various phases. It will begin as a tent structure and unpaved parking lot (~200 parking spaces). This TIS reflects a fully occupied parking lot, which is an event attendance of 750 people at a vehicle occupancy of 3.75. For analysis purposes, there will be 200 inbound vehicles during the start peak hour and 200 outbound vehicles during the end peak hour.

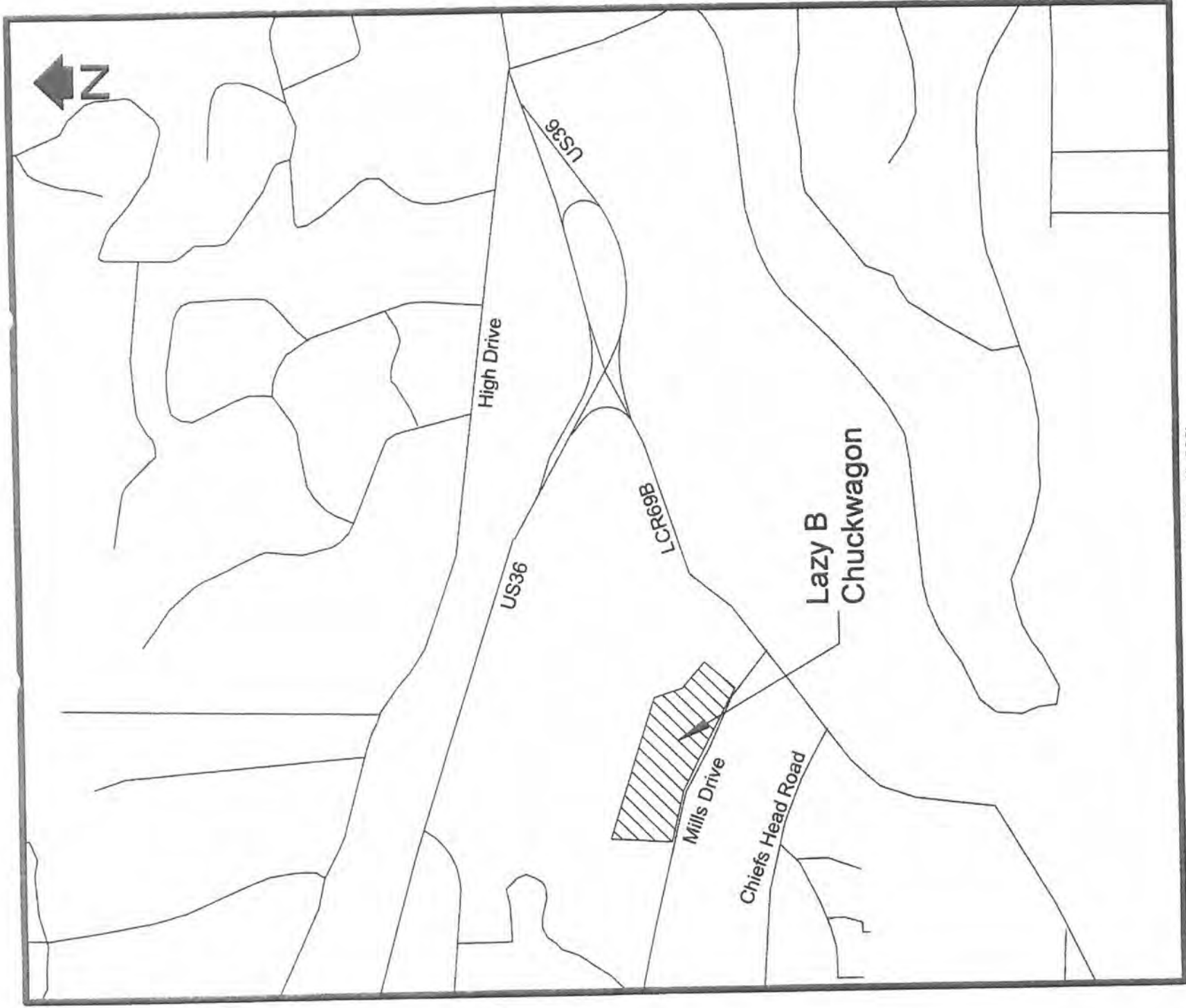
The trip distribution for this site is shown in Figure 5. The trip distribution was determined using the existing traffic counts, the location of accommodation facilities (hotels, motels, etc.), and engineering judgment. Figure 6 shows the site generated peak hour traffic assignment.

Figure 7 shows the short range (2018) background start and end peak hour traffic at the key intersections. Background traffic volume forecasts for the short range (2018) future were obtained by factoring the through traffic on US36 and LCR69B by 1.5 percent per year. This reflects the CDOT 20-year growth factor of 1.3 on US36. Table 2 shows the short range (2018) background start and end peak hour operation at the key intersections. Calculation forms are provided in Appendix B. The key intersections will operate acceptably during the start and end peak hours with the existing geometry in the short range (2018) background future.

Figure 8 shows the short range (2018) total start and end peak hour traffic at the key intersections. The intersection geometry was evaluated using the **State Highway Access Code (SHAC)**. For evaluation purposes, US36 is categorized as an **RB** highway and LCR69B is categorized as an **NR-B** highway. No geometric changes are necessary at the US36/LCR69B intersection. The southbound right-turning traffic at the start peak hour meets the threshold requiring a right-turn lane at the LCR69B/Mills intersection. Given the other land uses that are served by Mills Drive, it is not likely that the right-turn lane is or will be required during any other hour of the day. It is suggested that the Town of Estes Park consider not implementing this right-turn lane with the initial phase of the Lazy B Chuckwagon event venue or in the first year of operation. According to the SHAC, a northbound left-turn lane is not required at the LCR69B/Mills intersection. Table 3 shows the short range (2018) total start and end peak hour operation at the key intersections. Calculation forms are provided in Appendix C. The LCR69B/Mills intersection will operate acceptably during the start and end peak hours with the required geometry in the short range (2018) total future. During the start peak hour, the calculated delay to the westbound left-turning vehicles from US36 to LCR69B will be 47.0 seconds. This is commensurate with level of service E. As a mitigation measure,

all-way stop sign control was analyzed at this intersection. With all-way stop sign control, the delay for both stopped movements will be less than that with the existing control. Permanent all-way stop sign control at this intersection will require approval from CDOT. Since the delay issue with the existing control only occurs during the start peak hour, having time-limited all-way stop sign control at this intersection may be an option.

It is concluded that a southbound right-turn lane is required at the LCR69B/Mills intersection based upon the right-turning volume in a one hour period. It is suggested that consideration be given to delaying implementation of this right-turn lane. With the existing stop sign control at the US36/LCR69B intersection, the westbound left-turn movement will experience significant delays during the start peak hour. This can be mitigated with all-way stop sign control at this intersection on a permanent or time-limited basis.

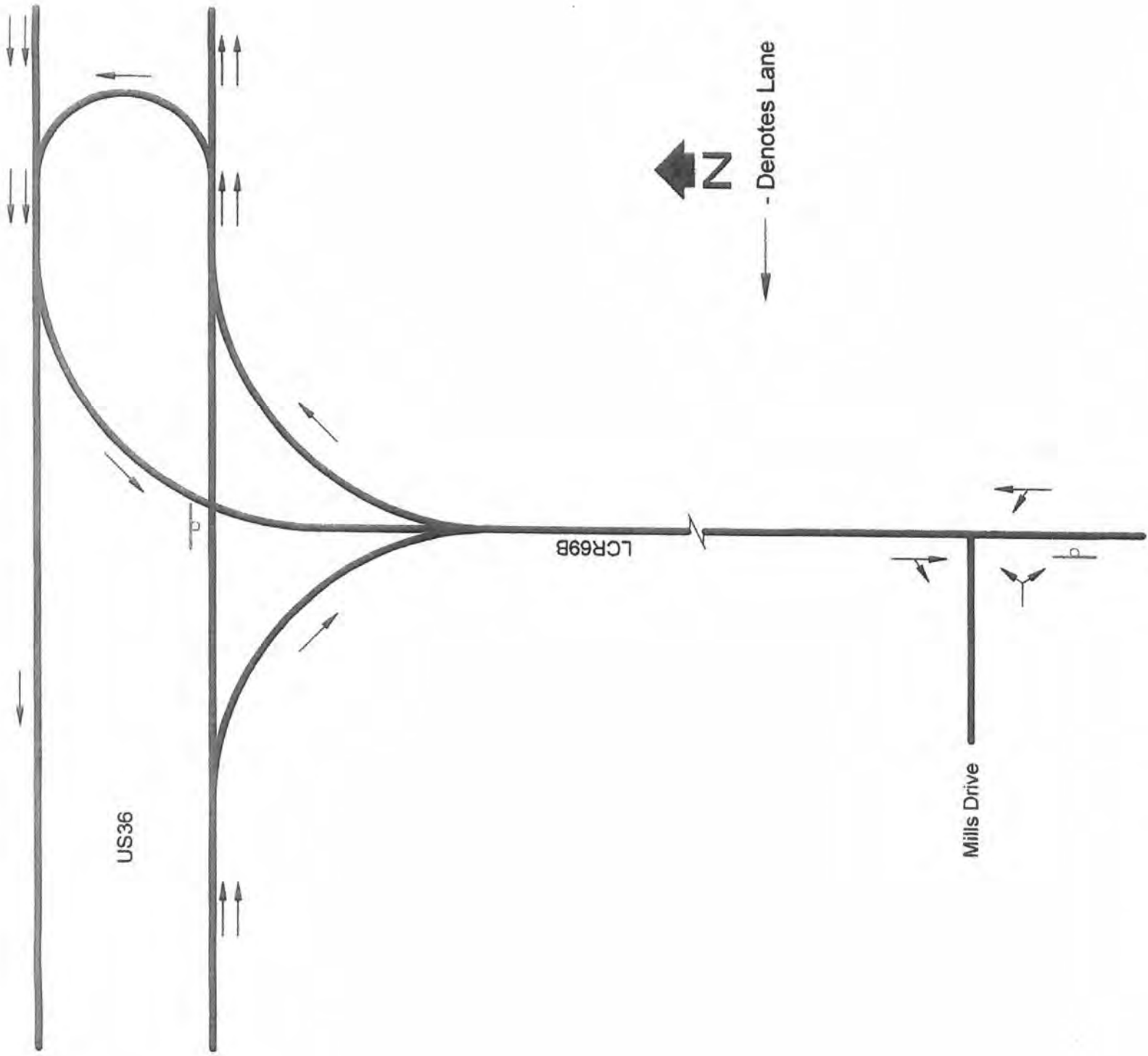


SCALE: 1"=600'

SITE LOCATION



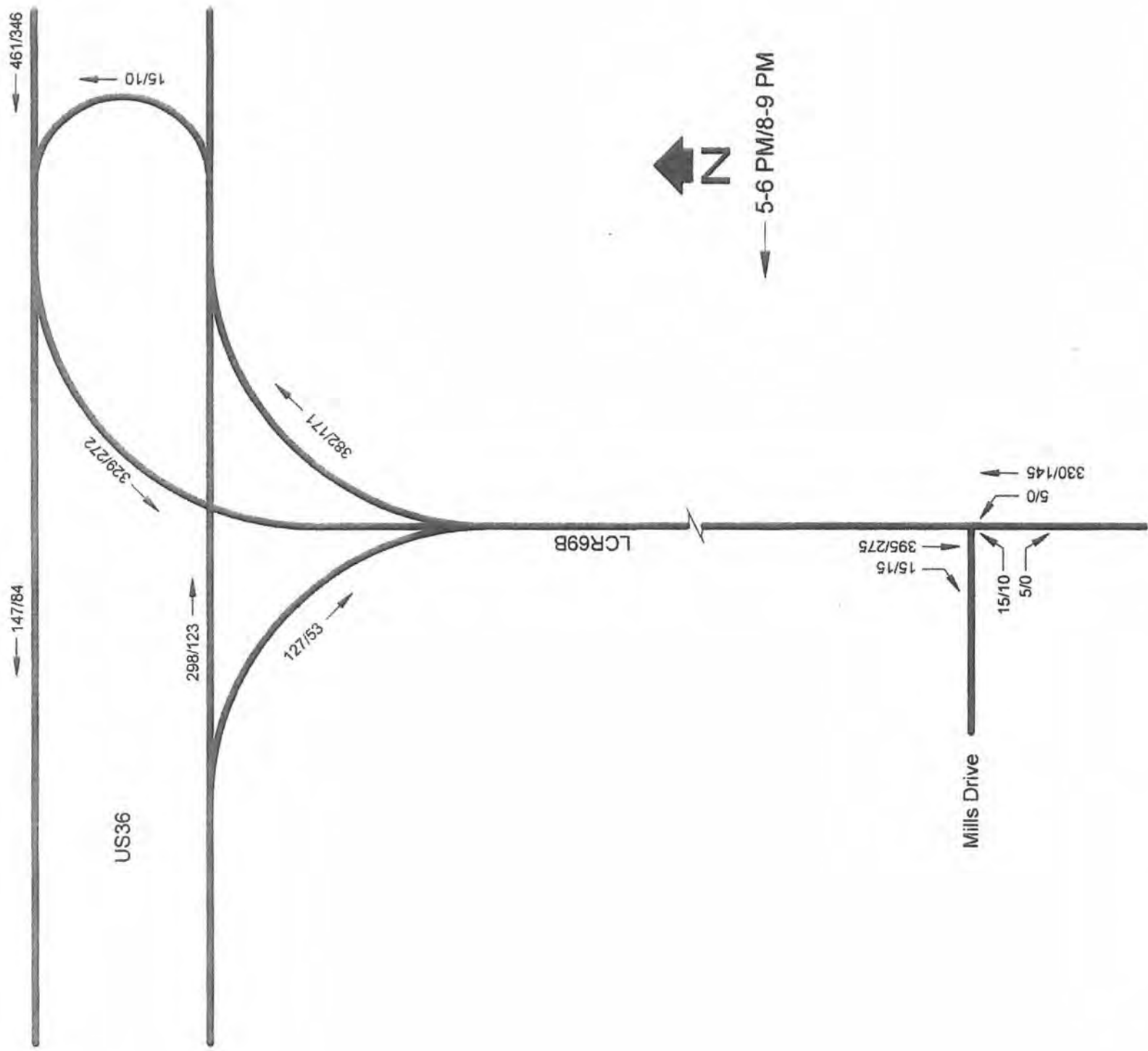
Figure 1



**INTERSECTION GEOMETRY
AND CONTROL**



Figure 2



**SYNTHESIZED 2015
PEAK HOUR TRAFFIC**



Figure 3

TABLE 1
2015 Peak Hour Operation

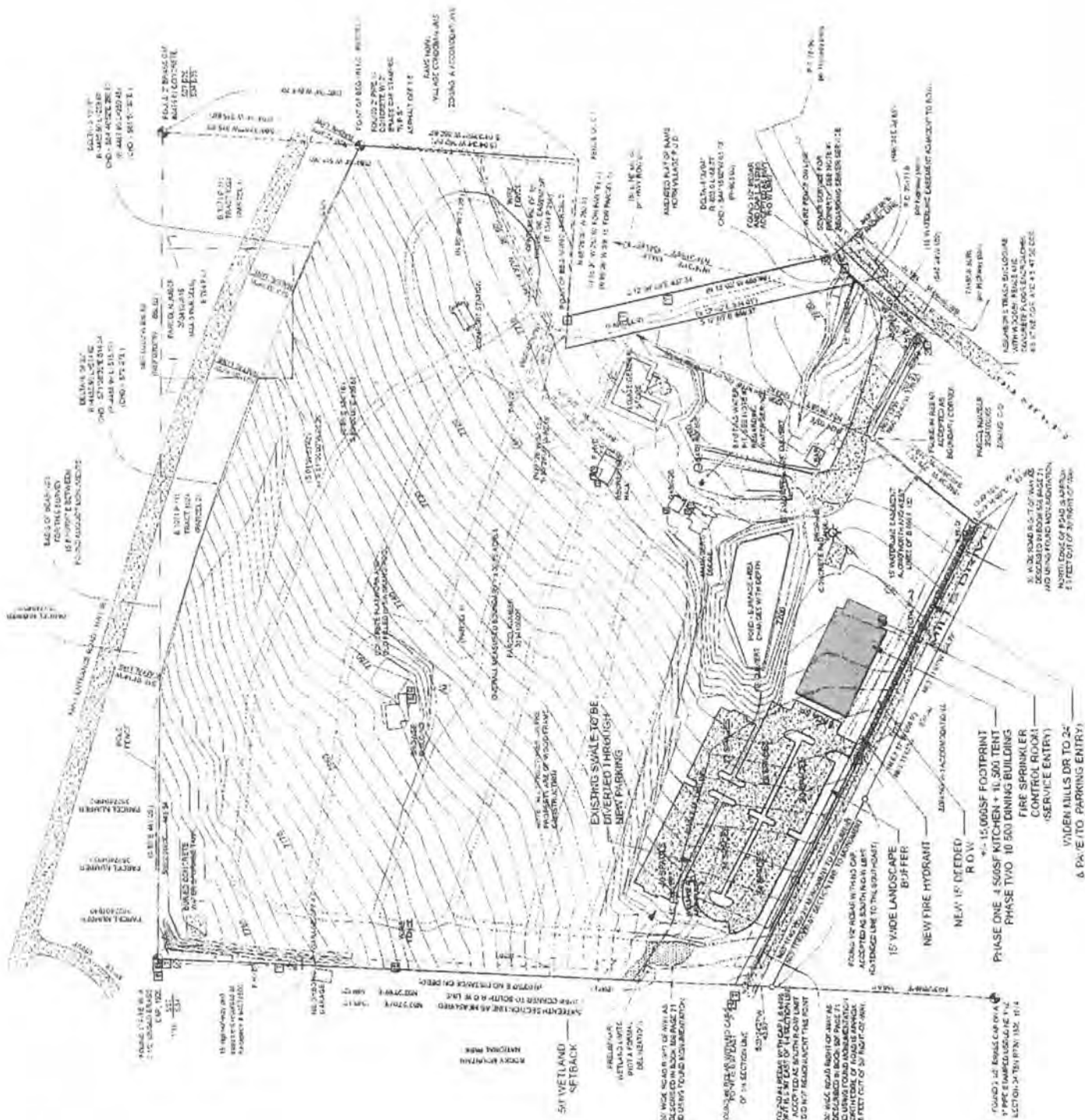
Intersection	Movement	Level of Service (Delay-sec/veh)	
		5-6 PM	8-9 PM
US36/LCR69B (stop sign)	WB LT	C (19.8)	B (12.8)
	EB T	A (0)	A (0)
LCR69B/Mills (stop sign)	EB LT/RT	B 14.7)	B 11.6)
	NB LT	A (8.2)	A (0)

TABLE 2
2018 Background Peak Hour Operation

Intersection	Movement	Level of Service (Delay-sec/veh)	
		5-6 PM	8-9 PM
US36/LCR69B (stop sign)	WB LT	C (21.6)	B (13.1)
	EB T	A (0)	A (0)
LCR69B/Mills (stop sign)	EB LT/RT	C (15.2)	B (11.8)
	NB LT	A (8.3)	A (0)

TABLE 3
2018 Total Peak Hour Operation

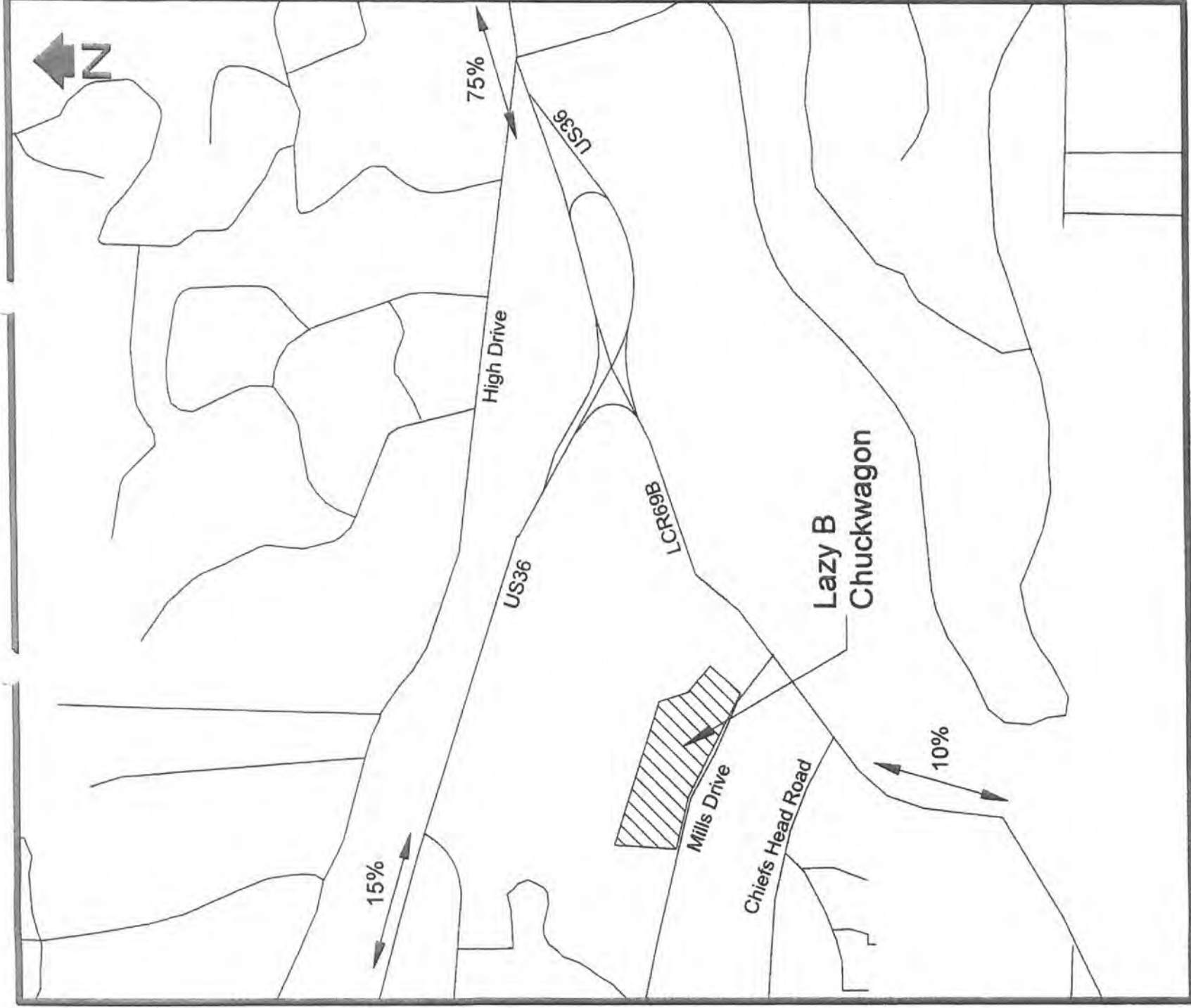
Intersection	Movement	Level of Service (Delay-sec/veh)	
		5-6 PM	8-9 PM
US36/LCR69B (stop sign)	WB LT	E (47.0)	B (13.1)
	EB T	A (0)	A (0)
US36/LCR69B (all-way stop sign)	WB LT	C (20.0)	B (9.8)
	EB T	B (13.6)	A (8.7)
LCR69B/Mills (stop sign)	EB LT/RT	C (15.9)	C (16.2)
	NB LT	A (8.3)	A (0)



SITE PLAN

Figure 4

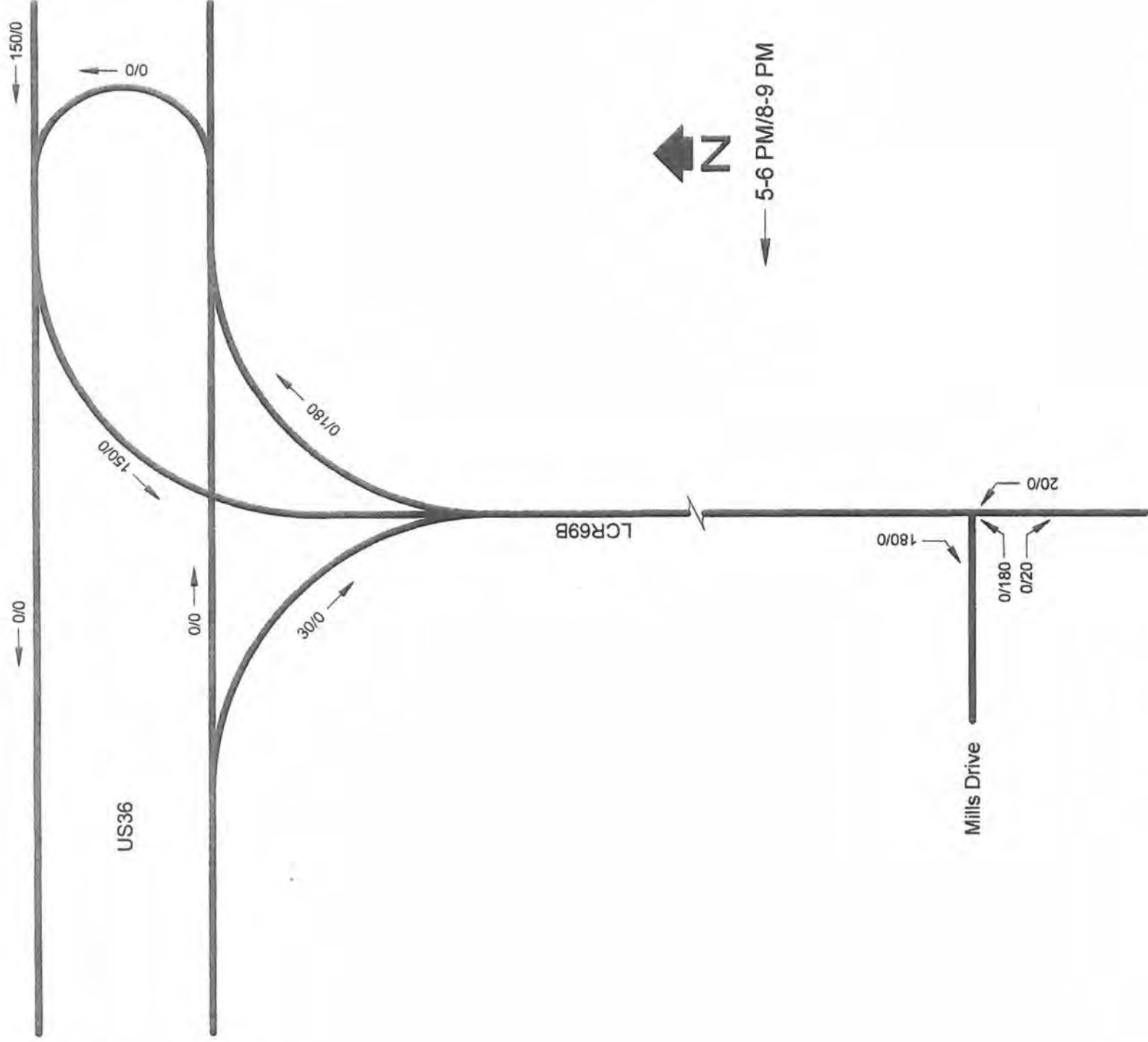
- 15,000SF FOOTPRINT
- PHASE ONE 4 500SF KITCHEN + 11,300 TENT
- PHASE TWO 10 500 DINING BUILDING
- FIRE SPRINKLER
- CONTROL ROOM
- (SERVICE ENTRY)
- NEW 15' DEEDED R.O.W.
- NEW FIRE HYDRANT
- 15' WIDE LANDSCAPE BUFFER
- EXISTING SWALE TO BE DIVERTED THROUGH NEW PARKING
- POD STORAGE AREA
- 50' WETLAND SETBACK
- 15' WIDE LANDSCAPE BUFFER
- NEW FIRE HYDRANT
- 15' WIDE LANDSCAPE BUFFER
- NEW 15' DEEDED R.O.W.
- PHASE ONE 4 500SF KITCHEN + 11,300 TENT
- PHASE TWO 10 500 DINING BUILDING
- FIRE SPRINKLER
- CONTROL ROOM
- (SERVICE ENTRY)
- VINDEN KILLS DR TO 24'
- 6 PA. E TO D PARKING ENTRY



SCALE: 1"=600'

TRIP DISTRIBUTION

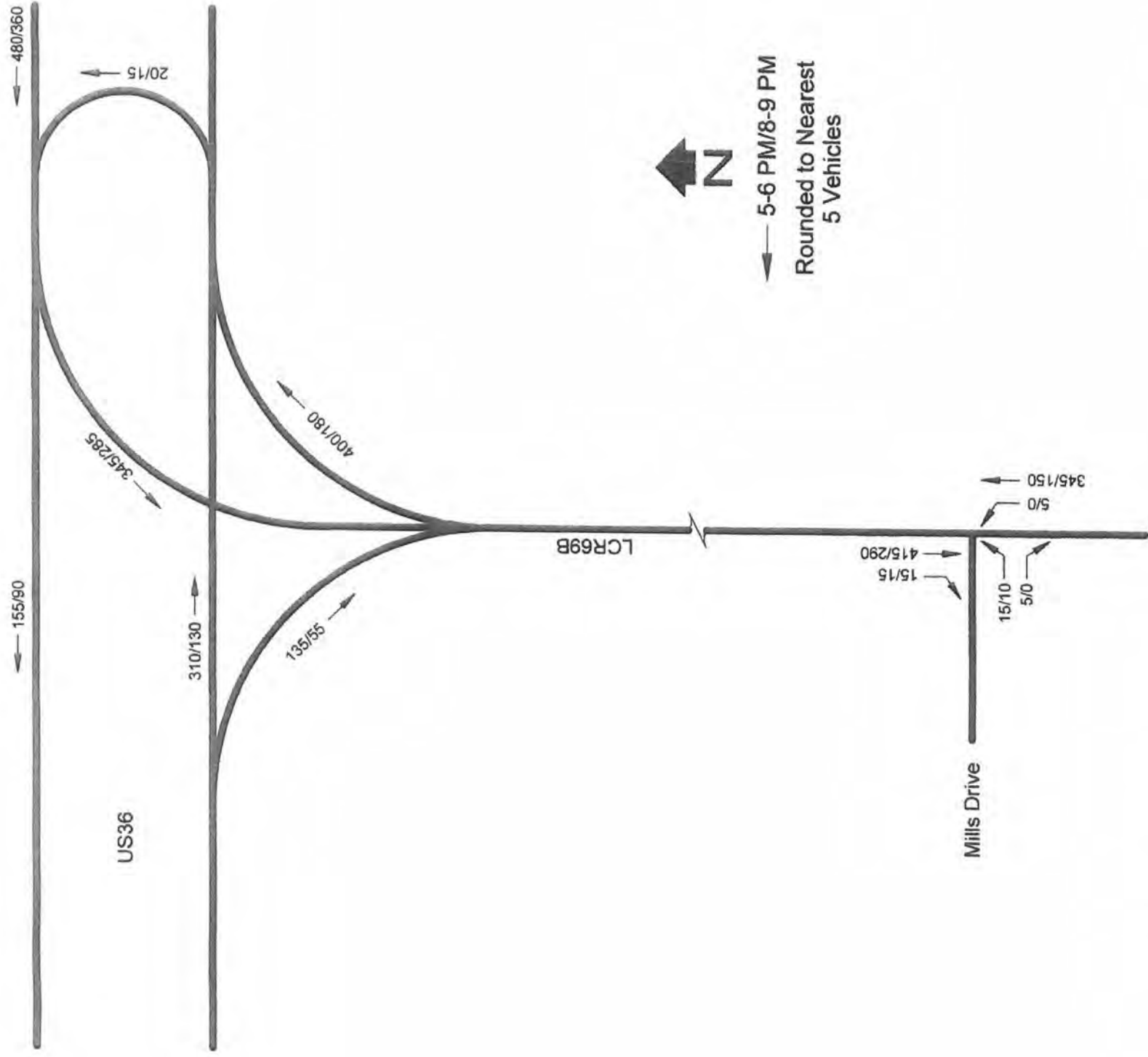
Figure 5



**SITE GENERATED
PEAK HOUR TRAFFIC**

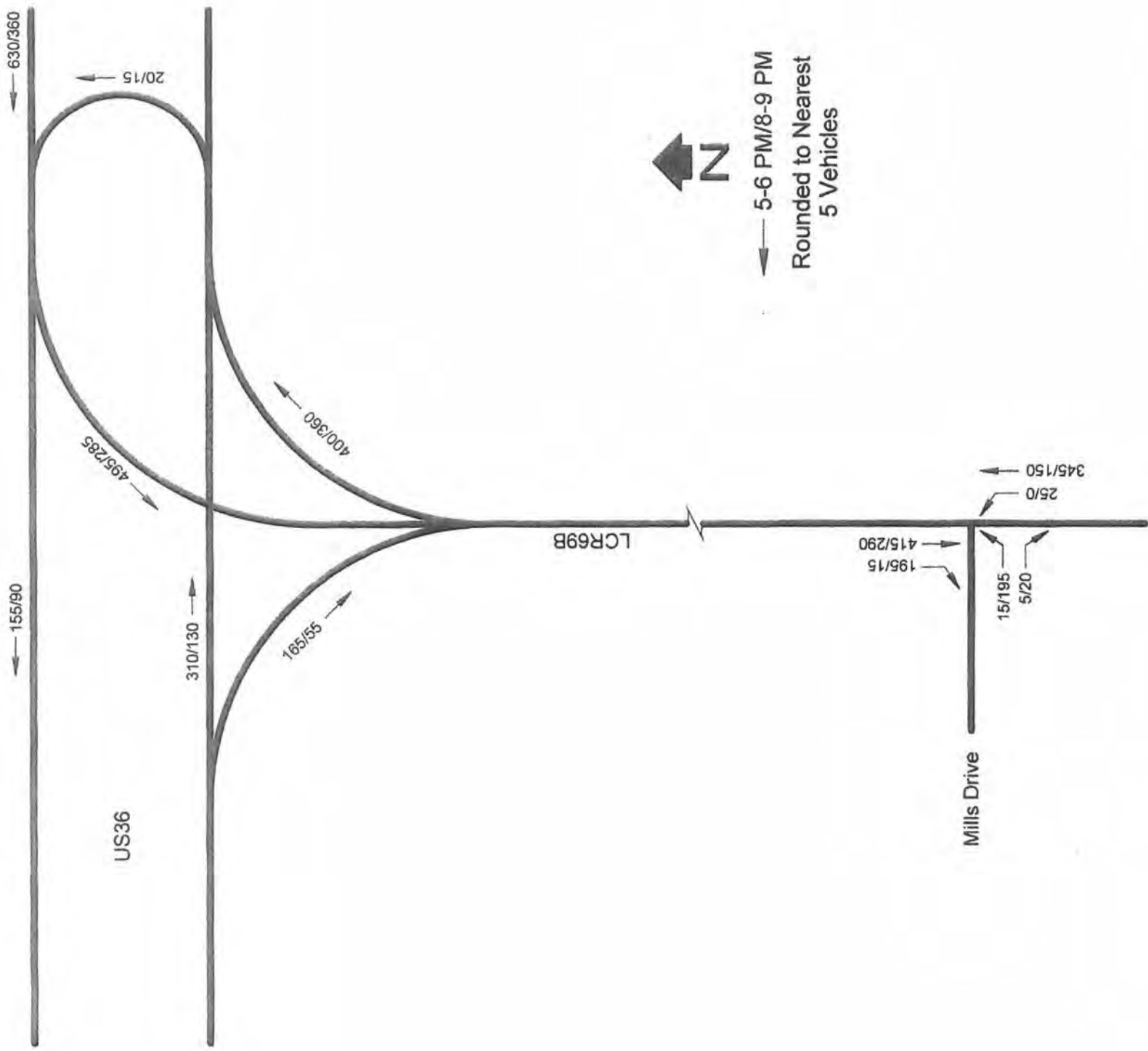


Figure 6



**2018 BACKGROUND
 PEAK HOUR TRAFFIC**

Figure 7



2018 TOTAL PEAK HOUR TRAFFIC

Figure 8

APPENDIX A

HCM Unsignalized Intersection Capacity Analysis

LCR69B stopped
pm 5-6

3: US36 & LCR69B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑									↑	
Volume (veh/h)	0	298	0	0	0	0	0	0	0	0	329	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	324	0	0	0	0	0	0	0	0	358	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			324			503	324	324	324	324	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			324			503	324	324	324	324	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	100	100
cM capacity (veh/h)	1623			1236			249	594	717	629	594	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	324	358										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	594										
Volume to Capacity	0.19	0.60										
Queue Length 95th (ft)	0	100										
Control Delay (s)	0.0	19.8										
Lane LOS		C										
Approach Delay (s)	0.0	19.8										
Approach LOS		C										
Intersection Summary												
Average Delay	10.4											
Intersection Capacity Utilization	39.7%											
Analysis Period (min)	15											
											A	

HCM Unsignalized Intersection Capacity Analysis

3: US36 & LCR69B

LCR 69B stopped
pm 8-9

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	0	123	0	0	0	0	0	0	0	0	272	0
Volume (veh/h)		Free			Free			Stop			Stop	
Sign Control		0%			0%			0%			0%	
Grade	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Peak Hour Factor	0	134	0	0	0	0	0	0	0	0	296	0
Hourly flow rate (vph)												
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			134			282	134	134	134	134	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			134			282	134	134	134	134	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	100	100
cM capacity (veh/h)	1623			1451			467	757	915	838	757	1085

Direction, Lane #	EB 1	SB 1
Volume Total	134	296
Volume Left	0	0
Volume Right	0	0
cSH	1700	757
Volume to Capacity	0.08	0.39
Queue Length 95th (ft)	0	47
Control Delay (s)	0.0	12.8
Lane LOS	B	B
Approach Delay (s)	0.0	12.8
Approach LOS	B	B

Intersection Summary		
Average Delay	8.8	
Intersection Capacity Utilization	27.5%	ICU Level of Service
Analysis Period (min)	15	A

HCM 2010 TWSC
 9: LCR69 B/LCR69B & Mills Drive

pm 5-6

Intersection
 Int Delay, s/veh 0.4

Movement	EBL	EBR	NBL	NBT	EBL	SBR
Vol, veh/h	15	5	5	330	395	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	5	5	359	429	16

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	808	446	0
Stage 1	438	-	-
Stage 2	370	-	-
Critical Hdwy	6.42	4.12	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	2.218	-
Pot Cap-1 Maneuver	350	1114	-
Stage 1	651	-	-
Stage 2	699	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	348	1114	-
Mov Cap-2 Maneuver	348	-	-
Stage 1	651	-	-
Stage 2	695	-	-

Approach	EB	NB	SB
HCM Control Delay, s	14.7	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1114	- 391	-	-
HCM Lane V/C Ratio	0.005	- 0.056	-	-
HCM Control Delay (s)	8.2	0 14.7	-	-
HCM Lane LOS	A	A B	-	-
HCM 95th %tile Q(veh)	0	- 0.2	-	-

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 8-9

Intersection
Int Delay, s/veh 0.3

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	10	0	0	145	275	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	0	0	158	299	16

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	465	315	0
Stage 1	307	-	-
Stage 2	158	-	-
Critical Hdwy	6.42	4.12	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	2.218	-
Pot Cap-1 Maneuver	556	733	1245
Stage 1	746	-	-
Stage 2	871	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	556	733	1245
Mov Cap-2 Maneuver	556	-	-
Stage 1	746	-	-
Stage 2	871	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.6	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1245	- 556	-	-
HCM Lane V/C Ratio	-	- 0.02	-	-
HCM Control Delay (s)	0	- 11.6	-	-
HCM Lane LOS	A	- B	-	-
HCM 95th %tile Q(veh)	0	- 0.1	-	-

6

UNSIGNALIZED INTERSECTIONS

Level-of-Service	Average Total Delay sec/veh
A	≤ 10
B	> 10 and ≤ 15
C	> 15 and ≤ 25
D	> 25 and ≤ 35
E	> 35 and ≤ 50
F	> 50

APPENDIX B

HCM Unsignalized Intersection Capacity Analysis

3: US36 & LCR69B

LCR69B stopped
pm 5-6 short background

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	0	310	0	0	0	0	0	0	0	0	345	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	337	0	0	0	0	0	0	0	0	375	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			337			524	337	337	337	337	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			337			524	337	337	337	337	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	36	100
cM capacity (veh/h)	1623			1222			225	584	705	617	584	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	337	375										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	584										
Volume to Capacity	0.20	0.64										
Queue Length 95th (ft)	0	115										
Control Delay (s)	0.0	21.6										
Lane LOS		C										
Approach Delay (s)	0.0	21.6										
Approach LOS		C										
Intersection Summary												
Average Delay	11.4											
Intersection Capacity Utilization	41.1%											
Analysis Period (min)	15											
	ICU Level of Service A											

HCM Unsignalized Intersection Capacity Analysis

LCR69B stopped
pm 8-9 short background

3: US36 & LCR69B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		←	←	←	←	←	←	←	←	←	←	←
Volume (veh/h)	0	130	0	0	0	0	0	0	0	0	285	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%		0%	0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	141	0	0	0	0	0	0	0	0	310	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None			None				
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			141			296	141	141	141	141	0
vC1, stage 1 conf vol				4.1			7.1	6.5	6.2	7.1	6.5	6.2
vC2, stage 2 conf vol												
vCu, unblocked vol												
IC, single (s)												
IC, 2 stage (s)												
IF (s)		2.2		2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %		100		100			100	100	100	100	59	100
cM capacity (veh/h)		1623		1442			444	750	907	828	750	1085

Direction, Lane # EB 1 SB 1

Volume Total	141	310
Volume Left	0	0
Volume Right	0	0
cSH	1700	750
Volume to Capacity	0.08	0.41
Queue Length 95th (ft)	0	51
Control Delay (s)	0.0	13.1
Lane LOS		B
Approach Delay (s)	0.0	13.1
Approach LOS		B

Intersection Summary

Average Delay	9.0
Intersection Capacity Utilization	28.5%
Analysis Period (min)	15
ICU Level of Service	A

HCM 2010 TWSC

9: LCR69 B/LCR69B & Mills Drive

pm 5-6 short background

Intersection
Int Delay, s/veh 0.4

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	15	5	5	345	415	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	5	5	375	451	16

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	845	467	0
Stage 1	459	-	-
Stage 2	386	-	-
Critical Hdwy	6.42	4.12	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	2.218	-
Pot Cap-1 Maneuver	333	1094	-
Stage 1	636	-	-
Stage 2	687	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	331	1094	-
Mov Cap-2 Maneuver	331	-	-
Stage 1	636	-	-
Stage 2	683	-	-

Approach EB NB SB
HCM Control Delay, s 15.2 0.1 0
HCM LOS C

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1094	-	373	-	-
HCM Lane V/C Ratio	0.005	-	0.058	-	-
HCM Control Delay (s)	8.3	0	15.2	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 8-9 short background

Intersection
Int Delay, s/veh 0.3

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	10	0	0	150	290	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	0	0	163	315	16

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	486	323	0
Stage 1	323	-	-
Stage 2	163	-	-
Critical Hdwy	6.42	6.22	4.12
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	2.218
Pot Cap-1 Maneuver	540	718	1227
Stage 1	734	-	-
Stage 2	866	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	540	718	1227
Mov Cap-2 Maneuver	540	-	-
Stage 1	734	-	-
Stage 2	866	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.8	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1227	540	-	-
HCM Lane V/C Ratio	-	0.02	-	-
HCM Control Delay (s)	0	11.8	-	-
HCM Lane LOS	A	B	-	-
HCM 95th %tile Q(veh)	0	0.1	-	-

APPENDIX C

HCM Unsignalized Intersection Capacity Analysis

LCR69B stopped
pm 5-6 short total

3: US36 & LCR69B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		←									←	
Volume (veh/h)	0	310	0	0	0	0	0	0	0	0	495	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	337	0	0	0	0	0	0	0	0	538	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			337			606	337	337	337	337	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			337			606	337	337	337	337	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	100	100
cM capacity (veh/h)	1623			1222			79	584	705	617	584	1085

Direction, Lane

EB 1 SB 1

Volume Total	337	538
Volume Left	0	0
Volume Right	0	0
cSH	1700	584
Volume to Capacity	0.20	0.92
Queue Length 95th (ft)	0	291
Control Delay (s)	0.0	47.0
Lane LOS	E	E
Approach Delay (s)	0.0	47.0
Approach LOS	E	E

Intersection Summary

Average Delay	28.9	ICU Level of Service	A
Intersection Capacity Utilization	49.0%		
Analysis Period (min)	15		

HCM Unsignalized Intersection Capacity Analysis

LCR69B stopped
pm 8-9 short total

3: US36 & LCR69B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑			←	↖	↖	↑	↗	↗	↓	↘
Volume (veh/h)	0	130	0	0	0	0	0	0	0	0	285	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	141	0	0	0	0	0	0	0	0	310	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	0			141			296	141	141	141	141	0
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	0			141			296	141	141	141	141	0
tC, single (s)	4.1			4.1			7.1	6.5	6.2	7.1	6.5	6.2
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	100			100			100	100	100	100	59	100
cM capacity (veh/h)	1623			1442			444	750	907	828	750	1085
Direction, Lane #	EB 1	SB 1										
Volume Total	141	310										
Volume Left	0	0										
Volume Right	0	0										
cSH	1700	750										
Volume to Capacity	0.08	0.41										
Queue Length 95th (ft)	0	51										
Control Delay (s)	0.0	13.1										
Lane LOS		B										
Approach Delay (s)	0.0	13.1										
Approach LOS		B										
Intersection Summary												
Average Delay												9.0
Intersection Capacity Utilization												28.5%
Analysis Period (min)												15
											ICU Level of Service	A

14

HCM Unsignalized Intersection Capacity Analysis

US36 & LCR 69B stopped
pm 5-6 short total

3: US36 & LCR69B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop		Stop	Stop			Stop			Stop	
Volume (vph)	0	310	0	0	0	0	0	0	0	0	495	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	337	0	0	0	0	0	0	0	0	538	0
Direction, Lane #	EB 1	SB 1										
Volume Total (vph)	337	538										
Volume Left (vph)	0	0										
Volume Right (vph)	0	0										
HadJ (s)	0.03	0.03										
Departure Headway (s)	5.3	4.9										
Degree Utilization, x	0.50	0.73										
Capacity (veh/h)	637	714										
Control Delay (s)	13.6	20.0										
Approach Delay (s)	13.6	20.0										
Approach LOS	B	C										

Intersection Summary

Delay	17.5		
Level of Service	C		
Intersection Capacity Utilization	49.0%	ICU Level of Service	A
Analysis Period (min)	15		

HCM Unsignalized Intersection Capacity Analysis

US36 & LCR 69B stopped

3: US36 & LCR69B

pm 8-9 short total

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control	Stop											
Volume (vph)	0	130	0	0	0	0	0	0	0	0	285	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	141	0	0	0	0	0	0	0	0	310	0
Direction, Lane #	EB 1	SB 1										
Volume Total (vph)	141	310										
Volume Left (vph)	0	0										
Volume Right (vph)	0	0										
Hadj (s)	0.03	0.03										
Departure Headway (s)	4.7	4.3										
Degree Utilization, x	0.18	0.37										
Capacity (veh/h)	724	817										
Control Delay (s)	8.7	9.8										
Approach Delay (s)	8.7	9.8										
Approach LOS	A	A										

Intersection Summary

Delay	9.4
Level of Service	A
Intersection Capacity Utilization	28.5%
Analysis Period (min)	15
ICU Level of Service	A

16

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 5-6 short total

Intersection _____
Int Delay, s/veh 0.5

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	15	5	25	345	415	195
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	200
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	5	27	375	451	212

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	880	451	0
Stage 1	451	-	-
Stage 2	429	-	-
Critical Hdwy	6.42	4.12	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	2.218	-
Pot Cap-1 Maneuver	318	1109	-
Stage 1	642	-	-
Stage 2	657	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	308	1109	-
Mov Cap-2 Maneuver	308	-	-
Stage 1	642	-	-
Stage 2	637	-	-

Approach	EB	NB	SB
HCM Control Delay, s	15.9	0.6	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1109	- 351	-	-
HCM Lane V/C Ratio	0.025	- 0.062	-	-
HCM Control Delay (s)	8.3	0 15.9	-	-
HCM Lane LOS	A	A C	-	-
HCM 95th %tile Q(veh)	0.1	- 0.2	-	-

HCM 2010 TWSC
9: LCR69 B/LCR69B & Mills Drive

pm 8-9 short total

Intersection
Int Delay, s/veh 5.2

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	195	20	0	150	290	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	212	22	0	163	315	16

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	486	332	0
Stage 1	323	-	-
Stage 2	163	-	-
Critical Hdwy	6.42	6.22	4.12
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	2.218
Pot Cap-1 Maneuver	540	718	1227
Stage 1	734	-	-
Stage 2	866	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	540	718	1227
Mov Cap-2 Maneuver	540	-	-
Stage 1	734	-	-
Stage 2	866	-	-

Approach	EB	NB	SB
HCM Control Delay, s	16.2	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT/EBLn1	SBT	SBR
Capacity (veh/h)	1227	- 553	-	-
HCM Lane V/C Ratio	-	- 0.423	-	-
HCM Control Delay (s)	0	- 16.2	-	-
HCM Lane LOS	A	- C	-	-
HCM 95th %tile Q(veh)	0	- 2.1	-	-

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF SECTION 34, T34N, R73W OF THE 6TH P.M. JARVIS COUNTY, CO, COLORADO



EXISTING STATISTICAL INFORMATION:

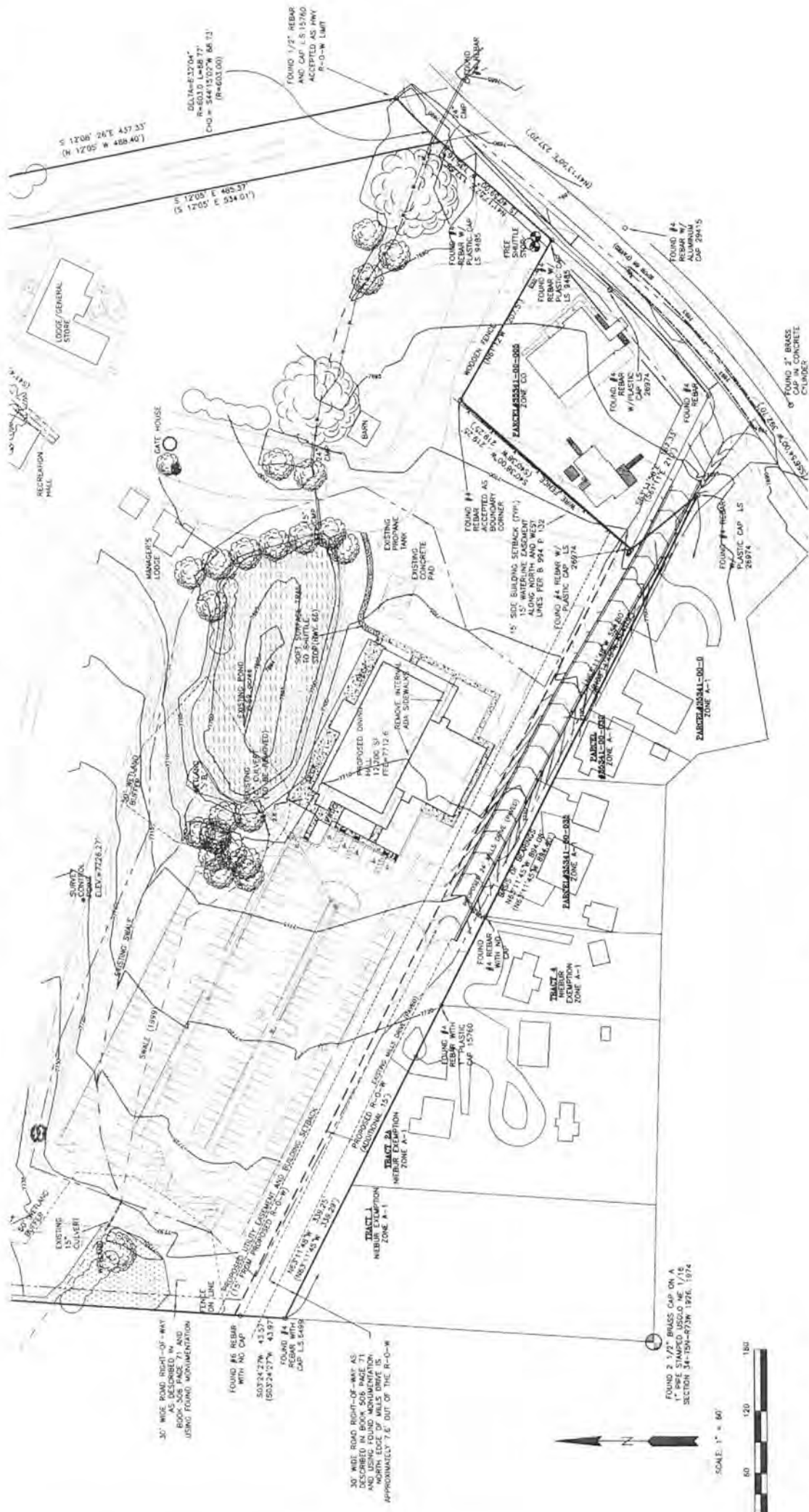
- CURRENT ZONING: ACCOMMODATIONS (A)
- CURRENT BUILDING SETBACKS: 15' FRONT (25' SIDEWALK), 15' SIDE, 10' REAR
- PROPOSED ZONING: ACCOMMODATIONS (A)
- PROPOSED BUILDING SETBACKS: ACCOMMODATIONS (A)
- 15' FRONT/25.0', 10' REAR
- PROJECT AREA: 1.339,470 SF, 30.725 ACRES
- DEDICATED RIGHT OF WAY: 28,542.92 SF, 0.65 ACRES (NOT FROM BOOK AND PAGE TOGETHER WITH AN ADDITIONAL 15' DEDICATED AS PART OF THIS SUBMITAL)
- ADVANCED PROJECT AREA: 1,300,072.07 SF, 29.87 ACRES
- PROPOSED USE: MAJOR ENTERTAINMENT EVENT, INDOOR FACILITY
- AVERAGE SLOPE: 3.7%
- PROPOSED DEVELOPMENT: 17,910 SF MAJOR EVENT FACILITY
- REQUIRED (PER TRAFFIC STUDY): 266 PEOPLE/15.5 PEOPLE/VEHICLE+216 SPACES
- 152 PARKING SPACES PROVIDED
- 8 HANDICAP ACCESSIBLE REQUIRED=6 PROVIDED
- 1 LANDSCAPING SPACE REQUIRED=1 PROVIDED
- 5 CHAMBER BIAS SPACES (125PP/70.5)
- 10 BIKE CAPACITY BIKE RACK
- MAX BUILDING HEIGHT: 28.25' 32.0' ALLOWED WITH SLOPING SCALE PER EDDC
- LOT COVERAGE: 15% MAX
- 58% LOT COVERED
- 289,740/1,300,072.07 SF=22.3% PROPOSED

LEGEND

- 100K TOWNSHIP/SECTION
- ELECTRIC POSTER
- NEW ELECTRIC SERVICE PANEL
- NEW TELEPHONE SERVICE
- NEW WIRE - EXISTING
- NEW WIRE - CHECKING
- NEW WIRE - NEW
- EXISTING MAJOR CONDUIT
- PROPOSED MAJOR CONDUIT
- EXISTING CONDUIT
- NEW 1/2" PLASTIC CAP 1.5" IPS
- NEW 2" PLASTIC CAP 3" IPS
- NEW 4" PLASTIC CAP 6" IPS
- NEW 6" PLASTIC CAP 12" IPS
- NEW 8" PLASTIC CAP 18" IPS
- NEW 10" PLASTIC CAP 24" IPS
- NEW 12" PLASTIC CAP 30" IPS
- NEW 15" PLASTIC CAP 36" IPS
- NEW 20" PLASTIC CAP 48" IPS
- NEW 24" PLASTIC CAP 60" IPS
- NEW 30" PLASTIC CAP 72" IPS
- NEW 36" PLASTIC CAP 84" IPS
- NEW 48" PLASTIC CAP 108" IPS
- NEW 60" PLASTIC CAP 144" IPS
- NEW 72" PLASTIC CAP 180" IPS
- NEW 84" PLASTIC CAP 216" IPS
- NEW 108" PLASTIC CAP 288" IPS
- NEW 144" PLASTIC CAP 384" IPS
- NEW 180" PLASTIC CAP 486" IPS
- NEW 216" PLASTIC CAP 583" IPS
- NEW 288" PLASTIC CAP 764" IPS
- NEW 384" PLASTIC CAP 1012" IPS
- NEW 486" PLASTIC CAP 1276" IPS
- NEW 583" PLASTIC CAP 1551" IPS
- NEW 764" PLASTIC CAP 1948" IPS
- NEW 1012" PLASTIC CAP 2544" IPS
- NEW 1276" PLASTIC CAP 3192" IPS
- NEW 1551" PLASTIC CAP 3951" IPS
- NEW 1948" PLASTIC CAP 4912" IPS
- NEW 2544" PLASTIC CAP 6192" IPS
- NEW 3192" PLASTIC CAP 7671" IPS
- NEW 3951" PLASTIC CAP 9504" IPS
- NEW 4912" PLASTIC CAP 11568" IPS
- NEW 6192" PLASTIC CAP 14352" IPS
- NEW 7671" PLASTIC CAP 17381" IPS
- NEW 9504" PLASTIC CAP 21276" IPS
- NEW 11568" PLASTIC CAP 25920" IPS
- NEW 14352" PLASTIC CAP 31344" IPS
- NEW 17381" PLASTIC CAP 37536" IPS
- NEW 21276" PLASTIC CAP 44544" IPS
- NEW 25920" PLASTIC CAP 52320" IPS
- NEW 31344" PLASTIC CAP 60704" IPS
- NEW 37536" PLASTIC CAP 69744" IPS
- NEW 44544" PLASTIC CAP 79440" IPS
- NEW 52320" PLASTIC CAP 89760" IPS
- NEW 60704" PLASTIC CAP 100704" IPS
- NEW 69744" PLASTIC CAP 112224" IPS
- NEW 79440" PLASTIC CAP 124320" IPS
- NEW 89760" PLASTIC CAP 137016" IPS
- NEW 100704" PLASTIC CAP 150304" IPS
- NEW 112224" PLASTIC CAP 164176" IPS
- NEW 124320" PLASTIC CAP 178608" IPS
- NEW 137016" PLASTIC CAP 193680" IPS
- NEW 150304" PLASTIC CAP 209280" IPS
- NEW 164176" PLASTIC CAP 225456" IPS
- NEW 178608" PLASTIC CAP 242280" IPS
- NEW 193680" PLASTIC CAP 259136" IPS
- NEW 209280" PLASTIC CAP 276000" IPS
- NEW 225456" PLASTIC CAP 292848" IPS
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- NEW 259136" PLASTIC CAP 326160" IPS
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- NEW 973344" PLASTIC CAP 965460" IPS
- NEW 973392" PLASTIC CAP 965464" IPS
- NEW 973440" PLASTIC CAP 965468" IPS
- NEW 973488" PLASTIC CAP 965472" IPS
- NEW 973536" PLASTIC CAP 965476" IPS
- NEW 973584" PLASTIC CAP 965480" IPS
- NEW 973632" PLASTIC CAP 965484" IPS
- NEW 973680" PLASTIC CAP 965488" IPS
- NEW 973728" PLASTIC CAP 965492" IPS
- NEW 973776" PLASTIC CAP 965496" IPS
- NEW 973824" PLASTIC CAP 965500" IPS
- NEW 973872" PLASTIC CAP 965504" IPS
- NEW 973920" PLASTIC CAP 965508" IPS
- NEW 973968" PLASTIC CAP 965512" IPS
- NEW 974016" PLASTIC CAP 965516" IPS
- NEW 974064" PLASTIC CAP 965520" IPS
- NEW 974112" PLASTIC CAP 965524" IPS
- NEW 974160" PLASTIC CAP 965528" IPS
- NEW 974208" PLASTIC CAP 965532" IPS
- NEW 974256" PLASTIC CAP 965536" IPS
- NEW 974304" PLASTIC CAP 965540" IPS
- NEW 974352" PLASTIC CAP 965544" IPS
- NEW 974400" PLASTIC CAP 965548" IPS
- NEW 974448" PLASTIC CAP 965552" IPS
- NEW 974496" PLASTIC CAP 965556" IPS
- NEW 974544" PLASTIC CAP 965560" IPS
- NEW 974592" PLASTIC CAP 965564" IPS
- NEW 974640" PLASTIC CAP 965568" IPS
- NEW 974688" PLASTIC CAP 965572" IPS
- NEW 974736" PLASTIC CAP 965576" IPS
- NEW 974784" PLASTIC CAP 965580" IPS
- NEW 974832" PLASTIC CAP 965584" IPS
- NEW 974880" PLASTIC CAP 965588" IPS
- NEW 974928" PLASTIC CAP 965592" IPS
- NEW 974976" PLASTIC CAP 965596" IPS
- NEW 975024" PLASTIC CAP 965600" IPS
- NEW 975072" PLASTIC CAP 965604" IPS
- NEW 975120" PLASTIC CAP 965608" IPS
- NEW 975168" PLASTIC CAP 965612" IPS
- NEW 975216" PLASTIC CAP 965616" IPS
- NEW 975264" PLASTIC CAP 965620" IPS
- NEW 975312" PLASTIC CAP 965624" IPS
- NEW 975360" PLASTIC CAP 965628" IPS
- NEW 975408" PLASTIC CAP 965632" IPS
- NEW 975456" PLASTIC CAP 965636" IPS
- NEW 975504" PLASTIC CAP 965640" IPS
- NEW 975552" PLASTIC CAP 965644" IPS
- NEW 975600" PLASTIC CAP 965648" IPS
- NEW 975648" PLASTIC CAP 965652" IPS
- NEW 975696" PLASTIC CAP 965656" IPS
- NEW 975744" PLASTIC CAP 965660" IPS
- NEW 975792" PLASTIC CAP 965664" IPS
- NEW 975840" PLASTIC CAP 965668" IPS
- NEW 975888" PLASTIC CAP 965672" IPS
- NEW 975936" PLASTIC CAP 965676" IPS
- NEW 975984" PLASTIC CAP 965680" IPS
- NEW 976032" PLASTIC CAP 965684" IPS
- NEW 976080" PLASTIC CAP 965688" IPS
- NEW 976128" PLASTIC CAP 965692" IPS
- NEW 976176" PLASTIC CAP 965696" IPS
- NEW 976224" PLASTIC CAP 965700" IPS
- NEW 976272" PLASTIC CAP 965704" IPS
- NEW 976320" PLASTIC CAP 965708" IPS
- NEW 976368" PLASTIC CAP 965712" IPS
- NEW 976416" PLASTIC CAP 965716" IPS
- NEW 976464" PLASTIC CAP 965720" IPS
- NEW 976512" PLASTIC CAP 965724" IPS
- NEW 976560" PLASTIC CAP 965728" IPS
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- NEW 977424" PLASTIC CAP 965800" IPS
- NEW 977472" PLASTIC CAP 965804" IPS
- NEW 977520" PLASTIC CAP 965808" IPS
- NEW 977568" PLASTIC CAP 965812" IPS
- NEW 977616" PLASTIC CAP 965816" IPS
- NEW 977664" PLASTIC CAP 965820" IPS
- NEW 977712" PLASTIC CAP 965824" IPS
- NEW 977760" PLASTIC CAP 965828" IPS
- NEW 977808"

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF SECTION 34, 15N, R73N OF THE 6TH P.M., LARIMER COUNTY, COLORADO



THREE-PHASE PROJECT PLAN

- PHASE TWO:
- THE DARKING HALL (12,200 SF)
 - NEW COMPLIANT CONCRETE WALKWAYS FROM ASH PARKING SPACES TO NEW
 - INTERNAL LOT LANDSCAPING



DATE	REVISION	BY

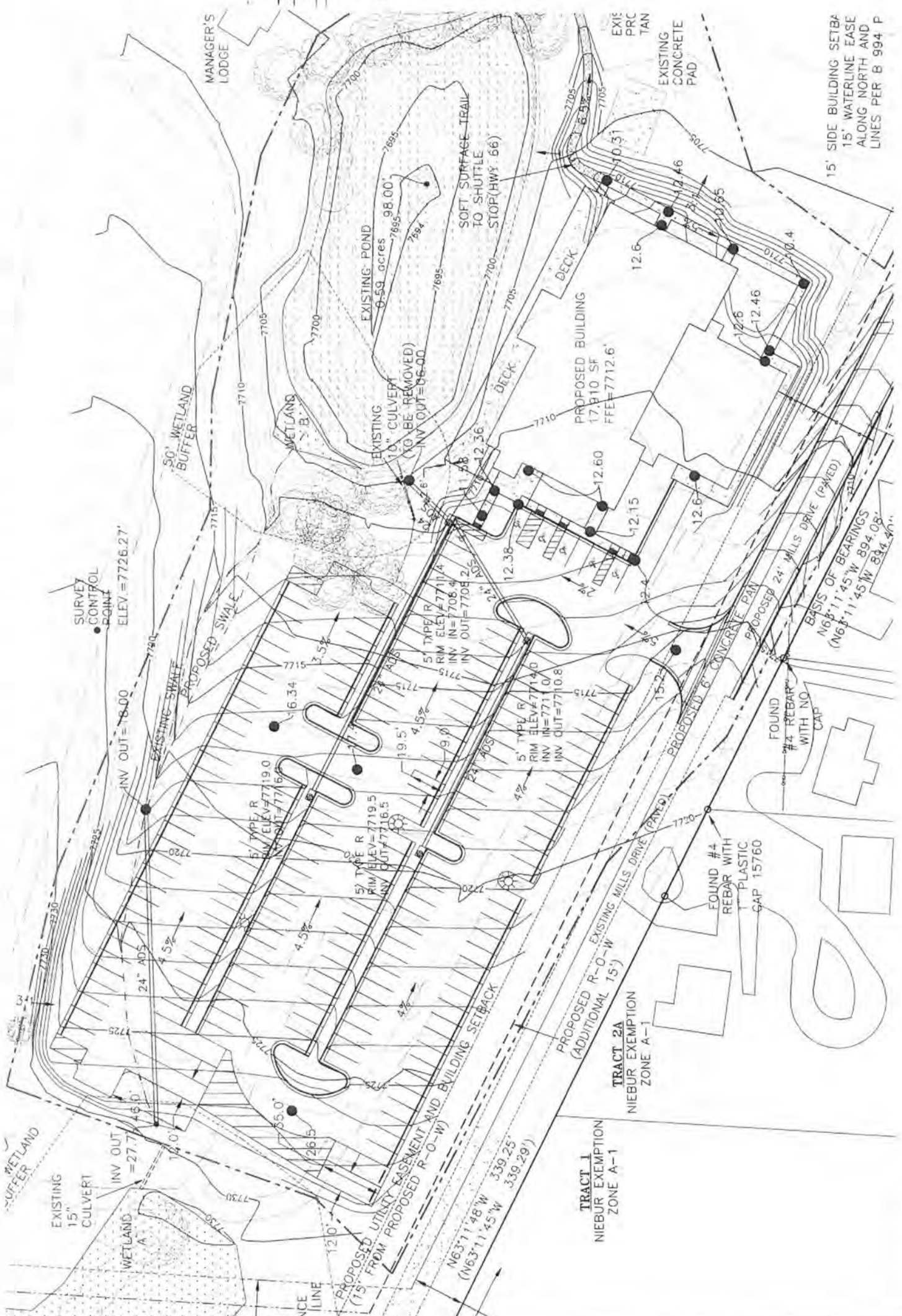
VAN HORN ENGINEERING AND SURVEYING
 1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
 PHONE: (970) 586-9388 • FAX: (970) 586-4101

PHASE 2, SITE PLAN
 1665 HWY 66
 ESTES PARK, COLORADO

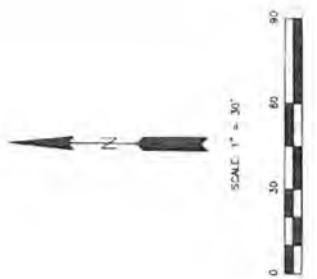
PROJECT SHEET	DRAWN BY: CML
	CHECKED BY: LAS
	SCALE: 1"=60'
	DATE: 01/20/16
SHEET	2
OF	10
PROJ. NO.	2007-05-23

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF SECTION 34, 19N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO



- LEGEND**
- 150# TRANSFORMER
 - ELECTRIC METER
 - HIGH VOLTAGE SERVICE PANE
 - LOW VOLTAGE SERVICE PANE
 - UTILITY POLE
 - TELEPHONE POLE
 - WATER SHUT OFF VALVE
 - FIRE HYDRANT
 - SEWER CLEAROUT
 - SEWER MANHOLE
 - STORM SEWER MANHOLE
 - LINE OF INTERFERENCE
 - PROPERTY LINE
 - PROPERTY CORNER
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFERUS TREE
 - EXISTING ROW OF TREES/SHRUBS
 - 10\"/>



PHASE 3 PLAN, GRADING & DRAINAGE
 1665 HWY 66
 ESTES PARK, COLORADO



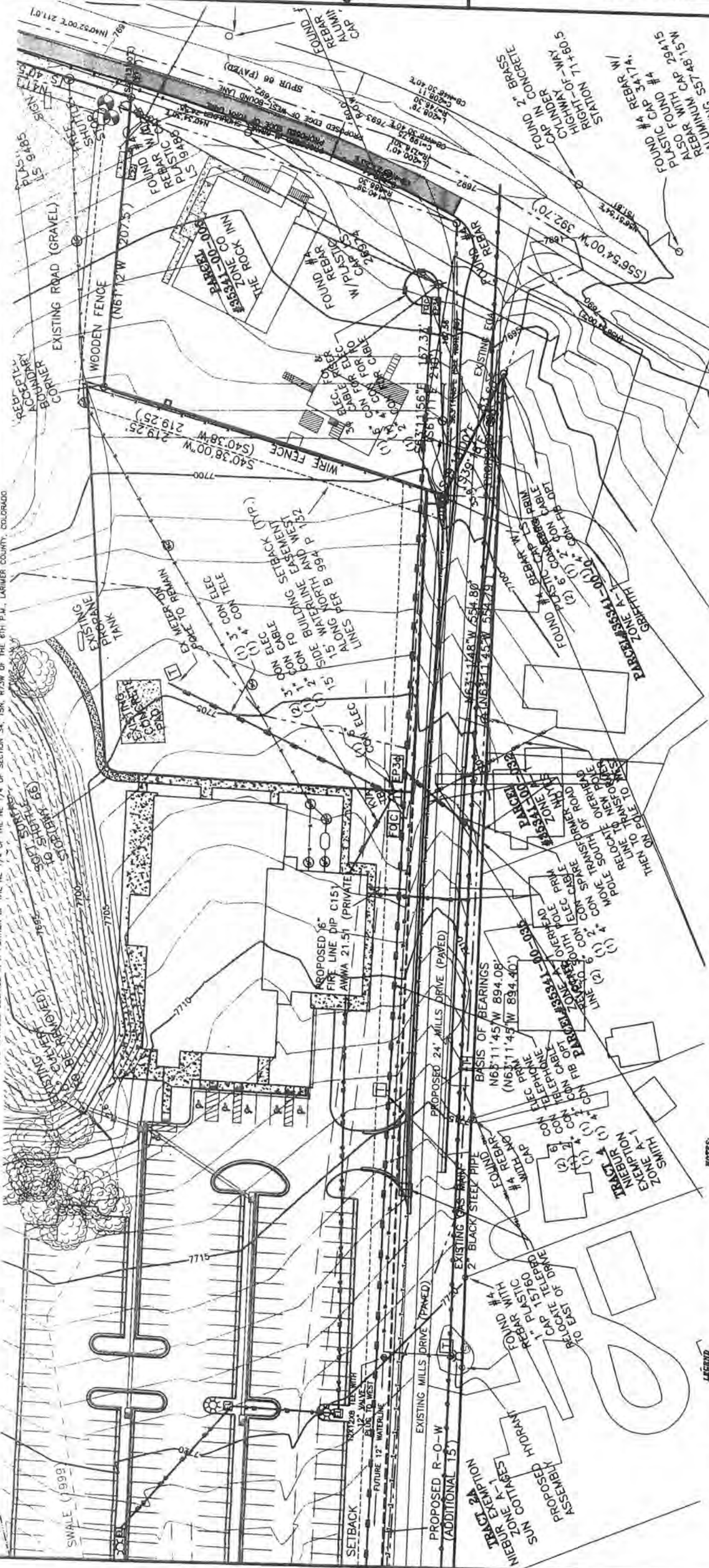
VAN HORN ENGINEERING AND SURVEYING
 104 S. CRISTO CREEK DRIVE, SUITE 100
 ESTES PARK, COLORADO 80521
 PHONE: (970) 586-9388 • FAX: (970) 586-8101

PROJECT:	1665 HWY 66
CHECKED BY:	LAS
SCALE:	1"=30'
DATE:	01/20/18
SHEET:	3
OF	10
PROJ. NO.	2007-05-23

THREE-PHASE PROJECT PLAN:
 PHASE THREE:
 • PAVE, STRIKE AND CURB AND CUTTER THE PARKING LOT
 • INSTALL PARKING LOT DRAINAGE FEATURES
 • INSTALL PARKING LOT LANDSCAPING

LAZY B RANCH AND WRANGLERS, LLC DEVELOPMENT PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T5N, R73W OF THE 6TH P.M., LARIMER COUNTY, COLORADO



- LEGEND**
- LIMIT OF DISTURBANCE
 - FENCE (AS NOTED)
 - 3" PRIMARY CABLE & BASE
 - 1" PLASTIC
 - TELEPHONE SERVICE
 - CABLE SERVICE
 - WATER LINE - NEW
 - WATER LINE - EXISTING
 - 15" EXISTING BARRIED SECONDARY SERVICE
 - 2" EXISTING OVERHEAD UTILITY LINE
 - NEW BARRIED SECONDARY SERVICE
 - 3" STRAIN BENDER LINE - NEW
 - UTILITY POLE
 - BALUNGS SERVICE
 - FACTORY (AS NOTED)
 - ROAD OR DRIVE TO BE RELOCATED/ALTERED
 - EXISTING ROAD OR DRIVE
 - NEW ROAD OR DRIVE
 - PROPOSED CONCRETE
 - FOUND #4 REBAR WITH PLASTIC CAP P.3 HAS (UNLESS OTHERWISE NOTED)
 - FOUND #4 REBAR WITH PLASTIC CAP P.3 HAS (UNLESS OTHERWISE NOTED)
 - PLATTED OR RECORDED INSTRUMENTS
- NOTES:**
1. THE WATER MAIN EXTENSION HAS AN APPROVED DESIGN FROM AND ADJACENT PROJECT. THE LOCATION OF WHICH MAIN TO THE PROPOSED BUILDING IS APPROXIMATELY 825'.
 2. THE SHARPLY BENDING SERVICE LINE IS A 6" LINE APPROXIMATELY 527' IN LENGTH.
 3. THE EXISTING OVERHEAD ELECTRIC LINES WILL BE BARRIED DURING THE INSTALLATION OF THE WATER MAIN.
 4. TRENCHES FOR CABLE LINES WILL BE SHOWN WITH ELECTRIC SERVICE LINES WILL CONNECT TO THE EXISTING TELEPHONE LINES.
 5. THE NATURAL GAS LINE IS ASSUMED TO BE IN WALLS DRIVE. A NEW BARRIED GAS LINE WILL CONNECT TO THE GAS MAIN.



VAM HOEN ENGINEERING AND SURVEYING
 1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
 PHONE: (970) 568-9366 • FAX: (970) 568-8101

UTILITY PLAN
1666 HWY 66
ESTES PARK, COLORADO

PROJECT:	1666 HWY 66
DATE:	01/20/16
SCALE:	1"=50'
CHECKED BY:	JAS
DATE:	01/20/16
SHEET:	4
OF:	10

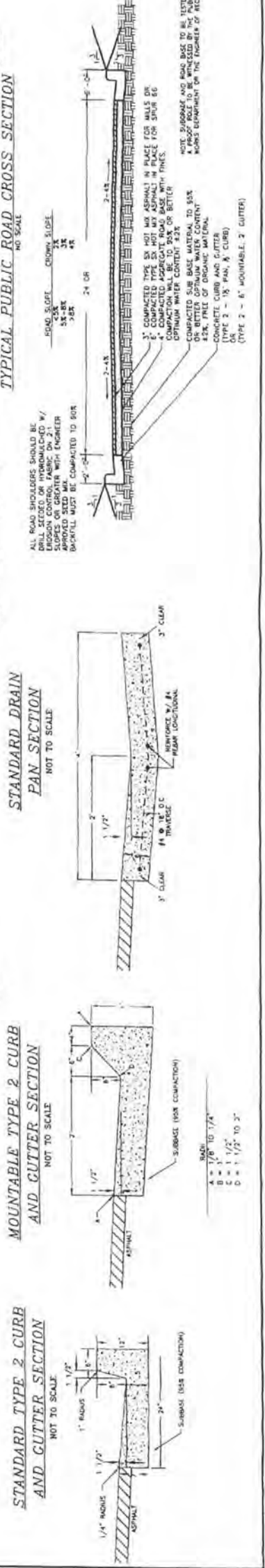
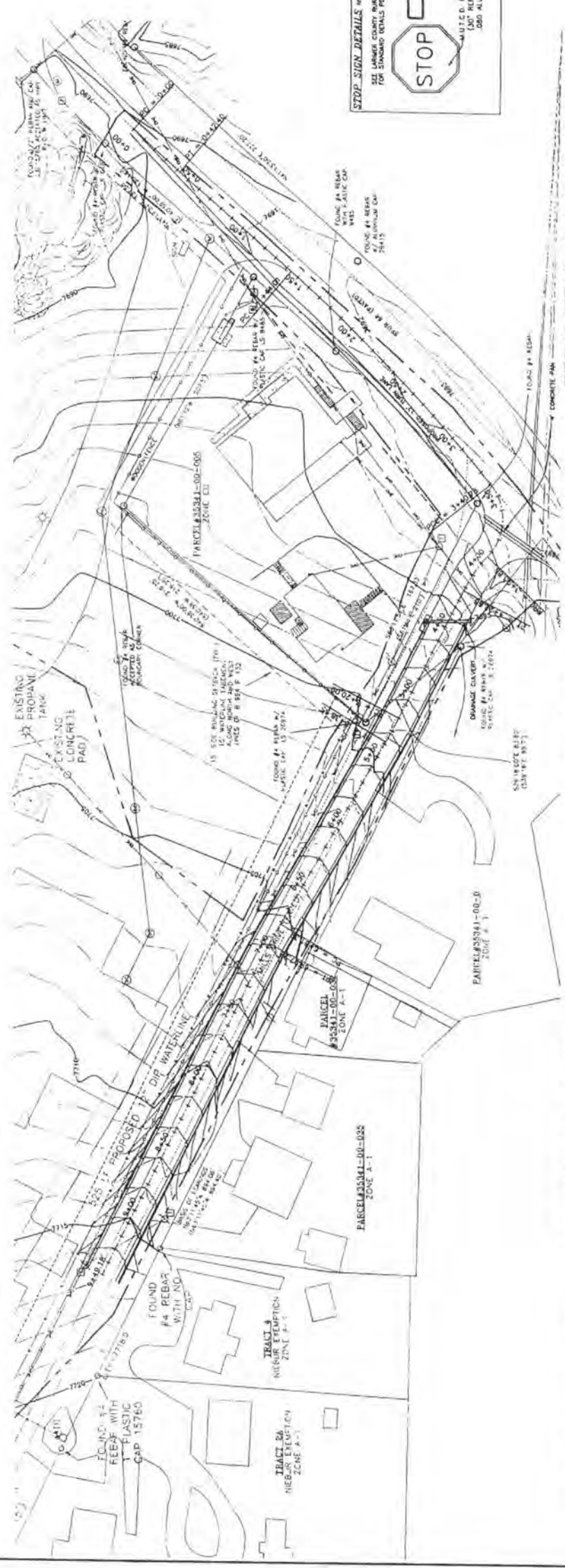
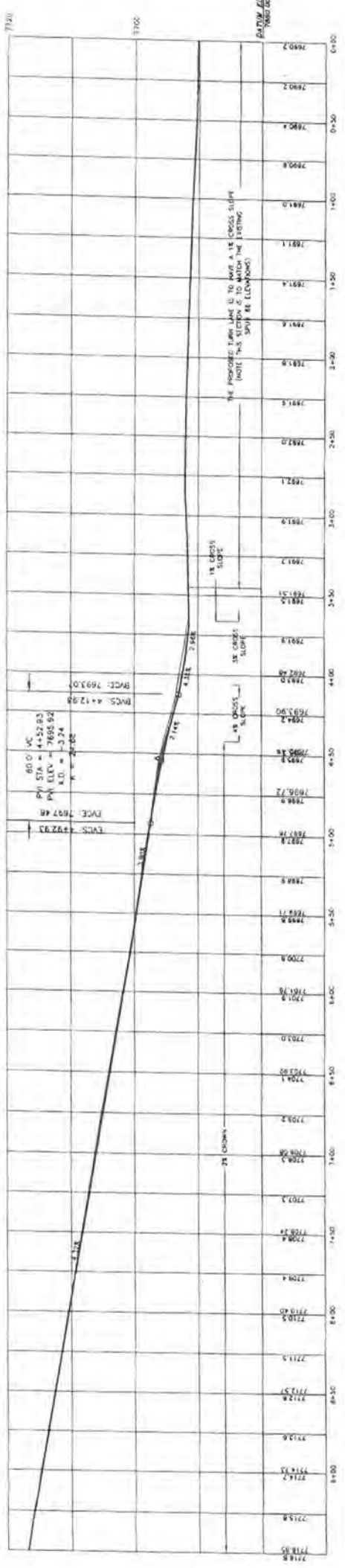
DATE:	01-15-16	NO. OF SHEETS:	10
REVISION:			
BY:			

LAZY B RANCH AND WRANGLERS, LLC ROAD PLAN

TWO PARCELS LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 34, T5N, R72W OF THE 6TH P.M., WARMER COUNTY, COLORADO

PROFILE

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 10'

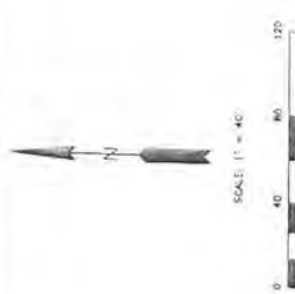


VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • FAX: (970) 586-8101

TURN LANE AND MILLS DRIVE DESIGN
1665 HWY 66
ESTES PARK, COLORADO

PROJECT	CLUB
SHEET	LAS
DRAWN BY	VAB
CHECKED BY	DATE
DATE	01/19/10
SHEET	5
OF	10

PROJ. NO. 2007-05-23



- LEGEND**
- WATER SHUT OFF VALVE
 - FIRE HYDRANT
 - LINE OF BOUNDARIES
 - 100% #4 REBAR WITH PLASTIC CAP THIS WAS (UNLESS OTHERWISE NOTED)
 - MASSURED OR CALCULATED DIMENSIONS (100%)
 - PROPOSED DIMENSIONS
 - EXISTING DIMENSIONS
 - EXISTING MAJOR CONDUIT
 - PROPOSED MAJOR CONDUIT
 - PROPOSED MINOR CONDUIT
 - FUEL
 - WATER
 - SEWER LINE - EXISTING
 - SEWER LINE - NEW
 - WATER LINE - EXISTING
 - WATER LINE - NEW
 - BUILDING SETBACK
 - NEW ROAD OR DRIVE
 - ROAD OR DRIVE TO BE RELOCATED/ALTERED

NOTES

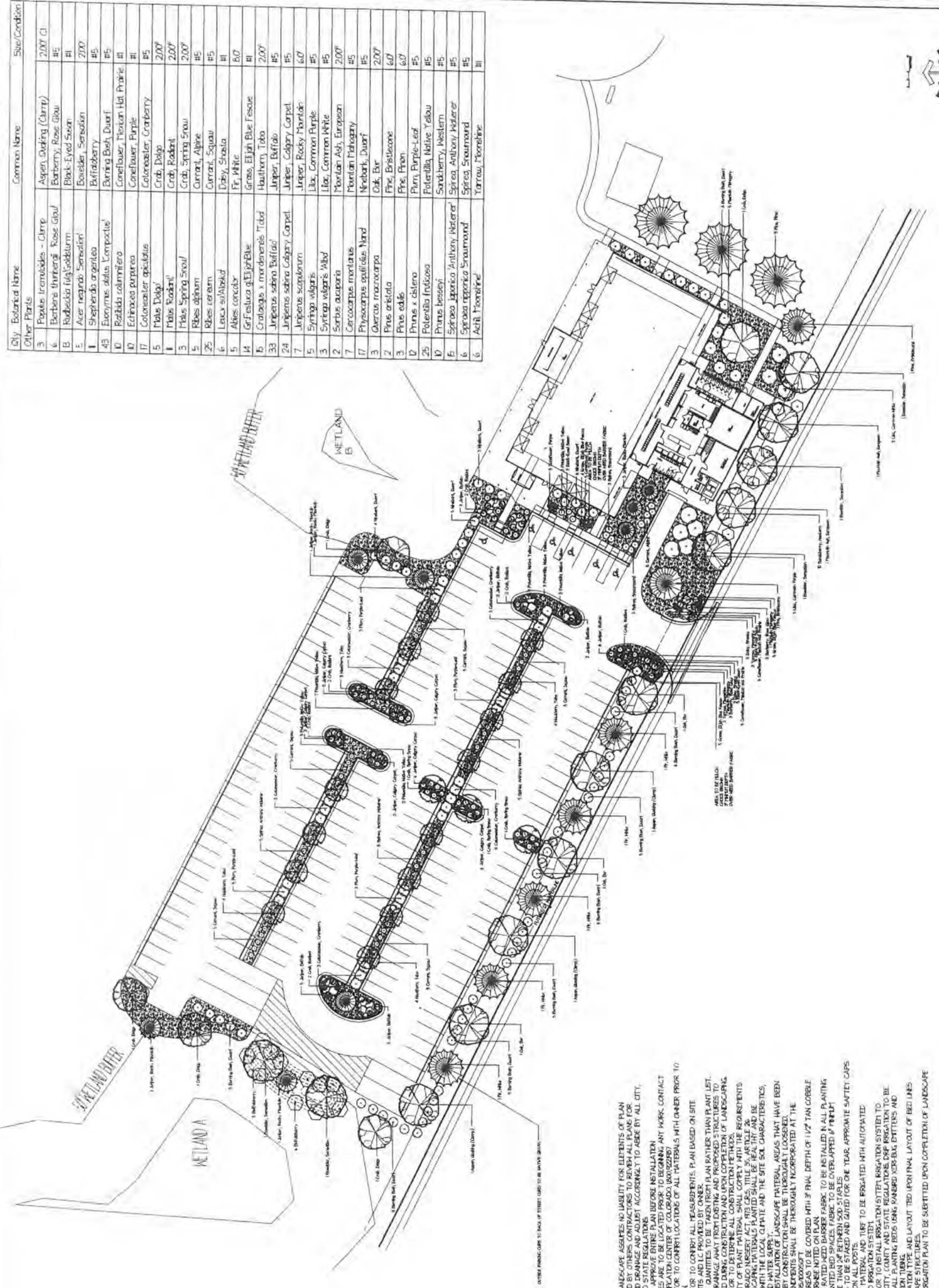
Qty	Botanical Name	Common Name	Size/Condition
3	Populus tremuloides - Clump	Aspen, Quaking (Clump)	2.00' CI
6	Berberis thunbergii	Berberis, Rose Glow	#5
1	Rubus idaeus	Black-Eyed Susan	#1
5	Acer negundo	Boxelder, Sassafras	2.00'
1	Shepherdia argentea	Buffalberry	#5
4	Eonymus alatus 'Compactus'	Burning Bush, Dwarf	#5
10	Ratibida columnifera	Coneflower, Mexican Hat Prairie	#1
10	Echinacea purpurea	Coneflower, Purple	#1
17	Coloanthes spicata	Coloanthes, Cranberry	#5
5	Malus 'Dolgo'	Crab, Dolgo	2.00'
1	Malus 'Rozari'	Crab, Rozari	2.00'
3	Malus Spring Snow	Crab, Spring Snow	2.00'
5	Ribes alpinum	Current, Alpine	#5
25	Ribes cereum	Current, Squaw	#5
6	Leuca salicifolia	Daisy, Squaw	#1
5	Abies concolor	Fir, White	8.0'
14	Grifolium g. 'High Blue'	Grass, Elgin Blue Fescue	#1
6	Crotalaria x mordenensis 'Tobac'	Hairybarn, Tobac	2.00'
33	Juniperus sabina 'Buffalo'	Juniper, Buffalo	#5
24	Juniperus sabina Calgary Carpet	Juniper, Calgary Carpet	#5
7	Juniperus scopulorum	Juniper, Rocky Mountain	6.0'
5	Syringa vulgaris	Lila, Common Purple	#5
3	Syringa vulgaris 'Wald'	Lila, Common White	#5
2	Sorbus aucuparia	Mountain Ash, European	2.00'
7	Cercocarpus montanus	Mountain Redstart	#5
17	Physocarpus opulifolius 'Nand'	Meibohm, Dwarf	#5
3	Quercus macrocarpa	Oak, Bur	2.00'
3	Prunus arbutifolia	Pine, Bristledone	6.0'
3	Prunus edulis	Pine, Prawn	6.0'
10	Prunus x cistena	Plum, Purple-Leaf	#5
25	Potentilla fruticosa	Potentilla, Native Yellow	#5
10	Prunus besseyi	Sandcherry, Western	#5
5	Spiraea japonica 'Anthony Waterer'	Spiraea, Anthony Waterer	#5
6	Spiraea japonica 'Snoke'	Spiraea, Snoke	#5
6	Achillea 'Moonshine'	Yarrow, Moonshine	#1

Detailed
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400 HEFTLOCK STREET
FORT COLLINS, CO 80524
970.221.4038
www.detailedlandscape.com

LANDSCAPE PLAN
OVERALL PLAN

LAZY B RANCH
ELK MEADOW CAMPGROUND
ESTES PARK, COLORADO

SCALE	AS SHOWN
DRAWN	J.A.F.
CHECKED	J.A.F.
DATE	10/20/08
SHEET NO.	7



1. DETAILED LANDSCAPE ASSUMES NO LIABILITY FOR ELEMENTS OF PLAN PREPARED BY OTHERS. CONTRACTORS TO REVIEW ALL PLANS FOR GRADING AND DRAINAGE AND ADJUST ACCORDINGLY TO ABIDE BY ALL CITY, COUNTY AND STATE REGULATIONS.
2. OWNER TO APPROVE ENTIRE PLAN BEFORE INSTALLATION.
3. ALL UTILITIES ARE TO BE LOCATED PRIOR TO BEGINNING ANY WORK. CONTRACTOR TO VERIFY LOCATION OF UTILITIES WITH OWNER PRIOR TO INSTALLATION.
4. CONTRACTOR TO CORRECT LOCATION OF ALL UTILITIES WITH OWNER PRIOR TO INSTALLATION.
5. CONTRACTOR TO CORRECT ALL MEASUREMENTS, PLANS BASED ON SITE FEASIBILITY AND I.C. PROVIDED BY OWNER.
6. ALL PLANT QUANTITIES TO BE TAKEN FROM PLAN RATHER THAN PLANT LIST.
7. POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED STRUCTURES TO BE MAINTAINED DURING CONSTRUCTION AND UPON COMPLETION OF LANDSCAPING.
8. CONTRACTOR TO DETERMINE ALL CONSTRUCTION METHODS, PROCEDURES AND MATERIALS TO BE USED FOR ALL CONSTRUCTION.
9. ALL CONSTRUCTION MATERIALS PLANTED SHALL BE HEALTHY AND BE COMPATIBLE WITH THE LOCAL CLIMATE AND THE SITE SOIL CHARACTERISTICS, DRAINAGE AND WATER SUPPLY.
10. PRIOR TO INSTALLATION OF LANDSCAPE MATERIAL, AREAS THAT HAVE BEEN COMPACTED BY CONSTRUCTION SHALL BE THOROUGHLY LOOSENEED.
11. ALL BED AREAS SHALL BE THOROUGHLY INCORPORATED AT THE TIME OF INSTALLATION.
12. ALL BED AREAS TO BE COVERED WITH 3" FINAL DEPTH OF 1/2" TAN CORBBLE UNLESS OTHERWISE NOTED ON PLAN.
13. WOVEN, UV RATED NEED BARBER FABRIC TO BE INSTALLED IN ALL PLANTING AND NON PLANTED BED SPACES FABRIC TO BE OVERLAPPED 6" PER FOOT WITH NO MORE THAN 2" BETWEEN SOIL STAPLES.
14. ALL PLANTING BEDS TO BE INSTALLED WITH 1/2" PER FOOT DRAINAGE TUBES AND LAYOUT TIED UPON FINAL LAYOUT OF BED LINES.
15. ALL PLANT MATERIAL AND TUBS TO BE IRRIGATED WITH AUTOMATED UNDERGROUND IRRIGATION SYSTEM.
16. CONTRACTOR TO INSTALL IRRIGATION SYSTEM, IRRIGATION SYSTEM TO FOLLOW ALL CITY, COUNTY AND STATE REGULATIONS. DSR IRRIGATION TO BE INSTALLED IN ALL PLANTING BEDS USING NUMBERED XERO-BLOC EJECTORS AND IRRIGATION TUBES.
17. ALL IRRIGATION TUBES AND LAYOUT TIED UPON FINAL LAYOUT OF BED LINES AND IRRIGATION STRUCTURES.
18. AS BUILT IRRIGATION PLAN TO BE SUBMITTED UPON COMPLETION OF LANDSCAPE.

NOTES

No.	Date	Description
1	08/14/2017	ISSUED FOR PERMIT (P)
2		
3		
4		
5		
6		

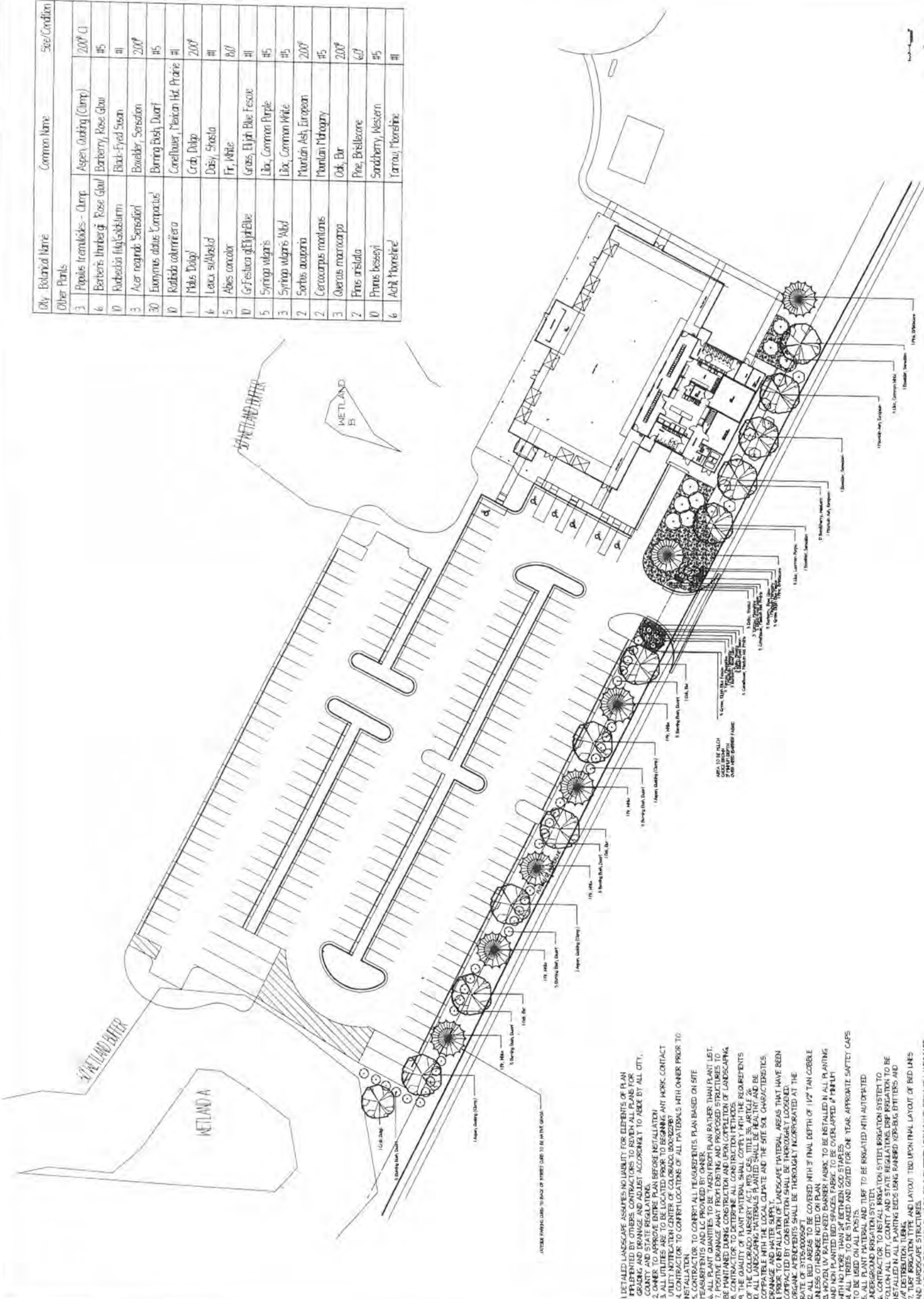
Detailed LANDSCAPE
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 400 HEMLOCK STREET
 FORT COLLINS, CO 80524
 9702241038
 www.detailedlandscape.com

LANDSCAPE PLAN
 OVERALL PLAN

LAZY B RANCH
 ELK MEADOW CAMPGROUND
 ESTES PARK, COLORADO

SCALE	AS SHOWN
DRAWN BY	JLW
CHECKED BY	
DATE	08/23/17
SHEET NO.	8

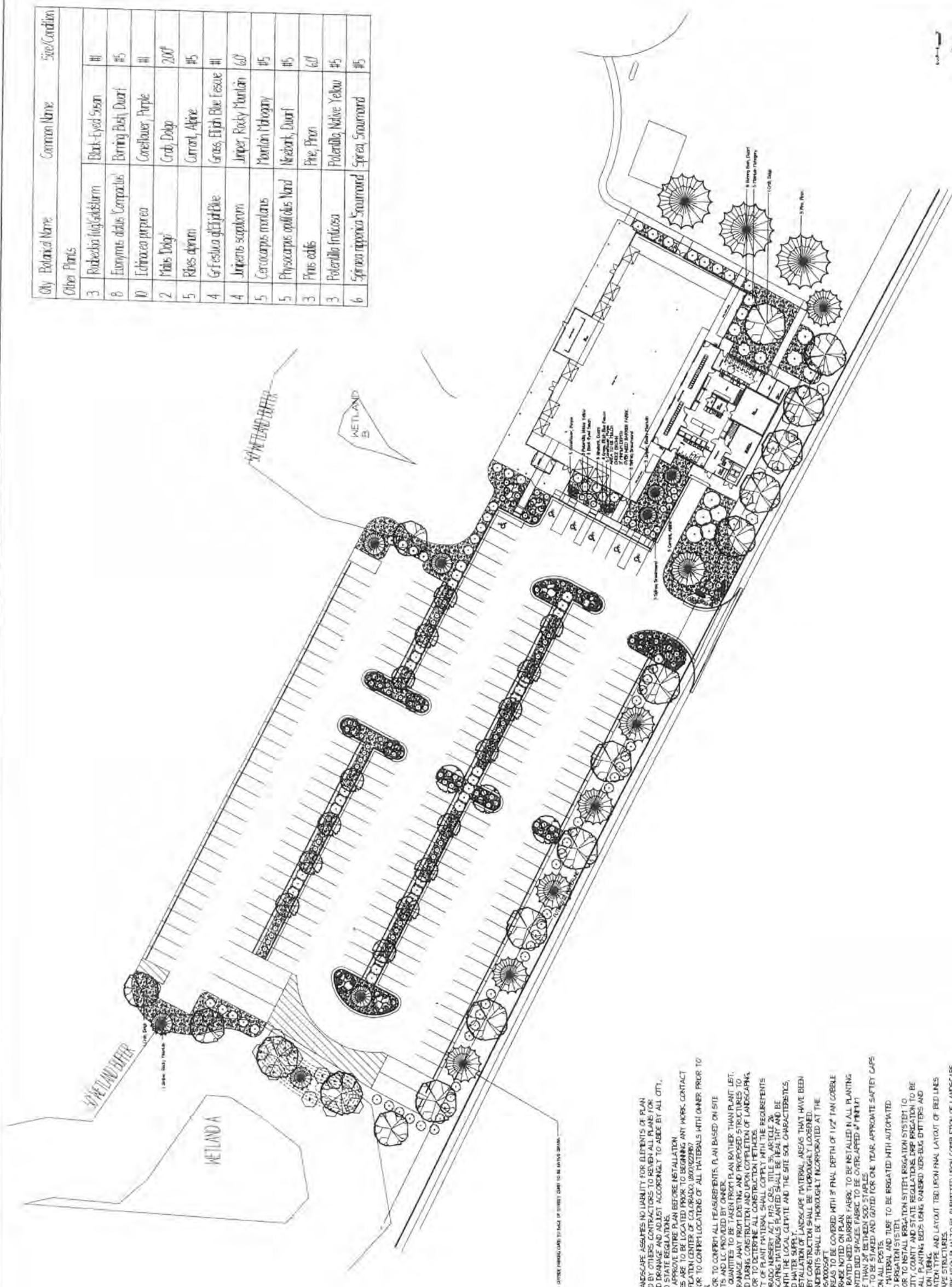
Qty	Botanical Name	Common Name	Size/Condition
3	Populus tremuloides - Clump	Aspen, Quaking (Clump)	200" CI
6	Berberis thunbergii	Rose Glow	#5
10	Rubus idaeus	Black-Ryd Susan	#1
3	Acer negundo	Sensation	200"
30	Eunymus alatus Compactus	Burning Bush Dwarf	#5
10	Rudbeckia columbiana	Cornflower, Mexican Hd. Prairie	#1
1	Malus Dogo!	Crab Dogo	200"
6	Leucaei Alaskid	Daisy Shasta	#1
5	Abies concolor	Fir, White	#10
10	Gr. festuca gl. Blue	Grass, Eight Blue Fescue	#1
5	Syringa vulgaris	Liba, Common Purple	#5
3	Syringa vulgaris	Liba, Common White	#5
2	Sorbus aucuparia	Mountain Ash, European	200"
2	Cercocarpus matronalis	Mountain Highberry	#5
3	Quercus macrocarpa	Oak, Bur	200"
2	Pinus aristata	Pin, Brillecone	#10
10	Prunus besseyi	Sorberry, Western	#5
6	Achil. Monstrie!	Yarrow, Monstrie	#1



1. DETAILED LANDSCAPE ASSUMES NO LIABILITY FOR ELEMENTS OF PLAN IMPLEMENTED BY OTHERS. CONTRACTORS TO REVIEW ALL PLANS FOR GRADING AND DRAINAGE AND ADJUST ACCORDINGLY TO ADEQUACY BY ALL CITY, COUNTY AND STATE REGULATIONS.
2. OWNER TO APPROVE ENTIRE PLAN BEFORE INSTALLATION.
3. ALL UTILITIES ARE TO BE LOCATED PRIOR TO BEGINNING ANY WORK. CONTACT UTILITY COMPANIES FOR LOCATION OF ALL UTILITIES.
4. CONTRACTOR TO CORRECT LOCATIONS OF ALL UTILITIES WITH OWNER PRIOR TO INSTALLATION.
5. CONTRACTOR TO CORRECT ALL MEASUREMENTS PLAN BASED ON SITE MEASUREMENTS AND I.C. PROVIDED BY OWNER.
6. ALL PLANT QUANTITIES TO BE TAKEN FROM PLAN RATHER THAN PLANT LIST.
7. POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED STRUCTURES TO BE MAINTAINED DURING CONSTRUCTION AND UPON COMPLETION OF LANDSCAPING.
8. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND FEES FOR LANDSCAPING.
9. THE LOCATION OF PLANT MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE COLORADO NURSERY ACT, RFD C.S.S. TITLE 35, ARTICLE 26.
10. ALL LANDSCAPING MATERIALS PLANTED SHALL BE HEALTHY AND BE COMPATIBLE WITH THE LOCAL CLIMATE AND THE SITE SOIL CHARACTERISTICS, DRAINAGE AND WATER SUPPLY.
11. PRIOR TO INSTALLATION OF LANDSCAPE MATERIALS, AREAS THAT HAVE BEEN UNDER CONSTRUCTION SHALL BE THOROUGHLY DECONTAMINATED AT THE RATE OF 3000/ACR/ACR.
12. ALL BED AREAS TO BE COVERED WITH 3" FINAL DEPTH OF 1/2" TAN COBBLE UNLESS OTHERWISE NOTED ON PLAN.
13. MOVING UNRATED BED SPACES FABRIC TO BE OVERLAPPED 1" MINUTY.
14. MAIN TRUNKS TO BE STAKED AND GRADED FOR ONE YEAR. APPROPRIATE SAFETY CAPS TO BE USED ON ALL POSTS.
15. ALL PLANT MATERIAL AND TUBS TO BE IRRIGATED WITH AUTOMATED UNDERGROUND IRRIGATION SYSTEM.
16. CONTRACTOR TO INSTALL IRRIGATION SYSTEM. REGULATION SYSTEM TO FOLLOW ALL CITY, COUNTY AND STATE REGULATIONS. DRIP REGULATOR TO BE INSTALLED IN ALL PLANTING BEDS USING BARBERED KERS-BIG FILTERS AND 1/2" TUBS. REGULATOR TYPE AND LAYOUT TO BE UPON FINAL LAYOUT OF BED LINES AND HARDSCAPE STRUCTURES.
17. AS BUILT IRRIGATION PLAN TO BE SUBMITTED UPON COMPLETION OF LANDSCAPE

NOTES

Qty	Botanical Name	Common Name	Size/Condition
Other Plants			
3	<i>Rubus idaeofolius</i>	Black-Eyed Susan	#11
8	<i>Eryngium yuccifolium</i>	Burning Bush Dwarf	#5
10	<i>Echinacea purpurea</i>	Coneflower, Purple	#11
2	<i>Matis 'Dagob'</i>	Crab, Dog	200"
5	<i>Ribes alpinum</i>	Current, Alpine	#5
4	<i>Grass, Elyon Blue Fescue</i>	Grass, Elyon Blue Fescue	#11
4	<i>Juniperus scopulorum</i>	Juniper, Rocky Mountain	60"
5	<i>Cercocarpus montanus</i>	Mountain Chokeberry	#5
5	<i>Physocarpus opulifolius Nand</i>	Nandakort, Dwarf	#5
3	<i>Pinus edulis</i>	Pine, Pinyon	60"
3	<i>Potentilla fruticosa</i>	Potentilla, Native Yellow	#5
6	<i>Spiraea japonica</i>	Spiraea, Spirea	#5



1. DETAILED LANDSCAPE ASSUMES NO LIABILITY FOR ELEMENTS OF PLAN PREPARED BY OTHERS. CONTRACTORS TO REVIEW ALL PLANS FOR GRADING AND DRAINAGE AND ADJUST ACCORDINGLY TO ABIDE BY ALL CITY, COUNTY AND STATE REGULATIONS.
2. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
3. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
4. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
5. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
6. ALL PLANT QUANTITIES TO BE TAKEN FROM PLANS RATHER THAN PLANT LIST.
7. POSITIVE CHANGE FROM PROTECTING AND PROTECTING STRUCTURES.
8. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
9. THE QUANTITY OF PLANT MATERIALS SHALL CORRELATE WITH THE REQUIREMENTS OF THE COLORADO NURSERY ACT, R13-CRS, TITLE 39, ARTICLE 28.
10. ALL LANDSCAPING MATERIALS PLANTED SHALL BE HEALTHY AND BE COMPATIBLE WITH THE LOCAL CLIMATE AND THE SITE SOIL CHARACTERISTICS.
11. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
12. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
13. CONTRACTOR TO VERIFY ALL PLANT SPECIFICATIONS AND QUANTITIES WITH THE APPROVED PLANT LIST AND QUANTITIES.
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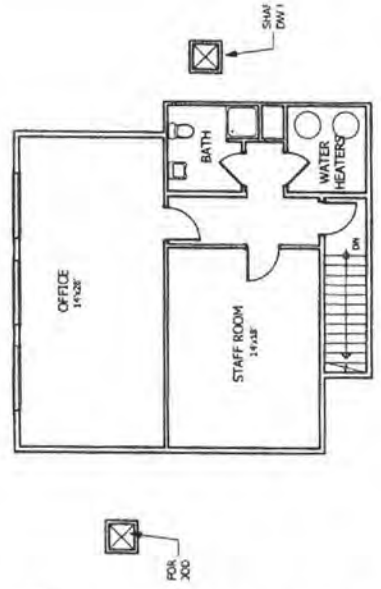
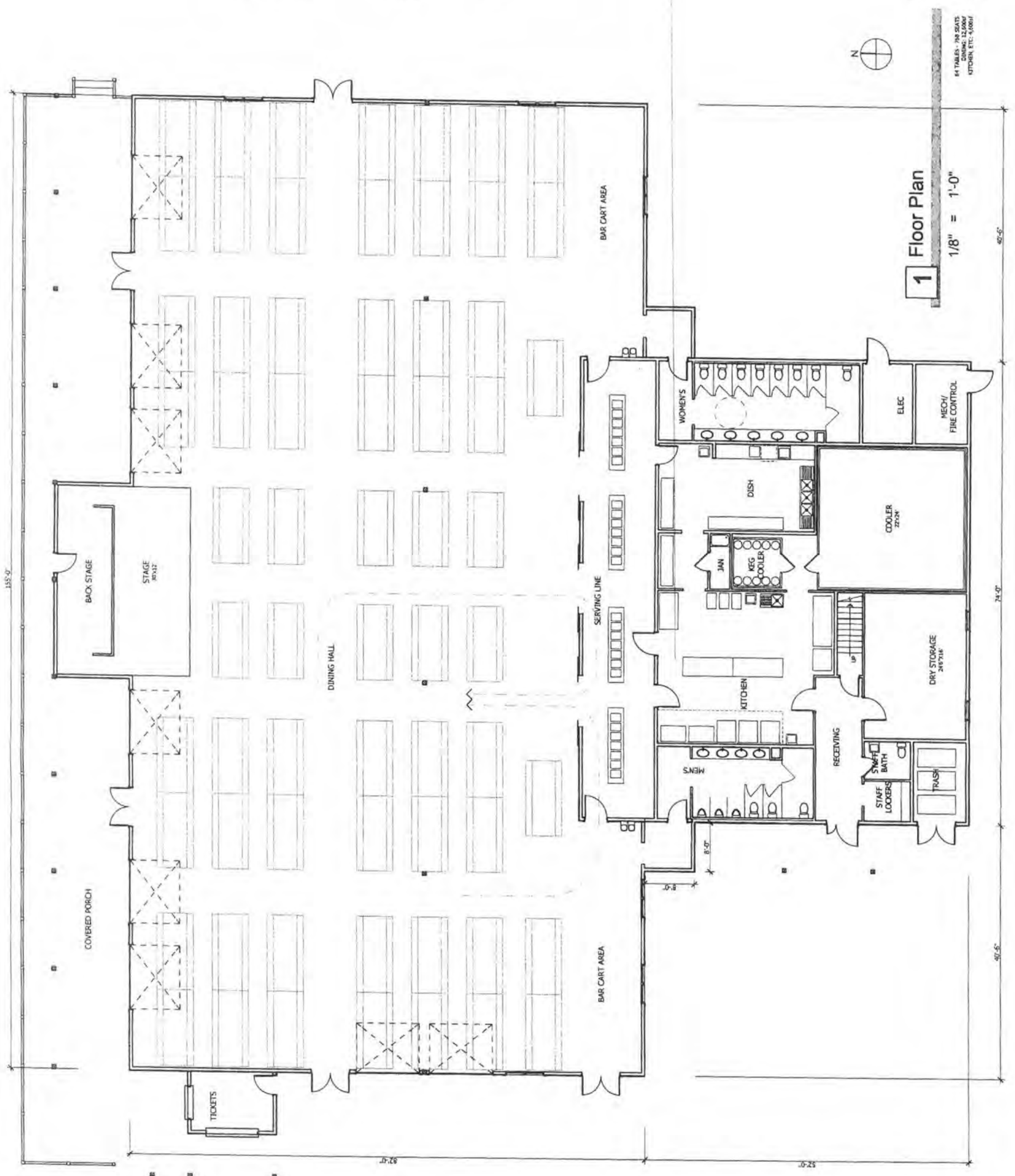
NO.	DATE	DESCRIPTION

Detailed LANDSCAPE
 DETAILED LANDSCAPE
 400 HEMLOCK STREET
 FORT COLLINS, CO 80524
 970.221.4038
 www.detailedlandscape.com

LANDSCAPE PLAN
 PHASE 3
 LAZY B RANCH
 ELK MEADOW CAMPGROUND
 ESTES PARK, COLORADO

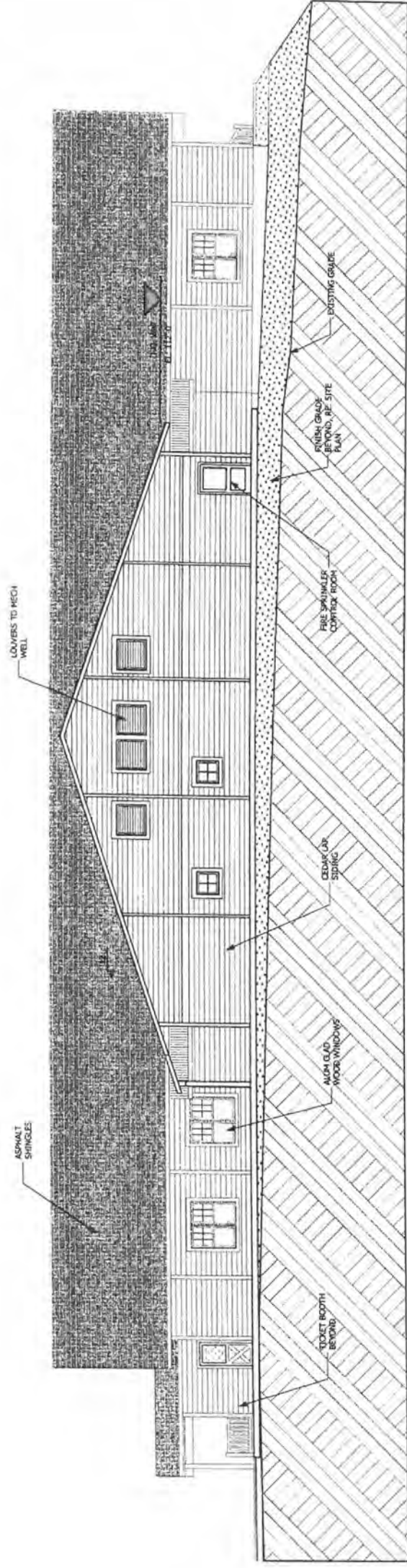
SCALE: 1/2" = 1'-0"
 PROJECT: 10
 SHEET: 10
 DATE: 10/10/2010





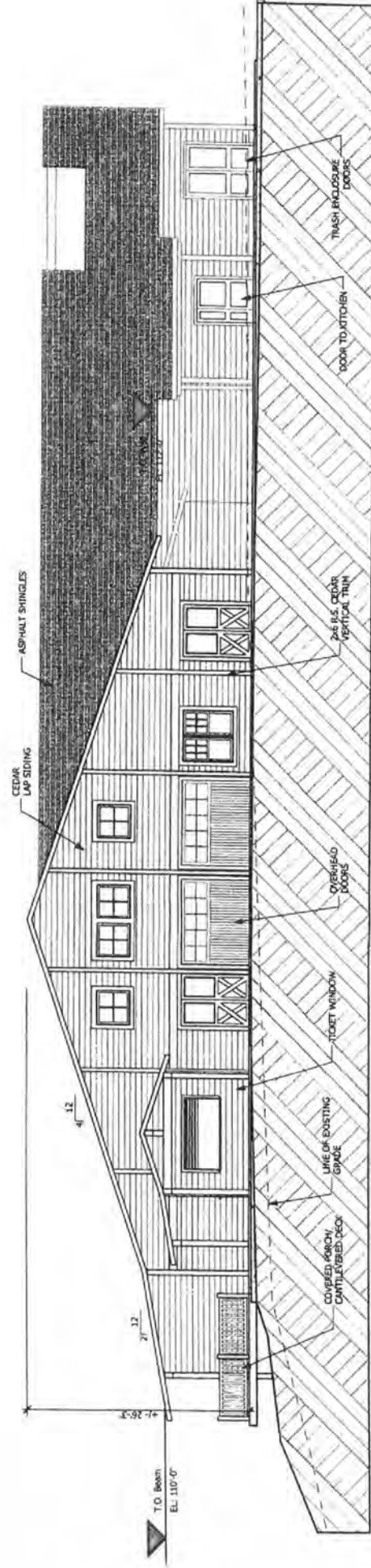
OFFICE AREA: 11,000sf

A R C H I T E C T U R E P. C.



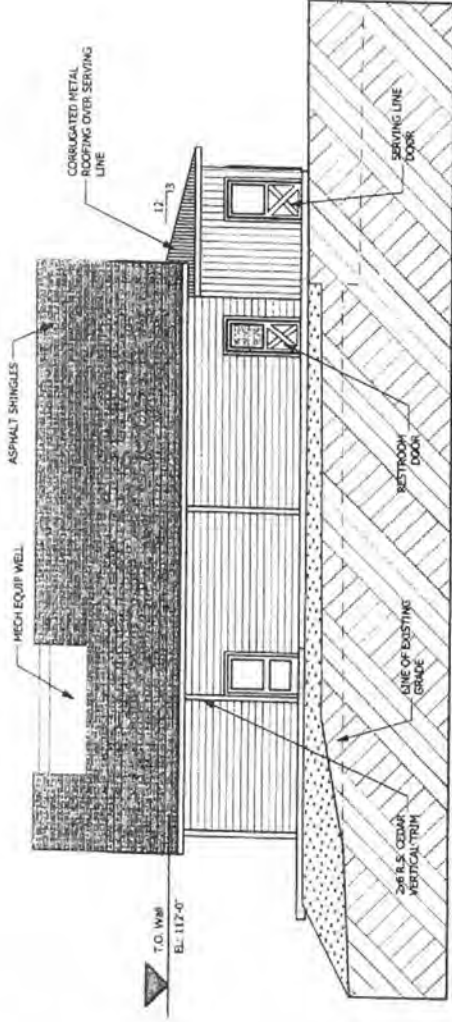
2 South Elevation

1/8" = 1'-0"

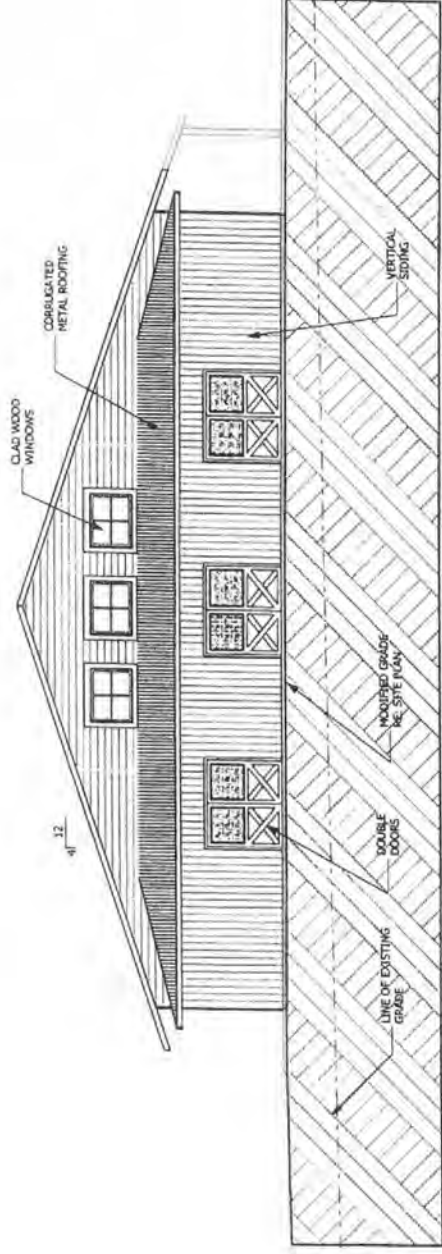


1 West Elevation

1/8" = 1'-0"

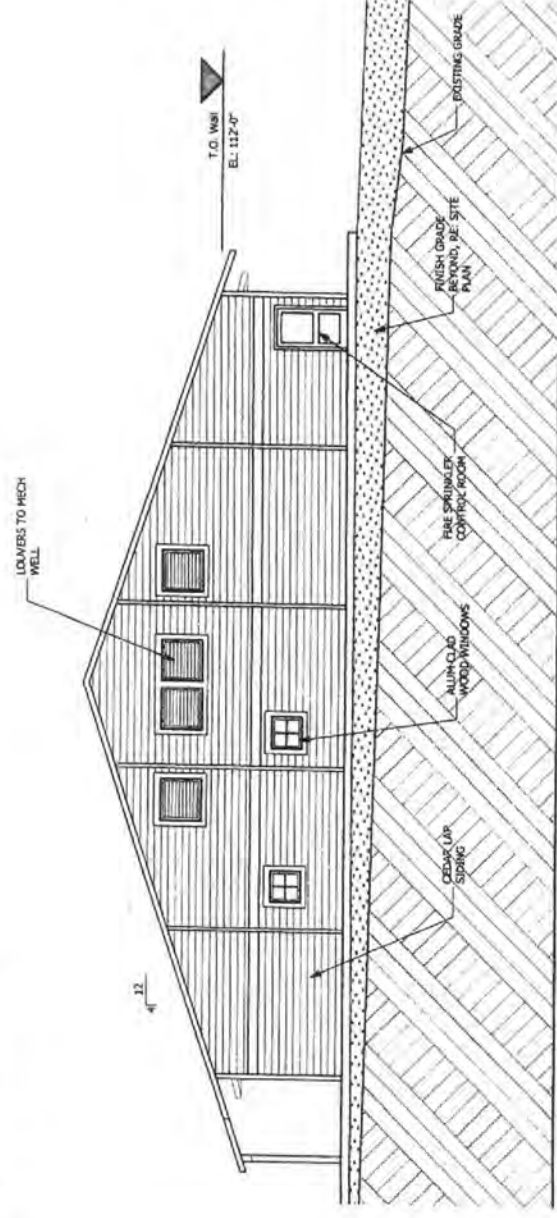


3 East Elevation
1/8" = 1'-0"

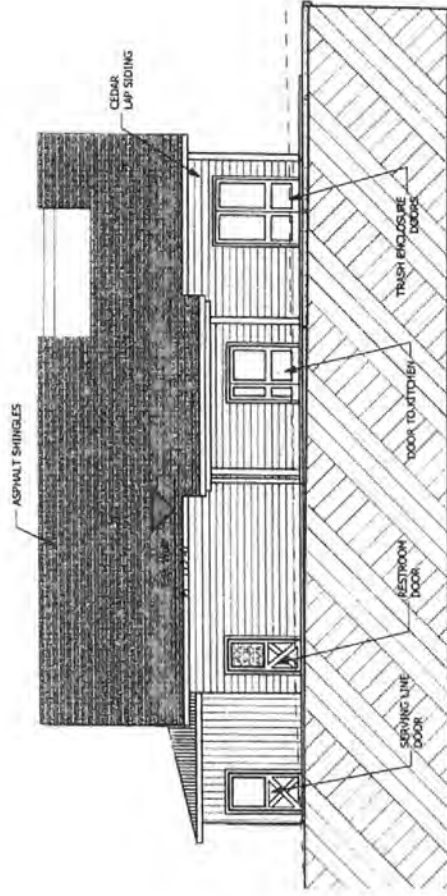


4 North Elevation
1/8" = 1'-0"

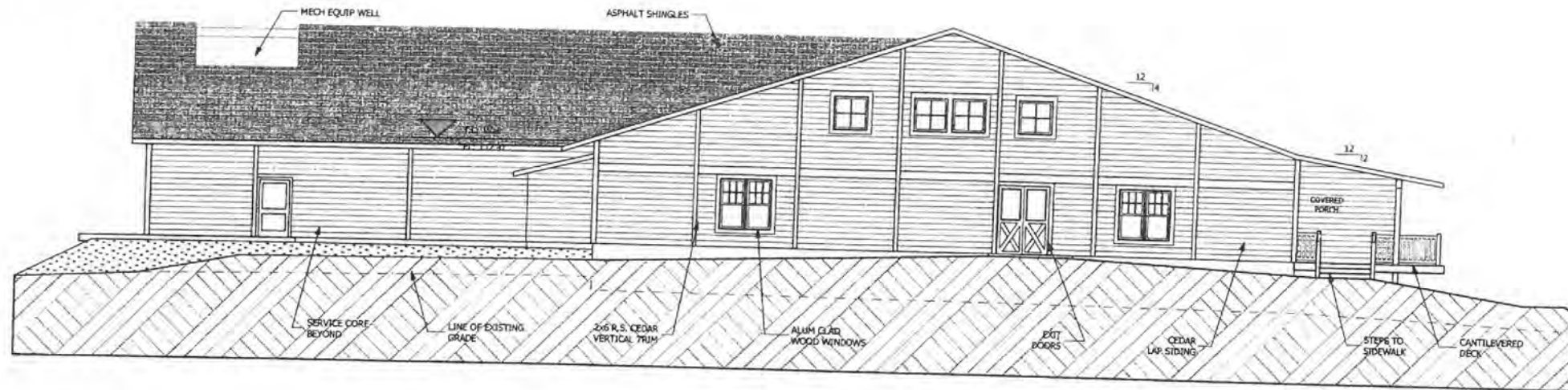
PHASE ONE ELEVATIONS



1 South Elevation
1/8" = 1'-0"

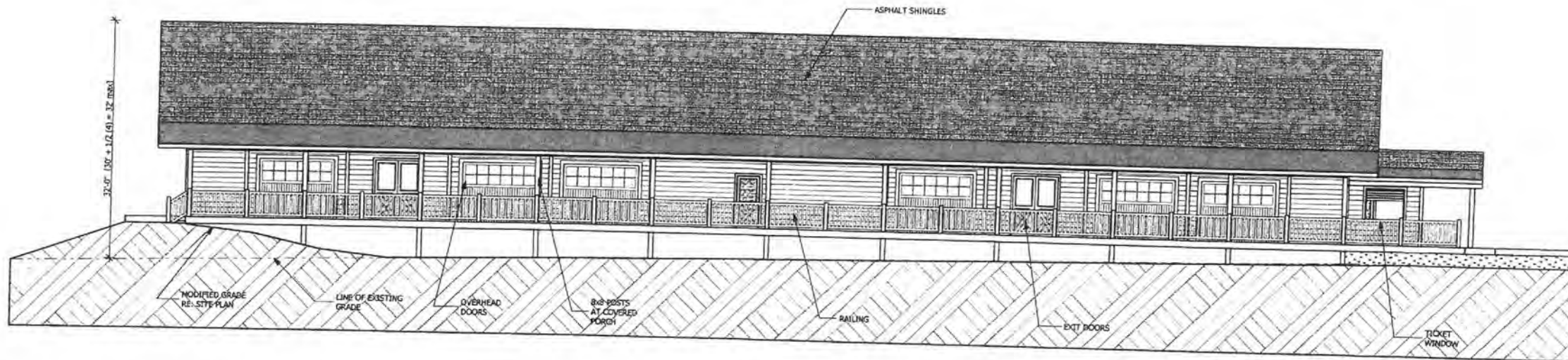


2 West Elevation
1/8" = 1'-0"



2 East Elevation

1/8" = 1'-0"



1 North Elevation

1/8" = 1'-0"

BASIS

1692 Big Thompson Avenue, Suite 100
Estes Park, Colorado 80517

vox: 970.586.9140
BASIS.com
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Architecture, P.C.

Issue:
Development
Plan

Date:
1/19/2016

Lazy B Ranch & Wranglers, LLC
Dinner + Western Show
Estes Park, Colorado 80517

Sheet Title:
ELEVATIONS

Sheet No:

A3

A R C H I T E C T U R E P. C.